

Memorandum to the City of Markham Committee of Adjustment

June 29, 2021

File: A/052/21
Address: 45 Gracewell Road – Markham, ON
Applicant: Wasantharooby Poopalasingiam
Agent: Varatha Design Associates (Ken Varatha)
Hearing Date: July 7, 2021

The following comments are provided on behalf of the East Team.

The applicant is requesting relief from the following “Residential Two Exception *133 *137 (R2*133*137) Zone” requirements under By-law 177-96, as amended, as they relate to a proposed secondary suite. The variances requested are to permit:

a) By-law 177-96, Sec. 6.5:

one accessory dwelling unit (basement apartment), whereas the By-law permits one single detached dwelling;

b) By-law 177-96, Sec. 6.6.3:

stairs and landings to encroach into the required rear yard a distance of 3.0 m (9.84 ft), whereas the by-law permits stairs and landings to encroach a distance of no more than 2.0 m (3.28 ft) into the required rear yard; and

c) Parking By-law 28-97, Sec. 6.1.2(a):

two parking spaces, whereas the by-law requires a minimum of three parking spaces.

BACKGROUND

This application was deferred sine die at the initial Committee of Adjustment hearing to ensure that the requested variances are accurately reflected by the Notice in accordance with the *Planning Act, R.S.O. 1990, c. P.13, as amended*, as noted in the initial staff report dated June 2, 2021 (Appendix “D”).

Property Description

The subject property is a corner lot which fronts onto Saltspring Drive and Gracewell Road, located north of Bur Oak Avenue, east of Markham Road, and south of Castlemore Avenue. The property is developed with a two-storey single detached dwelling, and contains existing vegetation.

The property is located in the Greensborough community, which can be primarily described as a low rise residential neighbourhood containing a mix of two-storey detached, semi-detached, and townhouse (rowhouse) dwellings, some of which are lane-based properties. The property is within close proximity to local parks, neighbourhood live-work units with at grade commercial uses fronting onto Bur Oak Avenue and Greensborough Village Circle, multi and single unit commercial buildings located along Markham Road, and the Mount Joy GO Station.

Proposal

The applicant is requesting permission for a secondary suite to be located in the basement of the existing dwelling. The proposed secondary suite would have direct and separate

access provided by a new door located at the east side (rear) of the dwelling, and a new window at the south side dwelling. The applicant is also proposing rear walk-up stairs which would encroach into the required rear yard, and a parking reduction.

Provincial Policies

More Homes, More Choice Act, 2019

The *More Homes, More Choice Act, 2019*, S.O. 2019, c. 9 – (Bill 108), received Royal Assent on June 6, 2019 and portions were proclaimed on September 3, 2019. The proclaimed portions of Bill 108 amended the *Planning Act* to require Official Plans to contain policies providing for two residential units in detached, semi-detached and rowhouse dwellings, as well as permitting a residential unit in ancillary structures to a detached, semi-detached, or rowhouse dwelling. Under this legislation, “second suites” or “secondary suites” are now referred to as “additional residential units”, and the terms are used synonymously in this memorandum.

Provincial Policy Statement, 2020

Section 1.4.3 of the *Provincial Policy Statement, 2020*, requires planning authorities to provide for an appropriate range and mix of housing options and densities to meet the affordable housing needs of current and future residents. Amongst other means, this can be achieved by permitting and facilitating residential intensification, including additional residential units, and redevelopment by accommodating a significant supply and range of housing options through intensification and redevelopment while taking into account existing building stock.

A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019 (Growth Plan, 2019)

Section 2.1.4 (c) of the *Growth Plan, 2019* requires municipalities to provide a diverse range and mix of housing options including second units to support complete communities.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Official Plan designates the subject property “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. The Official Plan also contains criteria for the establishment of secondary suites in Section 8.13.8 which states:

“That in considering an application to amend the Zoning By-law to permit the establishment of a secondary suite where provided for in this Plan, Council shall be satisfied that an appropriate set of development standards are provided for in the Zoning By-law including:

- a) the building type in which the secondary suite is contained;*
- b) the percentage of the floor area of the building type devoted to the secondary suite;*
- c) the number of dwelling units permitted on the same lot;*
- d) the size of the secondary suite;*
- e) the applicable parking standards; and*
- f) the external appearance of the main dwelling.”*

A “Secondary Suite” in the Official Plan is defined as:

“...a second residential unit in a detached house, semi-detached house or rowhouse that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking, sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons.”

