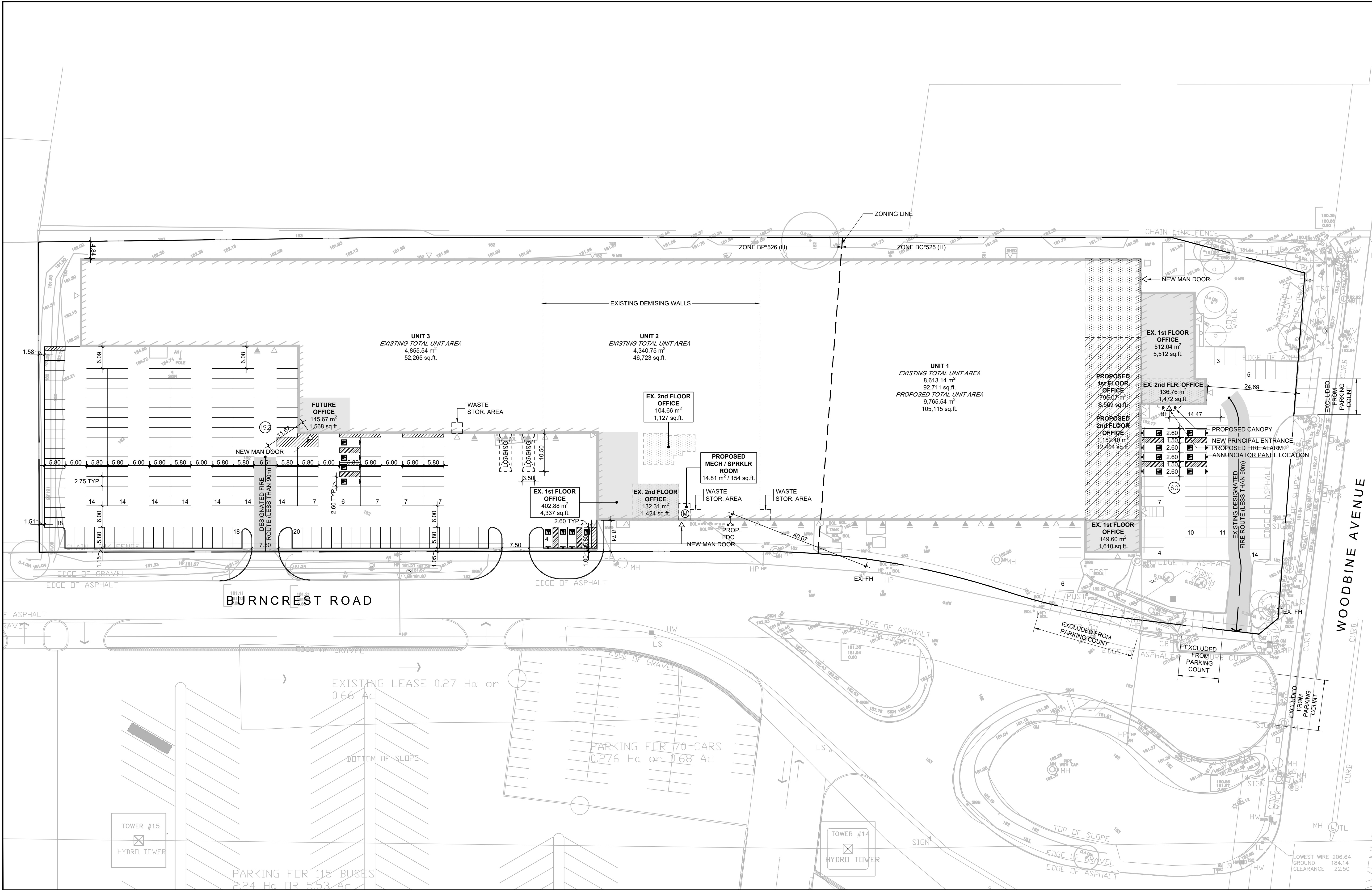




KEY MAP

LEGAL DESCRIPTION
PART OF LOT 7
CONCESSION 3
GEOGRAPHIC TOWNSHIP OF MARKHAM
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK

PROJECT NORTH

TRUE NORTH

SITE STATISTICS

SITE AREAS	TOTAL SITE AREA	32,451.12 m ² or 8.02 ac
SITE COVERAGE	17,435.70 m ² or 53.73%	

LANDSCAPE BUFFERS

REAR LOT LINE (WEST)	REQUIRED	PROVIDED
3 m	1.51 m	

EXTERIOR LOT LINE (SOUTH)

3 m	1 m
1.51 m	1 m

G.F.A.

