

Memorandum to the City of Markham Committee of Adjustment

May 8, 2023

File: A/040/23
Address: Birchmount Road & Citizen Court, Markham
Applicant: Beedie ON (Birchmount Road) Property Ltd.
Agent: MHBC Planning Limited (David McKay)
Hearing Date: Wednesday May 17, 2023

The following comments are provided on behalf of the Central Team.

The Applicant is requesting relief from the “Select Industrial and Limited Commercial [M.C.(40%)]” zone requirements of By-law 108-81, as amended, and the City-wide Parking By-law 28-97, as amended, as it relates to a proposed 8,566 m² (92,203 ft²) two-storey warehouse. The variances requested are to permit:

a) By-law 108-81, Section 4.7.1(b):

a minimum depth of 5.39 metres for landscaped open space, whereas the By-law requires a minimum depth of 6 metres;

b) By-law 108-81, Section 7.4.3(a):

a maximum floor area ratio of 53 percent, whereas the By-law permits a maximum floor area ratio of 40 percent; and

c) Parking By-law 28-97, Section 3, Table B - Non Residential Uses:

a minimum of 97 parking spaces, whereas the By-law requires a minimum of 221 parking spaces.

BACKGROUND

Property Description

The 1.63 hectare (4.03 acres) Subject Lands are located on the east side of Birchmount Road, north of 14th Avenue and south of Citizen Court. The Subject Lands are located within an industrial area which includes a mix of warehouses and office buildings. The property is currently vacant.

Proposal

The Applicant is proposing to construct an 8,566 m² (92,203 ft²) multi-tenant, two-storey warehouse. The Applicant proposes 6 units in the building for warehousing use with vehicular accesses on to Birchmount Road and Citizen Court. The Proposed Development includes new parking areas, loading bays in the rear of the building, and landscaping.

A Site Plan Application (File: SPC 22 121796), associated with this Proposed Development is currently under review by the City of Markham. Staff do not

anticipate further changes to the proposed building footprint with further submissions at this time.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and updated on April 9, 2018)

The Official Plan designates the Subject Lands as “General Employment Area”, which permits industrial warehousing. General Employment Areas are characterized by large properties developed with single and multiple unit buildings accommodating the industrial uses that are primary to the designation. The Proposed Development conforms to the General Employment designation of the City’s Official Plan.

Zoning By-Law 108-81

The Subject Lands are zoned “Select Industrial and Limited Commercial [M.C.(40%)]” under By-law 108-81, as amended, which permits a range of business and industrial uses, including warehouses. The proposed building does not comply with the by-law requirements as it relates to maximum Floor Area Ratio and minimum landscape buffer.

City of Markham Parking Standards By-law 28-97

The City-Wide Parking Standards By-law 28-97, as amended (the “Parking By-law”), sets out the parking standards for the Subject Lands. The Proposed Development does not comply with the requirements of the Parking By-law 28-97 with respect to Section 3, Table B – Non-residential uses with respect to the minimum number of parking spaces. Further details of the parking requirement are provided in the comment section below.

Zoning Preliminary Review (ZPR) Not Undertaken

The Applicant has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the Applicant has received confirmation of the variances required through the ongoing Site Plan Application process. It is the Applicant’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;

- c) The general intent and purpose of the Zoning By-law must be maintained;
and
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Floor Area Ratio

The Applicant is requesting relief of the By-law to permit a maximum Floor Area Ratio of 53 percent, whereas the By-law permits a maximum floor area ratio of 40 percent. Staff note, that Floor Area Ratio is a measure of the interior square footage of the building as a percentage of the net lot area however; it is not a definitive measure of the mass of the building.

Staff further note, with the exception of the landscape buffer and parking requirement, that the Applicant has indicated that the building meets all other zoning provisions (such as setbacks and lot coverage) that establish the prescribed building envelope, which ensures the proposed building will be in keeping with the intended scale of development for the area.

Staff are of the opinion that the proposed floor area ratio will not adversely impact the character of the neighbourhood, and have no objection to the requested variance.

Decrease of Landscape Buffer

The Applicant is requesting relief of the By-law to permit a minimum depth of 5.39 metres for landscaped open space, whereas the By-law requires a minimum of 6 metres. The proposed landscape buffer on Birchmount Road separates the parking spaces from the public sidewalk. A 6 metre landscape buffer width is provided at the northern portion of the property and tapers to 5.39 metres at the southern portion of the property.

The purpose of a landscape buffer is to provide for landscaping elements such as shrubs, trees, decorative stone or walkways. This enhances the streetscape, provides a buffer to the future uses of the site and provides some pervious surface for drainage. The 6 metre buffer cannot be met across the Birchmount Road frontage without further decreasing the amount of parking spaces proposed. It is staff's opinion that the Proposed Development contains sufficient landscaping, including shrubs and tree plantings throughout the perimeter of the Subject Lands.