Section 4.1.2.6 of the Official Plan contains policies to support further diversification of the housing stock and rental housing tenure by permitting secondary suites within existing and new single detached, semi-detached and rowhouse dwellings in accordance with Section 3.5.22 of the Regional Official Plan and subject to appropriate zoning, development criteria, and standards.

Zoning By-Law 177-96

The subject property is zoned “Residential Two Exception *133 *137 (R2*133*137) Zone” under By-law 177-96, as amended, which permits various low rise housing forms, including single detached dwellings, and development standards for the property. Exceptions *133 and *137 include other site specific development standards for the property that do not impact the subject variance requests. The proposed development does not comply with the By-law requirements with respect to the maximum of one single detached dwelling, and maximum rear yard encroachment.

Parking Standards By-law 28-97

The proposed secondary suite also does not comply with the Parking By-law with respect to the minimum parking requirement of three parking spaces as an accessory dwelling unit is proposed.

Zoning Preliminary Review (ZPR) Not Undertaken

The applicant has confirmed that a ZPR has not been completed. However, the applicant has received zoning comments from staff through their building permit process which confirmed two of the requested variances relating to a secondary suite, and rear yard encroachment. Following discussions with Planning staff, the applicant submitted revised plans, and requests a reduction to the number of required parking spaces, as opposed to the applicant’s previous requests relating to parking size and soft landscaping reductions. It is the applicant’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment (“the Committee”):

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Secondary Suite

Fire and Emergency Services Department has no objections provided the secondary suite is registered with the City and complies with Building and Fire Codes. Should this application be approved, the applicant will be required to obtain a building permit which ensures the secondary suite will be in compliance with Building Code and Fire Code regulations, and will be required to register their second suite with the Fire Department prior to the occupancy of the unit.

The City of Markham is committed to promoting affordable and shared housing opportunities. Secondary suites help the City increase the availability of affordable housing forms and provide support to achieve its affordable housing target required by the Province. Planning staff are of the opinion that the application meets the criteria under Section 8.13.8 of the Official Plan for the establishment of a secondary suite and therefore have no objections.

Increase in Encroachment of Stairs and Landing Used to Access a Main Building

The applicant is requesting that the stairs and landing encroach into the required rear yard a distance of 3.0 m (9.84 ft), whereas the by-law permits stairs and landings to encroach a distance of no more than 2.0 m (3.28 ft) into the required rear yard.

The By-law requires a minimum rear yard setback requirement of 7.50 m (24.61 ft). With the stairs and landing located below grade, and having a proposed width of approximately 1.50 m (4.92 ft), staff are of the opinion that the increase would not adversely impact neighbouring properties or the general usability of the rear yard area.

Reduction in Parking

The Parking By-law requires two parking spaces for the detached dwelling, and one additional parking space for an accessory dwelling unit. The applicant is proposing a single car driveway as shown in the plans, and to maintain the attached single car garage which would provide for a total of two legal sized parking spaces. The applicant is therefore requesting a variance to permit a minimum of two parking spaces, whereas the By-law requires a minimum of three parking spaces.

Staff are of the opinion that a reduction in parking may be considered self-regulating, as the secondary suite could be of interest to an occupant that does not require a parking space in the event that both parking spaces are required for use by the owner of the subject property. Should this variance be approved, it is noted that overnight parking is not permitted along the street, and any violators would be ticketed accordingly.

Staff also note that the Parking By-law permits a maximum driveway width of up to 2.0 m (6.56 ft) wider than the width of the garage door, provided that a minimum of 40.0% soft landscaping is maintained in the front yard. To comply with these requirements, the applicant may be required to convert the area south of the single-car driveway back to soft landscaped area as shown in the revised plans (Appendix "B"). Failure to comply with the maximum driveway width, and/or minimum soft landscaping requirements may result in the need for additional variances.

Metrolinx Requirements

Metrolinx provided comments on this application as of June 18, 2021, requesting that the applicant grant Metrolinx an environmental easement for "Operational Emissions", registered on title against the subject residential dwelling units as the property is located

within 300.0 m (984.25 ft) of the rail corridor right-of-way. In the event of approval, staff recommend that the associated condition provided in Appendix "A" be adopted by the Committee requiring that the applicant satisfy Metrolinx requirements prior to the issuance of a building permit.

PUBLIC INPUT SUMMARY

No new written submissions were received as of June 29, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, and are of the opinion that the variance request meets the four tests. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the By-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances. Please see Appendix "A" for conditions to be attached to any approval of this application.