UNIT 1 1st FLOOR	8,476.38 m ² or 91,239 sq ft
EXIST. OFFICE AREA	661.64 m ² or 7,122 sq ft
NEW OFFICE AREA	796.07 m ² or 8,569 sq ft
EXIST. INDUSTRIAL AREA	7,018.68 m ² or 75,548 sq ft
UNIT 1 EXIST. 2nd FLOOR	136.76 m ² or 1,472 sq ft
UNIT 1 NEW 2nd FLOOR	1,152.40 m ² or 12,404 sq ft
UNIT 2 EXIST. 1st FLOOR	4,103.78 m ² or 44,173 sq ft
UNIT 2 EXIST. 2nd FLOOR	236.97 m ² or 2,551 sq ft
UNIT 3 EXIST. 1st FLOOR	4,855.54 m ² or 52,265 sq ft
TOTAL G.F.A.	18,961.83 m ² or 204,103 sq ft

PARKING

AS REQUIRED UNDER BY-LAW 28-97	74 spaces
UNIT 1 BUSINESS OFFICE	2,741 m ² @ 1 space / 30 m ²
UNIT 1 INDUSTRIAL	1,000 m ² @ 1 space / 30 m ²
UNIT 2 BUSINESS OFFICE	1,154 m ² @ 1 space / 30 m ²
UNIT 2 INDUSTRIAL	1,300 m ² @ 1 space / 30 m ²
UNIT 3 BUSINESS OFFICE	1,154 m ² @ 1 space / 30 m ²
UNIT 3 INDUSTRIAL	1,300 m ² @ 1 space / 30 m ²
TOTAL PARKING	303 spaces

ACCESSIBLE SPACES

16 spaces	16 spaces
2 spaces	2 spaces

SYMBOL LEGEND

	MAN DOOR LOCATIONS
	LOADING DOCK LOCATIONS
	DRIVE-IN OVERHEAD DOORS
	HYDRANT-VALVE
	CATCH BASIN
	CATCH BASIN MANHOLE
	STORM SEWER MANHOLE
	LIGHT STANDARD
	BARrier-FREE ENTRANCE
	HANDICAP PARKING
	CONC. FILLED STEEL BOLLARD
	SEWER CONNECTION
	HANDICAP PARKING SIGNAGE PER BY-LAW
	WATER METER - SEE MECH. DWGS.

No.	ISSUED	DATE
1	ISSUED FOR CLIENT REVIEW	JUNE 4, 2024
2	ISSUED FOR BUILDING PERMIT & MINOR VARIANCE APPLICATION	NOV. 19, 2024
3	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 28, 2024

No.	REVISION	DATE
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BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:



8050 Woodbine Ave.
Unit 1

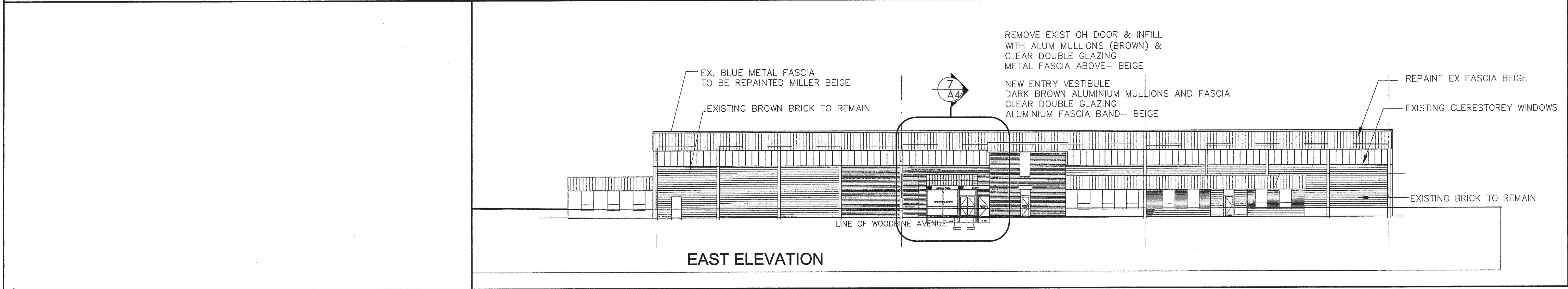
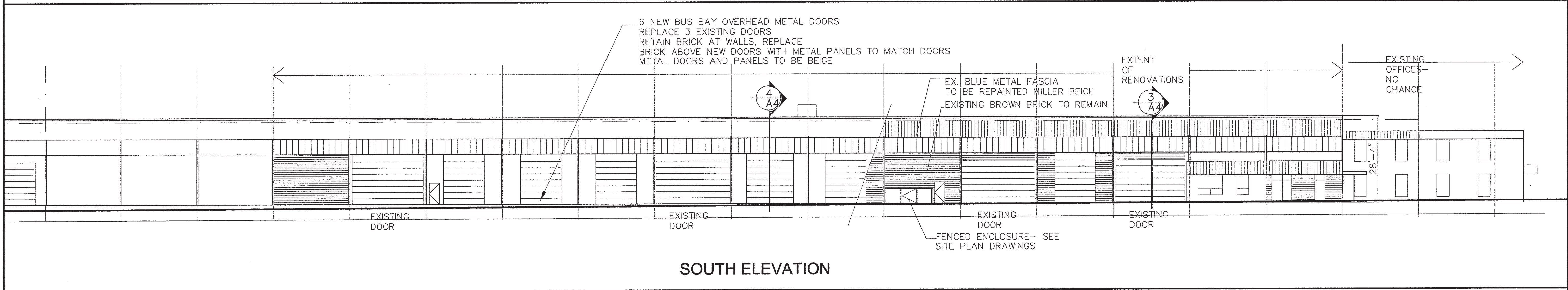
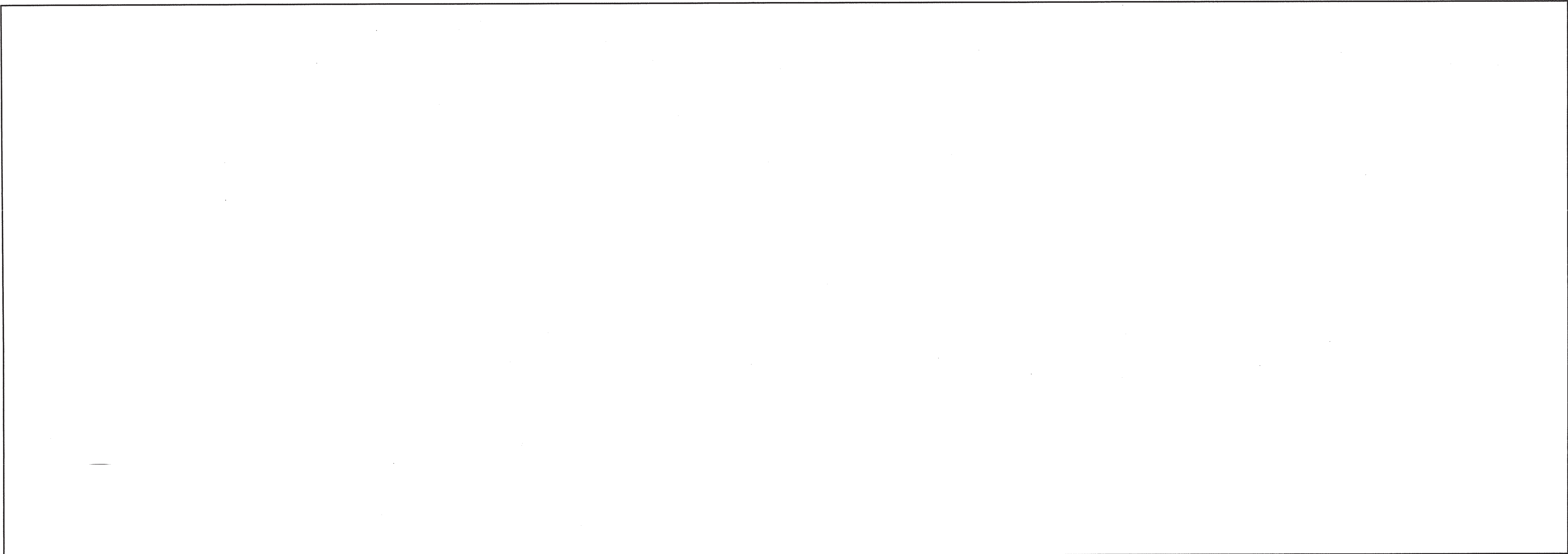
8050 Woodbine Avenue
Markham, ON

SITE PLAN

DATE:	NOV. 2023	DRAWN BY:	HP/LY	CHECKED:		SCALE:	1:500
PROJECT No.		DRAWING No.					

24-40

A-1.0



no.	description	date
2	STM POND	06/02/06
1	ISSUED	15/01/06

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.

**RITCHIE
BOLTON**
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tel 416 867 1801 fax 416 867 1791



**MILLER
PAVING LTD**
505 MILLER AVENUE
MARKHAM ONTARIO

**BUILDING
RENOVATIONS
ELEVATIONS**
8050 WOODBINE AVE
MARKHAM ONTARIO

scale 1"=16'-0"	date JUNE/2006
drawn tr	checked TR
project no. 23413	drawing no. A3
file name MILLER/WOODBINE	