Staff are of the opinion that the proposed reduction in the landscape buffer maintains the intent of the requirement and will not negatively impact the surrounding uses.

Parking Reduction

The Applicant proposes a total of 97 parking spaces, whereas the Parking By-law 28-97 requires a minimum of 221 spaces. This results in a deficiency of 124 parking spaces, which is a reduction of approximately 56 percent.

The Applicant submitted a Parking Justification Study as part of the application submission, and to the ongoing review of the Site Plan application. The study submitted, indicated that the proposed parking rate is sufficient in comparison to other similar proxy sites in the surrounding area.

Transportation Engineering staff have reviewed the Parking Justification Study and are of the opinion that the parking variance is acceptable and is unlikely to result in any significant impact on the parking supply of the property.

Staff have no objections to the approval of the proposed parking reduction.

EXTERNAL AGENCIES

Metrolinx

The Subject Lands are located within 300 metres of Metrolinx's Uxbridge Subdivision which carries Metrolinx's Stouffville GO Train service.

The Proponent is advised of the following:

- Warning: The Applicant is advised that the subject land is located within Metrolinx's 300 metres railway corridor zone of influence and as such is advised that Metrolinx and its assigns and successors in interest has or have a right-of-way within 300 metres from the subject land. The Applicant is further advised that there may be alterations to or expansions of the rail or other transit facilities on such right-of-way in the future including the possibility that Metrolinx or any railway entering into an agreement with Metrolinx to use the right-of-way or their assigns or successors as aforesaid may expand or alter their operations, which expansion or alteration may affect the environment of the occupants in the vicinity, notwithstanding the inclusion of any noise and vibration attenuating measures in the design of the development and individual lots, blocks or units.

Please note that Metrolinx is a stakeholder providing comments on the comprehensive application including the Site Plan Application. Any previous comments provided by Metrolinx on the comprehensive application are still applicable including any requirements to fulfill the granting of an environmental easement for operational emissions (registered on title against the subject development lands in favour of Metrolinx), the inclusion of warning clauses, development agreements, offers to purchase and agreements of Purchase and Sale or Lease of each dwelling unit within 300 metres of the railway right-of-way etc.

PUBLIC INPUT SUMMARY

No written submissions were received as of May 8, 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



Elizabeth Martelluzzi, MCIP RPP, Senior Planner, Central District

REVIEWED BY:



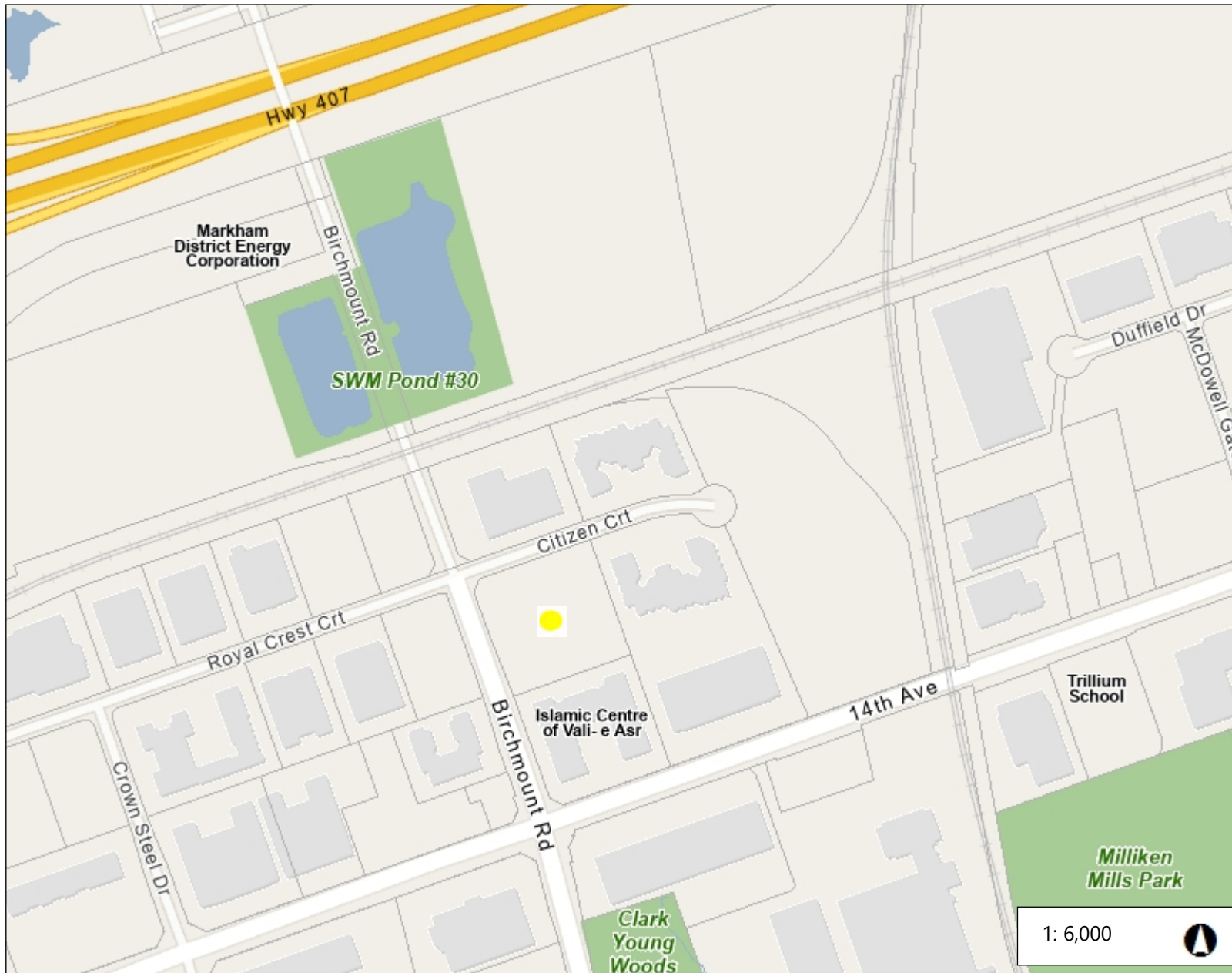
Deanna Schlosser, MCIP RPP, Senior Planner, Central District