APPENDICES

Appendix "A" – Conditions of Approval

Appendix "B" – Plans

Appendix "C" – Metrolinx Comments: June 18, 2021

Appendix "D" – Staff Report: June 2, 2021

PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:



Stacia Muradali, Development Manager, East District

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/052/21

1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the proposed development, in substantial conformity with the batch stamped plans attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That if required by the Chief Building Official, the owner submits a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.
4. That the applicant satisfies the requirements of Metrolinx, financial or otherwise, as indicated in their e-mail to the File Planner attached as Appendix "C" to this Staff Report, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of Metrolinx.

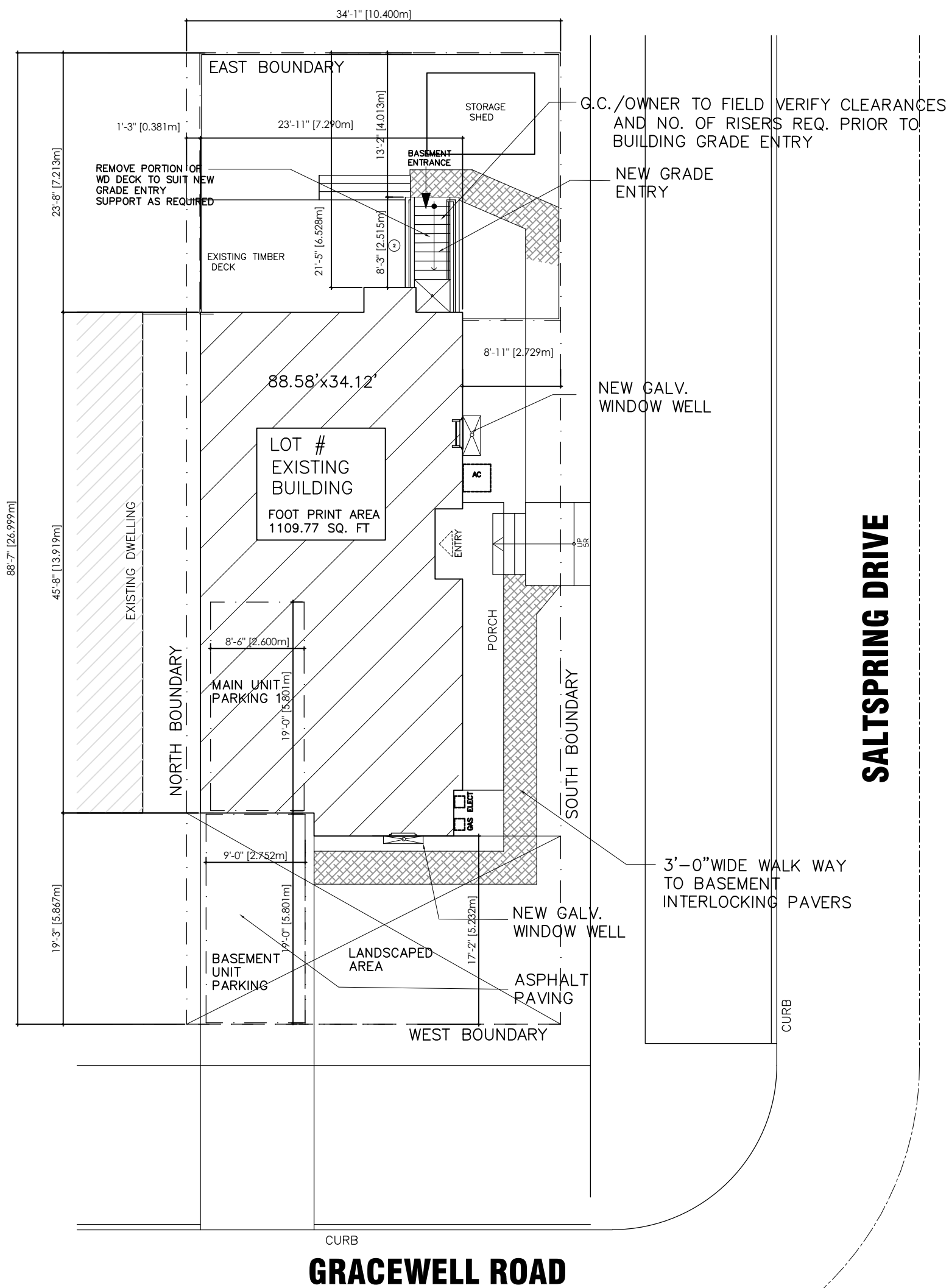
CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read 'Aleks Todorovski', written over a horizontal line.