APPENDICES

Appendix "A" – Location Map

Appendix "B" – Plans

Appendix "C" – A/040/23 Conditions of Approval



Subject Lands

- Birchmount Road/Citizen Court

1: 6,000



304.8 0 152.40 304.8 Meters

NAD_1983_UTM_Zone_17N
© City of Markham

DISCLAIMER: The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email cgis@markham.ca and you will be directed to the appropriate department.

Notes



1 KEY PLAN
SCALE: 1:500

SITE STATISTICS

ZONING	SELECT INDUSTRIAL AND LIMITED COMMERCIAL M.C.(40%)
BY-LAW	UNDER CITY OF MARKHAM ZONING BY-LAW
SPECIAL PROVISION	MAXIMUM FLOOR AREA RATIO 40%
	PROPOSED FLOOR AREA RATIO (GFA/LOT AREA) 52.50%
SITE AREA	1.63 hectares (4.03 acres) (16,314.11 s.m.)
LOT FRONTAGE	125.75 m 412.55 s.f.

BUILDING CLASSIFICATION

CLASSIFIED UNDER ONTARIO REGULATION 332/12 OBC 3.2.69.B; GROUP F, DIVISION 2 UP TO 4 STOREYS, INCREASED AREA, SPRINKLERED
2 STOREY MAXIMUM BUILDING AREA = 9000 s.m.
Proposed Building Area = 7,511.68 s.m., (2 storey)
EFFECTIVE RESTRICTIONS:
(1) The building shall be of noncombustible construction, and:
(a) Floor assemblies shall be fire separations with a fire resistance rating not less than 1 hour, and
(b) Muzzlines shall have a fire resistance rating not less than 1 hour, and
(c) Loadbearing walls, columns and arches shall have a fire resistance rating not less than that required for the supported assembly.

BUILDING AREAS

BUILDING AREA:	7,511.68 s.m.
GROSS FLOOR AREA:	
GROUND FLOOR:	Warehouse 6,331.38 s.m. Service room 89.83 s.m. Office 1,090.67 s.m.
SECOND FLOOR:	Office 6,566.69 s.m.
NET FLOOR AREA (DEDUCTIONS AS PER CITY OF MARKHAM ZONING BY-LAW 28-97 DEFINITION "the aggregate of the floor areas of a building above or below established grade, but excluding car parking areas within the building, stairways, elevator shafts, service/mechanical rooms, and penthouses, washrooms, garages/recycling rooms, staff locker and lunch rooms, loading areas, any space with a floor to ceiling height of less than 1.8 metres and any part of a basement that is unfinished, is used solely for storage purposes and is not accessible to the public.")	
Deductions:	
Office ground floor (Washroom & stairway) - Units 101 & 106	= 23.70 s.m.
Office ground floor (Washroom & stairway) - Units 102 to 105	= 24.24 s.m.
Office second floor (Stairway) - Typical all units	= 3.17 s.m.
Warehouse ground floor (Mechanical/Electrical rooms) - Unit 101	= 89.63 s.m.
Warehouse ground floor (Garage room) - Typical all units	= 18.00 s.m.
UNIT#101: GROUND FLOOR:	Office 186.83 - 23.70 = 163.13 s.m. Warehouse 1,003.17 - 18.00 = 985.17 s.m.
SECOND FLOOR:	Office 181.47 - 3.17 = 178.30 s.m.
NET FLOOR AREA:	Office 341.43 s.m. Warehouse 985.17 s.m.
UNIT#102: GROUND FLOOR:	Office 179.22 - 24.24 = 154.98 s.m. Warehouse 1,055.73 - 18.00 = 1,037.73 s.m.
SECOND FLOOR:	Office 172.98 - 3.17 = 169.81 s.m.
NET FLOOR AREA:	Office 324.79 s.m. Warehouse 1,037.73 s.m.
UNIT#103: GROUND FLOOR:	Office 179.22 - 24.24 = 154.98 s.m. Warehouse 1,055.73 - 18.00 = 1,037.73 s.m.
SECOND FLOOR:	Office 172.98 - 3.17 = 169.81 s.m.
NET FLOOR AREA:	Office 324.79 s.m. Warehouse 1,037.73 s.m.
UNIT#104: GROUND FLOOR:	Office 179.22 - 24.24 = 154.98 s.m. Warehouse 1,055.73 - 18.00 = 1,037.73 s.m.
SECOND FLOOR:	Office 172.98 - 3.17 = 169.81 s.m.
NET FLOOR AREA:	Office 324.79 s.m. Warehouse 1,037.73 s.m.
UNIT#105: GROUND FLOOR:	Office 179.24 - 24.24 = 155.00 s.m. Warehouse 1,055.73 - 18.00 = 1,037.73 s.m.
SECOND FLOOR:	Office 173.01 - 3.17 = 169.84 s.m.
NET FLOOR AREA:	Office 324.84 s.m. Warehouse 1,037.73 s.m.
UNIT#106: GROUND FLOOR:	Office 186.94 - 23.70 = 163.24 s.m. Warehouse 1,105.29 - 18.00 = 1,087.29 s.m.
SECOND FLOOR:	Office 181.59 - 3.17 = 178.42 s.m.
NET FLOOR AREA:	Office 341.66 s.m. Warehouse 1,087.29 s.m.

COVERAGE CALCULATION

BUILDING AREA / SITE AREA	7,511.68 s.m. / 16,314.11 s.m.
building coverage	46.0 %
PAVED AREA / SITE AREA	7,115.34 s.m. / 16,314.11 s.m.
landscaped coverage	43.7 %
LANDSCAPED AREA / SITE AREA	1,687.09 s.m. / 16,314.11 s.m.
landscaped coverage	10.3 %
TOTAL COVERAGE	100.0 %

PARKING CALCULATION

MINIMUM NUMBER OF PARKING SPACES REQUIRED AS PER CITY OF MARKHAM ZONING BY-LAW 28-97 TABLE B NON-RESIDENTIAL USES:	
OFFICE USE	1 parking space per 30 s.m. of net floor area
INDUSTRIAL USE	-net floor area of each premises up to 1200 s.m.; 1 space required per 40 s.m., or portion thereof of net floor area -net floor area of each premises between 1200 s.m. and 6000 s.m.; 1 space required per 100 s.m., or portion thereof of net floor area -net floor area of each premises in excess of 6000 s.m.; 1 space required per 200 s.m., or portion thereof of net floor area
UNIT#101: 341.43 / 30	= 11.3
UNIT#102 THROUGH UNIT#104: 324.79 / 30	= 10.8 (required for each unit)
UNIT#105: 324.84 / 30	= 10.8
UNIT#106: 341.66 / 30	= 11.3
TOTAL SPACES REQUIRED	221.1 = 221 spaces
BARRIER-FREE PARKING SPACES REQUIRED (5% TO BE DEDICATED AND USED AS ACCESSIBLE PARKING SPACES); Barrier-free provided (2000 x 5800)	
TOTAL BARRIER-FREE SPACES REQUIRED	= 11 spaces
TOTAL STANDARD SPACES PROVIDED	= 92 spaces
TOTAL BARRIER-FREE SPACES PROVIDED	= 5 spaces
TOTAL VEHICLE SPACES PROVIDED	= 97 spaces

LOADING REQUIREMENT

LOADING SPACES (INDUSTRIAL USE) (3600 wide x 12000 long x 4200 high)	
TOTAL LOADING SPACES REQUIRED	= 2 spaces (GFA > 1,860 s.m.)
TOTAL LOADING SPACES PROVIDED	= 12 spaces

BICYCLE PARKING REQUIREMENT

BICYCLE PARKING REQUIREMENTS (INDUSTRIAL / WAREHOUSE)	
Long-Term: 0.05 spaces / 100 s.m. = 0.05 x 8566.69 / 100 =	4.28 Required
Short-Term: 0.10 spaces / 100 s.m. = 0.10 x 8566.69 / 100 =	8.54 Required
Each parking space provided (R00 x 1800)	PROVIDED
TOTAL BICYCLE SPACES PROVIDED	6 Provided 10 Provided

SETBACKS

LOT (m)	REQUIRED	PROVIDED
Frontage	30 m	125.75 m (Birchmount Road) (131.0 m along Citizen Court)
YARDS (m)	REQUIRED	PROVIDED
Front	36 m from centerline of Birchmount road	6 m
Interior Side	6 m	REFER TO DRAWING
Exterior Side	6 m	REFER TO DRAWING
Rear	12 m	REFER TO DRAWING
LANDSCAPE OPEN SPACE (m)	REQUIRED	PROVIDED
Front	6.0 m	REFER TO DRAWING
Interior Side	6.0 m	REFER TO DRAWING
Exterior Side	6.0 m	REFER TO DRAWING
Rear	6.0 m	REFER TO DRAWING

SURVEY INFORMATION

PART 1
PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOT 7,
REGISTERED PLAN 65M-2616

CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK
BENCHMARK NOTE
STATIONARY AND GEODETIC AND ARE DERIVED FROM THE CITY OF MARKHAM
BENCHMARK NO. M20-005 HAVING PUBLISHED ELEVATION OF 188.898 METRES.