Aleks Todorovski, Planner, Zoning and Special Projects

APPENDIX “B”

PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/052/21



GRACEWELL ROAD

SITE PLAN

SCALE: 3/32" = 1'-0"

SITE STATISTICS:

SITE ADDRESS: 45 GRACEWELL RD, MARKHAM

LOT AREA: 2973.4 square ft.= (276.33 SQ.M.)

GROUND FLOOR SPACE : 1109.77 square ft (103.13 SM)

SECOND FLOOR SPACE : 1117.1 square ft (103.81 SM)

BASEMENT SECOND UNIT AREA : 595.8 square ft. (55.37 SM)

○→ TP PERMIT AN ENCROACHMENT OF 3.0M INTO THE REQUIRED REAR YARD,
WHEREAS THE BY-LAW PERMITS A MINIMUM OF 2.0M
SECTION 6.6.3, BY-LAW 177-96.

total front yard area : 609.9 square ft. (55.37 SM)

asphalt paving : 332.0 square ft.(30.84SM)

brick pavers: 41.9 square ft. (3.89SM)

landscaping (grass) 285.49 SF (26.52 SM)= 46.81%



THE UNDERSIGNED HAS REVIEWED AND TAKES
RESPONSIBILITY FOR THIS DESIGN, AND HAS THE
QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE O.B.C TO BE A DESIGNER