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
ONTARIO LAND SURVEYORS
750 DUNDAS STREET EAST, SUITE 600
TORONTO, ONTARIO M5G 1C4
TEL. 416 749-5766 FAX 416 749-7866
E-MAIL: toronto@svng.on.ca

GENERAL NOTES

- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE
- REFER TO DRAWINGS AND REPORTS PREPARED BY:
- SITE SERVICES AND GRADING BY: GEI Consultants
- LANDSCAPING BY: Insite Landscape Architects Inc.
- ELECTRICAL SERVICES BY: Hannenschalg & Joffe Inc.
- TRAFFIC BY: Dillon Consulting Limited
- ALL WASTE AND RECYCLING SHALL BE STORED INTERNALLY AND COLLECTED UNDER PRIVATE CONTRACT.
OWNER SHALL ARRANGE SNOW REMOVAL UNDER PRIVATE CONTRACT.
- FIRE ROUTES SHALL:
5.1. BE A MINIMUM OF 6.0M CLEAR WIDTH WITH A CENTERLINE TURNING RADIUS NO LESS THAN 12.0M IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(a) AND (b).
5.2. HAVE A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(d).
5.3. BE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(e).
6. PAVEMENT SHALL BE LIGHT DUTY ASPHALT UNLESS NOTED OTHERWISE.
7. DRIVEWAYS SHALL HAVE A MINIMUM WIDTH OF 6.0M AND A MINIMUM OVERHEAD CLEARANCE OF 5.0M MAINTAINED THROUGHOUT THE SITE.
8. SIGNAGE & PAVEMENT MARKINGS SHALL MEET CITY OF MARKHAM STANDARDS.
9. SIGNAGE INDICATED SHALL BE USED FOR SITE PLAN PURPOSES ONLY AND IS NOT INTENDED TO INDICATE CONFORMANCE WITH THE SIGNAGE BY-LAW.
10. SIGNER SHALL BE PROVIDED TO IDENTIFY THE "PRINCIPAL" ENTRANCE FOR THE PURPOSE OF FIRE FIGHTING.
11. ILLUMINATION SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES TO MAINTAIN ZERO CUT OFF AT PROPERTY LINE.
12. ALL BARRIER-FREE ENTRANCES AND PATHS OF TRAVEL SHALL BE DESIGN IN ACCORDANCE WITH CITY OF MARKHAM ACCESSIBILITY DESIGN GUIDELINES AND ADA ACCESSIBILITY STANDARDS.
13. EXISTING RIGHT-OF-WAY, PAVEMENT, CURBS, SIDEWALKS AND BOULEVARD AREAS DISTURBED BY CONSTRUCTION SHALL BE REINSTATED TO THE SATISFACTION OF THE CITY OF MARKHAM.
14. BUILDING PERMIT ISSUANCE SHALL BE SUBJECT TO THE BUILDING PERMIT DRAWINGS NOT BEING IN CONTRAVENTION WITH THESE APPROVED PLANS AND DRAWINGS INCLUDING, BUT NOT LIMITED TO THE EXTERIOR DESIGN OF THE BUILDING AND EXTERIOR BUILDING MATERIALS.
15. IF THE FINAL COURSE OF ASPHALT PAVING IS DELAYED, INSTALL TEMPORARY LIFT OF ASPHALT AT RAMP OR CURB CUTS TO PROVIDE BARRIER FREE ACCESS (TYP).
16. CONSTRUCTION STAGING AREA AND PARKING TO BE DETERMINED BY CONTRACTOR.
17. EXPOSED CONCRETE WALLS AND FOUNDATIONS SHALL BE FREE OF DEFECTS AND PROVIDED WITH A SMOOTH SANDBLAST FINISH.