QUALIFICATION INFORMATION:
K.RANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE:
SITE PLAN

PROJECT:
NEW BASEMENT APT EXISTING DWELLING
RENOVATION TO 45 GRACEWELL RD, MARKHAM

OWNER:
POOPALASINGIAM WASANTHAROBY
MAHENDRATHAS BALASUBRAMANIAM

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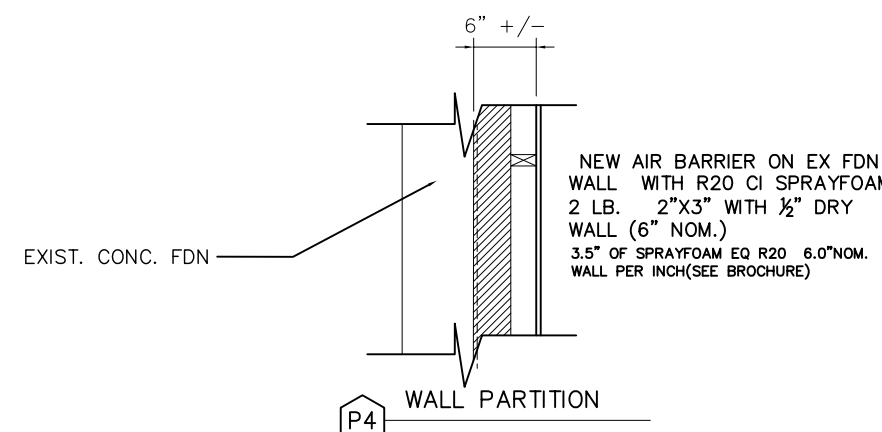
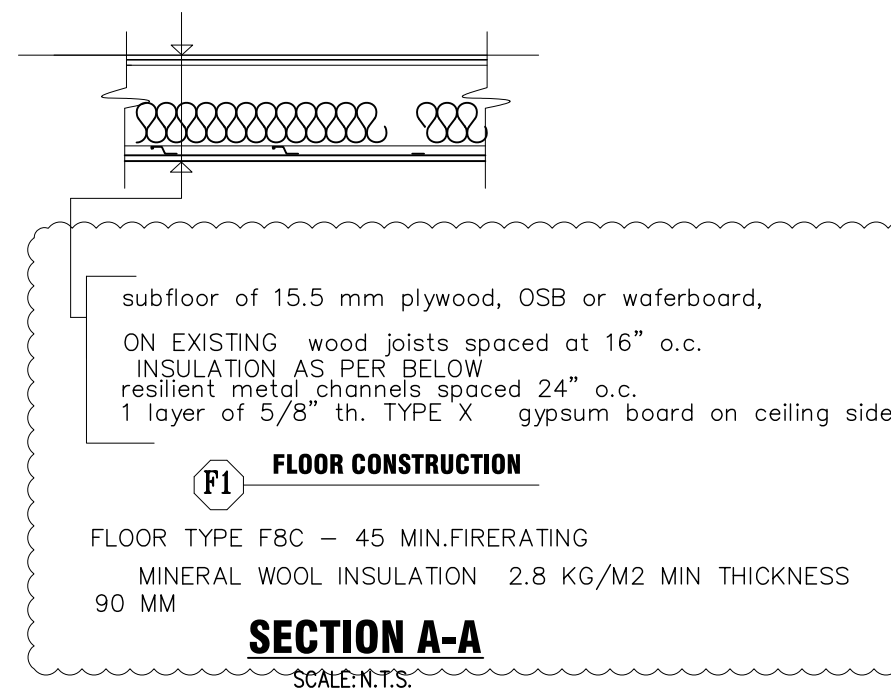
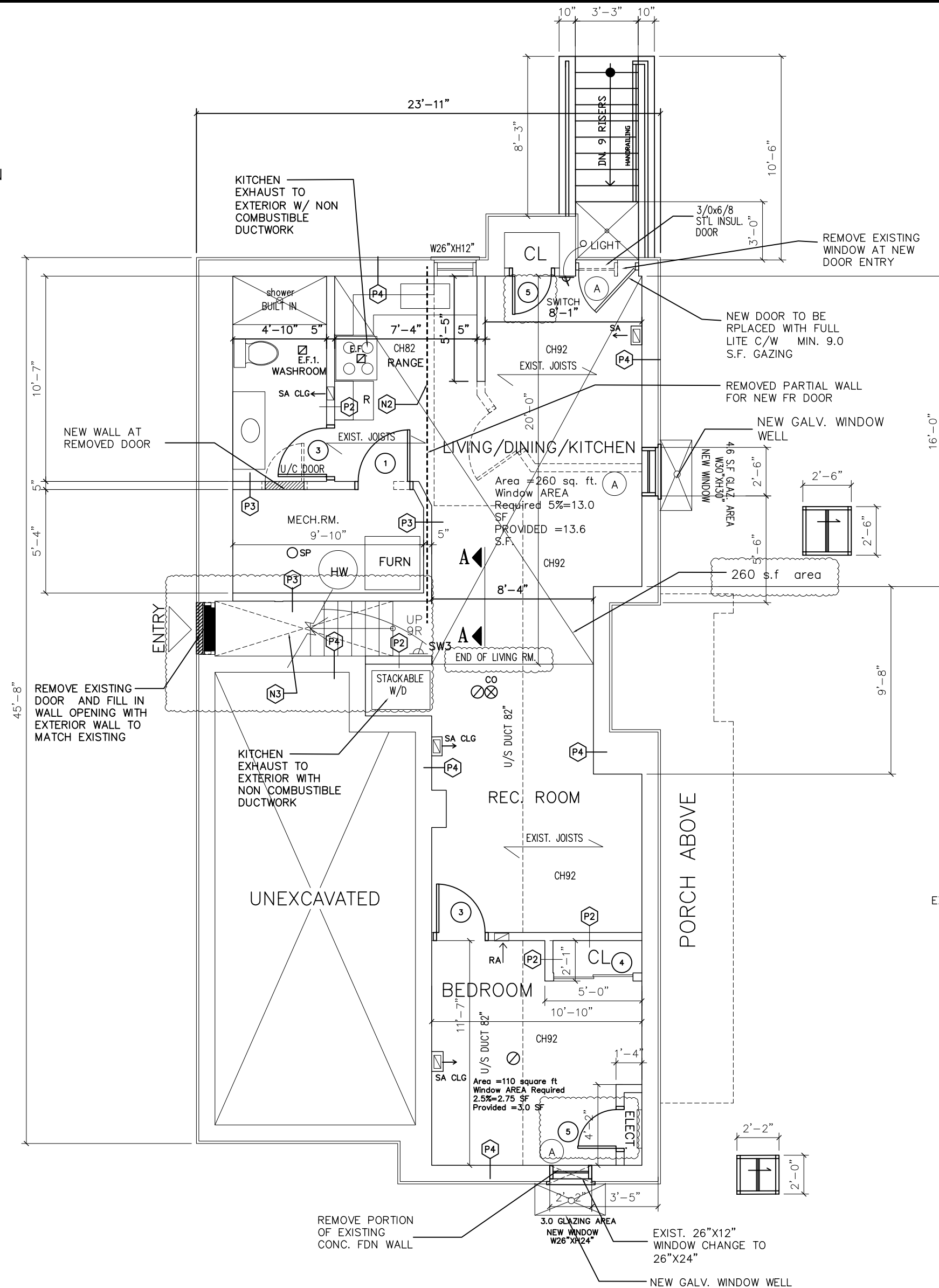
4	REVISONS	K.V.	MAY .14/21
1	building permit	K.V.	MAR.3,21
NO.	REVISION/ISSUED TO	BY	DATE