DRAWING NOTES

- OUTLINE OF FUTURE OFFICE / MEZZ AREAS
- OUTLINE OF UNIT DEMISING WALLS
- OUTLINE OF SERVICE ROOMS (ELEC / MECH / SPRINKLER)
- ELECTRICAL TRANSFORMER WITH STEEL BOLLARD PROTECTION - REFER TO ELECTRICAL
- POURED CONCRETE RETAINING WALL WITH GUARDRAIL - REFER TO CIVIL
- OUTLINE OF PROJECTION ABOVE
- 3660 x 2135mm MONUMENT SIGN
- EXISTING YRT BUS STOP TO REMAIN
- MAILBOX
- FIRE DEPARTMENT CONNECTION AND SIGNAGE TO MEET OBC 3.2.5.16.
- EXISTING STREET HYDRANT
- EXISTING STREET HYDRANT TO BE RELOCATED - REFER TO MECHANICAL
- RELOCATED STREET HYDRANT - REFER TO MECHANICAL
- TRENCH DRAIN WITH GALVANIZED GRATE
- OUTLINE OF INTERNAL WASTE STORAGE (AREA 18 s.m.)
- AMENITY AREA
- FIRE ACCESS ROUTE SIGN
- RAPID ENTRY BOX
- FIRE ALARM ANNUNCIATION
- EXISTING RETAINING WALL TO REMAIN
- SIGNAGE "TRAILERS MUST EXIT VIA CITIZEN COURT ONLY"
- SIGNAGE "YIELD TO PEDESTRIANS"
- PROPOSED TOE-WALL - REFER TO CIVIL

DRAWING LEGEND

- | | |
|---|--|
| PRINCIPLE ENTRANCE TO MEET OBC 3.2.5.1(1) | HEAVY DUTY ASPHALT PAVING |
| PRINCIPAL UNIT ENTRANCE | SIGNAGE |
| EXIT/EGRESS DOOR | DESIGNATED LOADING SPACE 3.0 m wide x 12.0 m long x 4.2 m vertical |
| AT-GRADE OVERHEAD DOOR | PARKING STALL 2.75 m X 5.80 m |
| DOCK LEVEL OVERHEAD DOOR | BARRIER-FREE STALL 2.60 m X 5.80 m |
| LANDSCAPED AREA | PARKING COUNT |
| CONCRETE SIDEWALK | STEEL PIPE BOLLARD (SAFETY YELLOW) |
| FLUSH CURB WITH TACTILE WARNING INDICATOR | FIRE ACCESS ROUTE |
| PAINTED ACCESS AISLE 1.5 m wide | PROPOSED YARD HYDRANT |
| PAINTED PEDESTRIAN CROSSING | SINGLE HOOP TANDEM BIKE RACK (SHORT-TERM) |
| WALL PACK LIGHT | WALL MOUNT BIKE RACK (LONG-TERM) |
| POURED CONCRETE APRON | |

2 OVERALL SITE PLAN
SCALE: 1:300

3 SIGHT LINES
SCALE: 1:500

This drawing is not to be used for construction unless signed by owner in charge.

Contractors must verify all dimensions and be responsible for same, report any discrepancies to the architect before commencing the work.

Prints are not to be scaled.
All drawings and related documents are the sole copyright property of the architects and must be returned upon request. Any reproduction of drawings and related documents in part or in whole is forbidden without the architects written permission.

Beedie Built for good

OWNER:
Beedie / INDUSTRIAL
Unit 510 - 405 The West Mall
Etobicoke, Ontario M9C 5J1

SITE PLAN APPROVAL FILE NUMBER:
22.121796.000.00.SPC.

Address SPA Comments
-Stakeout and
-Add survey correction to notes
-Add VHT bus stop sign
-Add BMT to existing signs
-Add the new signs
-Revised location of fire hydrant
28 Oct 22

Address SPA Comments
-Address to main property
-Identify waste storage area location
-Identify snow removal under private contract
-Revision of NFA and parking calculation
-Photos long and short term file notes
-Identify frontage along Citizen Court
-Add SPA file number
26 May 22

Issued for Site Plan Approval

BIRCHMOUNT INDUSTRIAL
0 & 45 BIRCHMOUNT RD.
Markham, Ontario

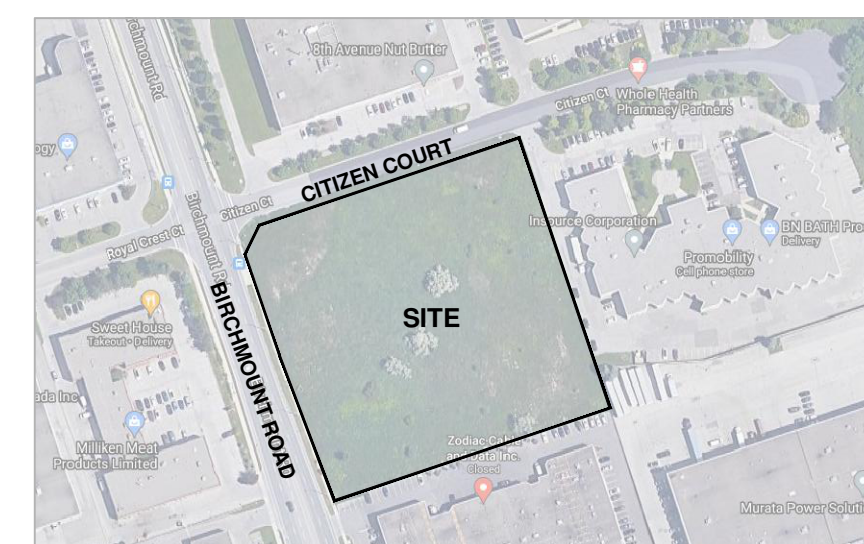
SITE PLAN

Project Number:

21051

Drawn By: LS
Checked By: DMK
Date: MARCH 2022
Scale: AS NOTED
Sheet Number:

A1.0

1 KEY PLAN
SCALE: T.S.

DRAWING NOTES

- 1 OUTLINE OF FUTURE OFFICE / MEZZ AREAS
- 2 OUTLINE OF UNIT DEMISING WALLS
- 3 OUTLINE OF SERVICE ROOMS (ELEC / MECH / SPRINKLER)
- 4 ELECTRICAL TRANSFORMER WITH STEEL BOLLARD PROTECTION - REFER TO ELECTRICAL
- 5 POURED CONCRETE RETAINING WALL WITH GUARDRAIL - REFER TO CIVIL
- 6 OUTLINE OF PROJECTION ABOVE
- 7 3600 x 2135mm MONUMENT SIGN
- 8 EXISTING VRT BUS STOP TO REMAIN
- 9 MAILBOX
- 10 FIRE DEPARTMENT CONNECTION AND SIGNAGE TO MEET OBC 3.2.5.16
- 11 EXISTING STREET HYDRANT
- 12 EXISTING STREET HYDRANT TO BE RELOCATED - REFER TO MECHANICAL
- 13 RELOCATED STREET HYDRANT - REFER TO MECHANICAL
- 14 TRENCH DRAIN WITH GALVANIZED GRATE
- 15 OUTLINE OF INTERNAL WASTE STORAGE (AREA 18 s.m.)
- 16 AMENITY AREA
- 17 FIRE ACCESS ROUTE SIGN
- 18 RAPID ENTRY BOX
- 19 FIRE ALARM ANNUNCIATION
- 20 EXISTING RETAINING WALL TO REMAIN
- 21 SIGNAGE "TRAILERS MUST EXIT VIA CITIZEN COURT ONLY"
- 22 SIGNAGE "YIELD TO PEDESTRIANS"

SITE PLAN LEGEND

- PRINCIPLE ENTRANCE
- EXIT/EGRESS DOOR
- AT-GRADE OVERHEAD DOOR
- DOOR LEVEL
- OVERHEAD DOOR
- LANDSCAPED AREA
- CONCRETE SIDEWALK
- FLUSH CURB WITH TACTILE WARNING INDICATOR
- PAINTED ACCESS AISLE 1.5 M WIDE
- PAINTED PEDESTRIAN CROSSING
- WALL PACK LIGHT
- POURED CONCRETE APRON
- SIGNAGE
- DESIGNATED LOADING SPACE 3.8 m wide x 12.3 m long x 4.2 m
- PARKING STALL 2.75 m x 5.80 m
- BARRIER-FREE STALL 2.60 m x 5.80 m
- STEEL PIPE BOLLARD (SAFETY YELLOW)
- FIRE ACCESS ROUTE
- PROPOSED YARD HYDRANT
- SINGLE HOOP TANDEM BIKE RACK (SHORT-TERM)
- WALL MOUNT BIKE RACK (LONG-TERM)

NOTE: CONTRACTOR TO VERIFY CONSULTANT PRELIMINARY P. ANY ERRORS OR DISCREPANCIES ARE NOTED. SHOULD A DISCREPANCY OCCUR BETWEEN PLANT LIST AND P. THE GREATER TOTAL SHALL TAKE PRECEDENCE. CONTRACTOR TO VERIFY SPECIES AND QUANTITIES PRIOR TO ENTERING INTO AGREEMENT WITH OWNER. PLANT MATERIAL SUBSTITUTIONS ARE NOT PERMITTED AFTER AWARD OF CONTRACT.

B 45 PLANT LIST

KEY BOTANICAL NAME	COMMON NAME	COND.	GAL.	HT./SPR.	REMARKS	QTY.
DECIDUOUS TREES						
A ACER SACCHARUM	SUGAR MAPLE	BB/UB	10" M		UNIFORM	6
B QUERCUS MACROCARPA	BUR OAK	BB/UB	10" M		UNIFORM	6
C ULMUS x PIONEER	PIONEER ELM	BB/UB	10" M		UNIFORM	4
D CELTIS OCCIDENTALIS	COMMON HACKBERRY	BB/UB	10" M		UNIFORM	4
CONIFEROUS TREES						
H PICEA GLAUCA	WHITE SPRUCE	BB/UB	1.8M HT.		UNIFORM	8
I PINUS STROBUS	EASTERN WHITE PINE	BB/UB	1.8M HT.		UNIFORM	8
SHRUBS, GRASSES, PERENNIALS						
a SPIREA JAPONICA	GOLDFLAME SPIREA	POT	60CM		EVENLY SPACED	58
b POTENTILLA FRUTICOSA JACKMANI	JACKMAN'S CINQUEFOIL	POT	60CM		EVENLY SPACED	65
c CORNUS CERICEA	RED DOGWOOD	POT	60CM		EVENLY SPACED	97
d CORNUS ALBA ELEGANTISSIMA	SILVERLEAF DOGWOOD	POT	60CM		EVENLY SPACED	50
e CALAMAGROSTIS ACUTIFLORA KARL FÖRSTER	FEATHER REED GRASS	POT	1 GAL.		EVENLY SPACED	30
f RUSSOECKIA HIRTA	BLACK EYED SUSAN	POT	1 GAL.		EVENLY SPACED	100
g THUJA OCCIDENTALIS	EASTERN WHITE CEDAR	POT	100CM		EVENLY SPACED	40

NOTE: CONTRACTOR TO VERIFY CONSULTANT PRELIMINARY P. ANY ERRORS OR DISCREPANCIES ARE NOTED. SHOULD A DISCREPANCY OCCUR BETWEEN PLANT LIST AND P. THE GREATER TOTAL SHALL TAKE PRECEDENCE. CONTRACTOR TO VERIFY SPECIES AND QUANTITIES PRIOR TO ENTERING INTO AGREEMENT WITH OWNER. PLANT MATERIAL SUBSTITUTIONS ARE NOT PERMITTED AFTER AWARD OF CONTRACT.

AA 2 STREET TREES

KEY BOTANICAL NAME	COMMON NAME	COND.	GAL.	HT./SPR.	REMARKS	QTY.
TREES						
AA ACER CAMPESTRE	HEDGE MAPLE	BB/UB	50" M		UNIFORM	4
BB GLEDITSIA TRIACANTHOS	SKYLINE HONEY LOCUST	BB/UB	50" M		UNIFORM	5
CC SYRINGA RETICULATA IVORY SILK	IVORY SILK TREE LILAC	BB/UB	50" M		UNIFORM	3

LANDSCAPE LEGEND

- PROPOSED DECIDUOUS TREES
- PROPOSED CONIFEROUS TREES
- PROPOSED SHRUBS

ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE AND ANY OTHER AUTHORITY HAVING JURISDICTION. ALL DIMENSIONS TO BE CHECKED AND VERIFIED AT THE SITE BY EACH CONTRACTOR. ANY DISCREPANCIES AND/OR ERRORS SHALL BE REPORTED IN WRITING TO THE CONSULTANT BEFORE COMMENCING ANY WORK. ALL DRAWINGS ARE THE COPYRIGHT OF THE CONSULTANT AND REMAIN THE PROPERTY OF THE CONSULTANT.

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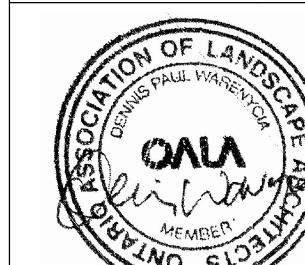
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COORDINATION NOTE

FEB21-23	REVISED AS PER NEW SITE PLAN FEB21-23, NOTE 21
FEB22-23	ISSUED FOR CLIENT USE
JAN26-23	REVISED AS PER NEW SITE PLAN FEB21-23
	ISSUED FOR CLIENT USE
OCT21-22	REVISED AS PER NEW SITE PLAN OCT21-22
	ISSUED FOR CLIENT USE
OCT25-22	COORDINATION
	ISSUED FOR CLIENT USE
OCT18-22	REVISED AS PER NEW SITE PLAN REC'D OCT11-22
	ISSUED FOR CLIENT USE
OCT6-22	REVISED AS PER NEW SITE PLAN REC'D SEPT30-22
	ISSUED FOR CLIENT USE
MAY28-22	REVISED AS PER NEW SITE PLAN REC'D MAY24-22
	ISSUED FOR CLIENT USE
MAY18-22	ISSUED FOR CLIENT REVIEW

INSITE LANDSCAPE ARCHITECTS INC.
LANDSCAPE ARCHITECTURE URBAN DESIGN MASTER PLANNING
insite@globalserve.net



STAMPED FOR SPA ONLY

PROJECT:

CITI BLOCK

0 & 45 BIRCHMOUNT ROAD
MARKHAM, ONTARIO
CITY FILE SPC 22 121796

DRAWING:

LANDSCAPE PLAN

DATE:

MAY 17-22

PROJECT:

220121

SCALE:

1:300

SHEET:

L-1

APPENDIX “C” – A/040/23 Conditions of Approval

1. The variances apply only to the proposed development as long as it remains; and
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as Appendix “B” to this Staff Report; or further revised by any site plan ‘endorsed’ or ‘approved’ drawings under File SPC 22 121796, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



Elizabeth Martelluzzi, MCIP RPP, Senior Planner, Central District