VARATHA DESIGN ASSOCIATES
Architectural & Engineering Services

Varatha Ken
Architectural Designer
TEL: (416) 284 7945
CELL: (416) 725 2041
email: kvaratha@hotmail.com

SCALE: 3/32" = 1'-0"	CAD FILE :	JOB No.: 21152
DATE: MAR.3,21	DWG NO: A1	OF 7
DRAWN BY: K.V.	CHECKED BY: K.V.	DATE OF PRINT: MAR.3,21

(A) WINDOW LINTEL TO
BE 3-2" X10" FLUSH
C/W 3.5" X3.5" X
5/16" STEEL BRICK
ANGLE



scale: $3/16'' = 1' - 0''$

LEGEND:

EXISTING WALLS

NEW WALLS

RENOVATED WALLS

RENOVATED BASEMENT FLOOR PLAN

scale: 3/16" = 1'-0"

E.F. <input checked="" type="checkbox"/> MECHANICAL VENTILATION 150 CFM INSUL. 6" DIA. EXHAUST OUT	<div style="display: flex; justify-content: space-between;"> <div> <input checked="" type="checkbox"/> SA -SUPPLY AIR <input checked="" type="checkbox"/> SA CLG. -SUPPLY AIR </div> <div> <input checked="" type="checkbox"/> RA -RETURN AIR </div> </div>
1 32X80 NEW DOOR (20" MIN RATED WITH SELF CLOSING DEVICE.	<div style="display: flex; justify-content: space-between;"> <div> <input checked="" type="checkbox"/> SW SWITCH </div> <div> <input checked="" type="checkbox"/> EXT EXISTING DOOR </div> </div>
2 32X80 NEW DOOR 3 30X80 NEW DOOR 4 48 X 80 SLIDING DOOR	<input checked="" type="checkbox"/> EXS EXISTING SUPPLY AIR
5 24 X 80 DOOR	<input checked="" type="checkbox"/> SW3 3-way SWITCH
<div style="display: flex; justify-content: space-between;"> <div> <input checked="" type="checkbox"/> CO </div> <div> <input checked="" type="checkbox"/> SMOKE ALARM INTER CONNECTED </div> </div>	
E.F.1. <input checked="" type="checkbox"/> 100 CFM INSUL. 6" DIA. EXHAUST OUT	
<input checked="" type="checkbox"/> SP INSTALL NEW SPRINKLER HEAD IN FURNACE ROOM	

P1 1 LAYER 1/2"TYPE "X" GYPSUM BOARD C/W SOUND ABOR. MATERIAL 2" X4" @ 16" O.C. SB-3 W1B 45 MIN F.R. STC34	P2 2X4 WITH 1/2" DRY WALL BOTH SIDES
P1A 1 LAYER 1/2" GYPSUM BOARD C/W SOUND ABOR. MATERIAL 2" X4" @ 16" O.C. SB-3 W1C 30 MIN F.R. STC32	P3 2X4 WITH 5/8" TYPE "X" DRY WALL @ 16" O.C BOTH SIDES 1 HR FIRERATED WALL(BASED ON W1D SB-3)
P1B 2 LAYER 5/8" TYPE "X" C/W SOUND CHANNELS C/W SOUND ABOR. MATERIAL 2" X4" @ 16" O.C. AND 1 LAYER OF 5/8" TYPE X (BASED ON W4A SB-3 STC RATING 51)	P4 2X3@16" WITH 1/2" DRY WALL WITH R20 CI SPRAYFOAM (2.75"MIN.TH.)
P1C 2X4 WITH 5/8" TYPE "X" DRY WALL @ 16" O.C BOTH SIDES 1 HR FIRERATED WALL(BASED ON W1A SB-3) STC 36	P5 2"x4"WD STUDS @16" O/C C/W 1/2" GYPSUM BD.

NOTES:

1. DOORWAY SIZE SHALL CONFIRM TO O.B.C 9.5.11
2. SMOKE DETECTOR SHALL BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH SHOULD BE TURN OFF THE FUEL SUPPLY AND ELEC. POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.
3. 30 MINUTE FIRE SEPARATION 1/2" (12.7 MM) GYPSUM BOARD CEILING SEE SECTION A-A

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3. 30 MINUTE FIRE SEPARATION $\frac{1}{2}$ " (12.7 MM) GYPSUM BOARD CEILING SEE SECTION A-A

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1	REVISIONS	K.V.	APRIL 23, 21
1	BUILDING PERMIT	K.V.	MAR. 3, 21
NO.	REVISION /ISSUED TO	BY	DATE

VARATHA DESIGN ASSOCIATES
Architectural & Engineering Services
Varatha Ken
Architectural Designer
TEL: (416) 284 7945
CELL: (416) 725 2041
TORONTO Ont. email: kvvaratha@hotmail.com

SCALE: 3/16" = 1'-0"	CAD FILE :	JOB No.: 21152	
DATE: MAR.3,21		DWG NO:	OF
DRAWN BY: K.V		A2	7
CHECKED BY: K.V		DATE OF PRINT: MAR.3,21	

DRAWING TITLE: BASEMENT RENOVATED PLAN

PROJECT: NEW BASEMENT APT EXISTING DWELLING
RENOVATION TO 45 GRACEWELL RD, MARKHAM

OWNER: POOPALASINGIAM WASANTHAROOPY
MAHENDRATHAS BALASUBRAMANIAM

DRAWING TITLE:

PROJECT:

NEW BASEMENT APT EXISTING DWELLING
RENOVATION TO 45 GRACEWELL RD, MARKHAM

OWNER:

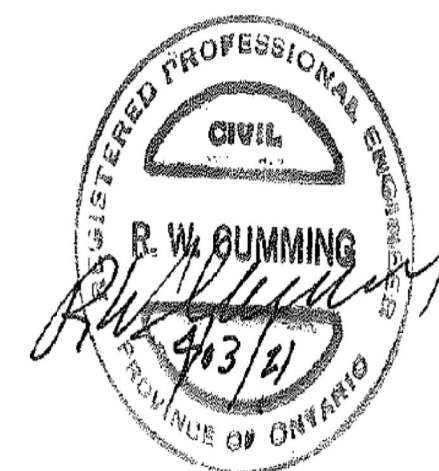
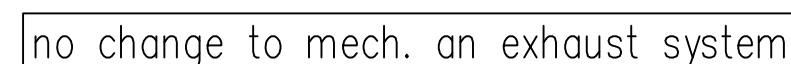
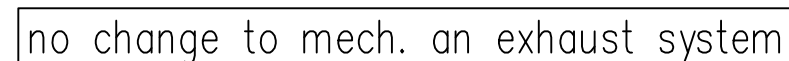
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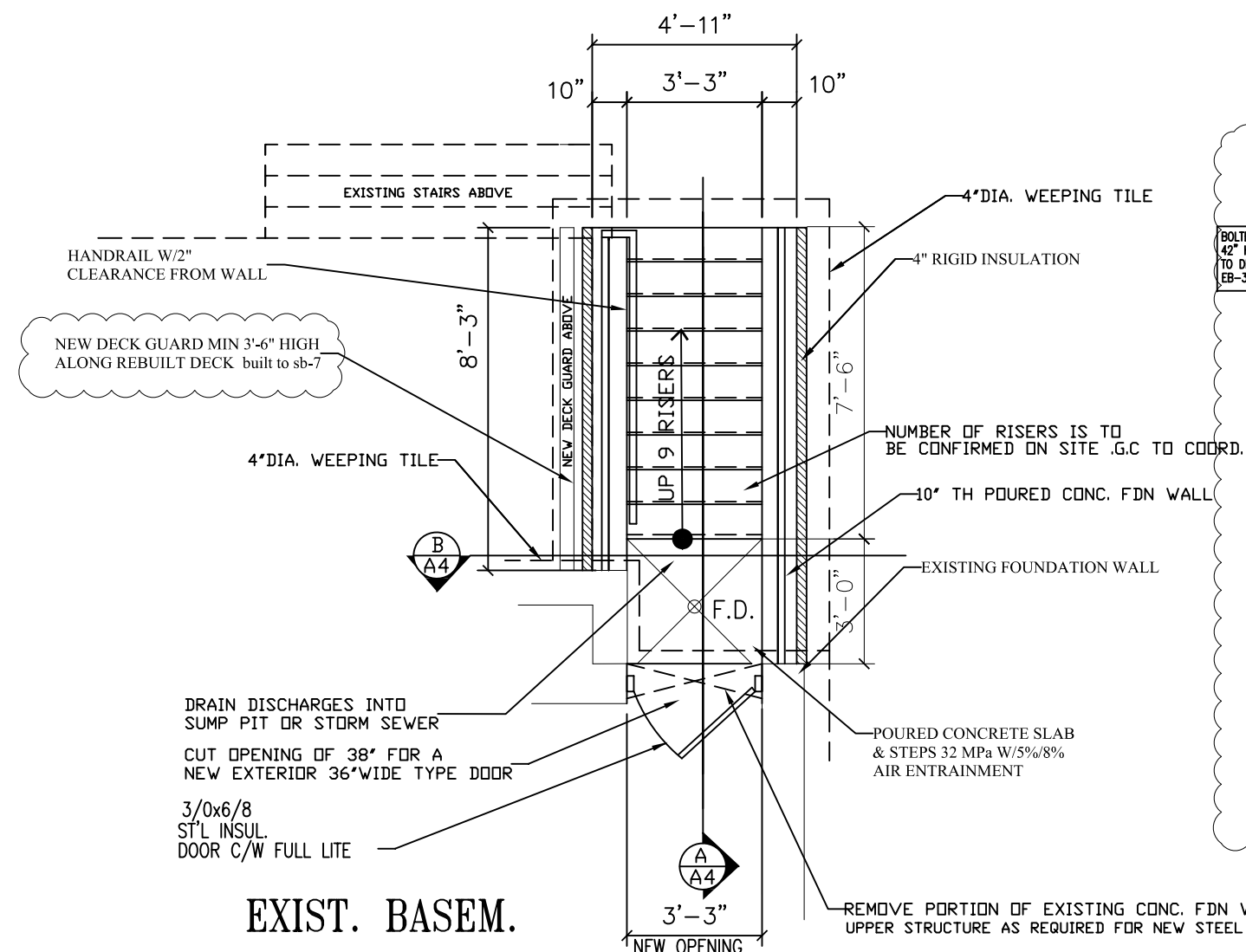
OWNER:

POOPALASINGIAM WASANTHAROOPY
MAHENDRATHAS BALASUBRAMANIAM

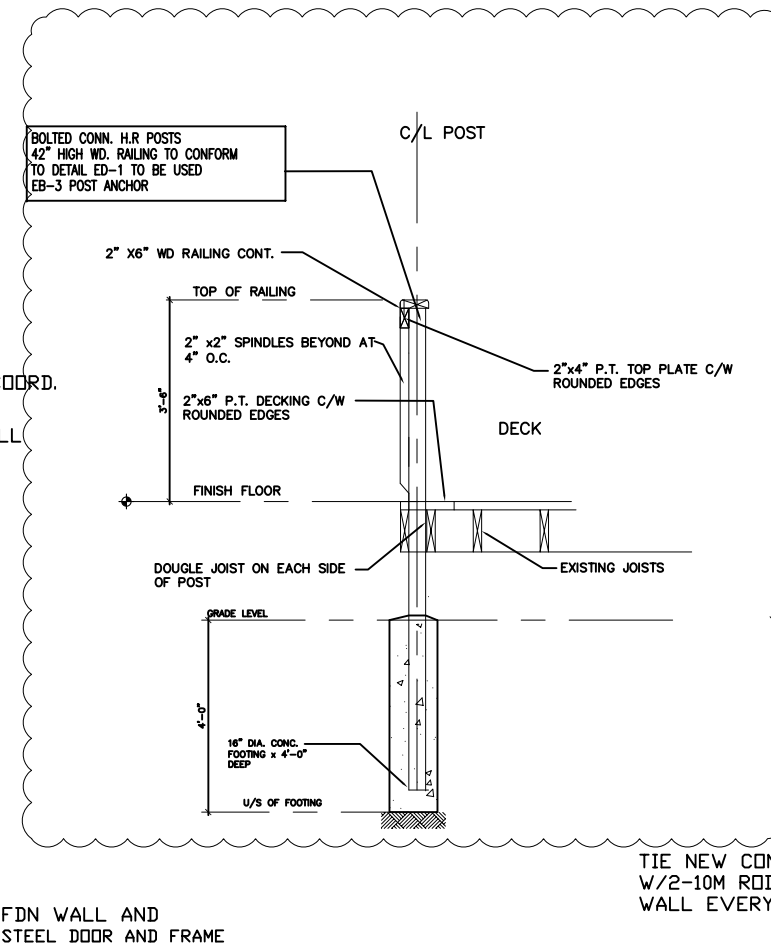


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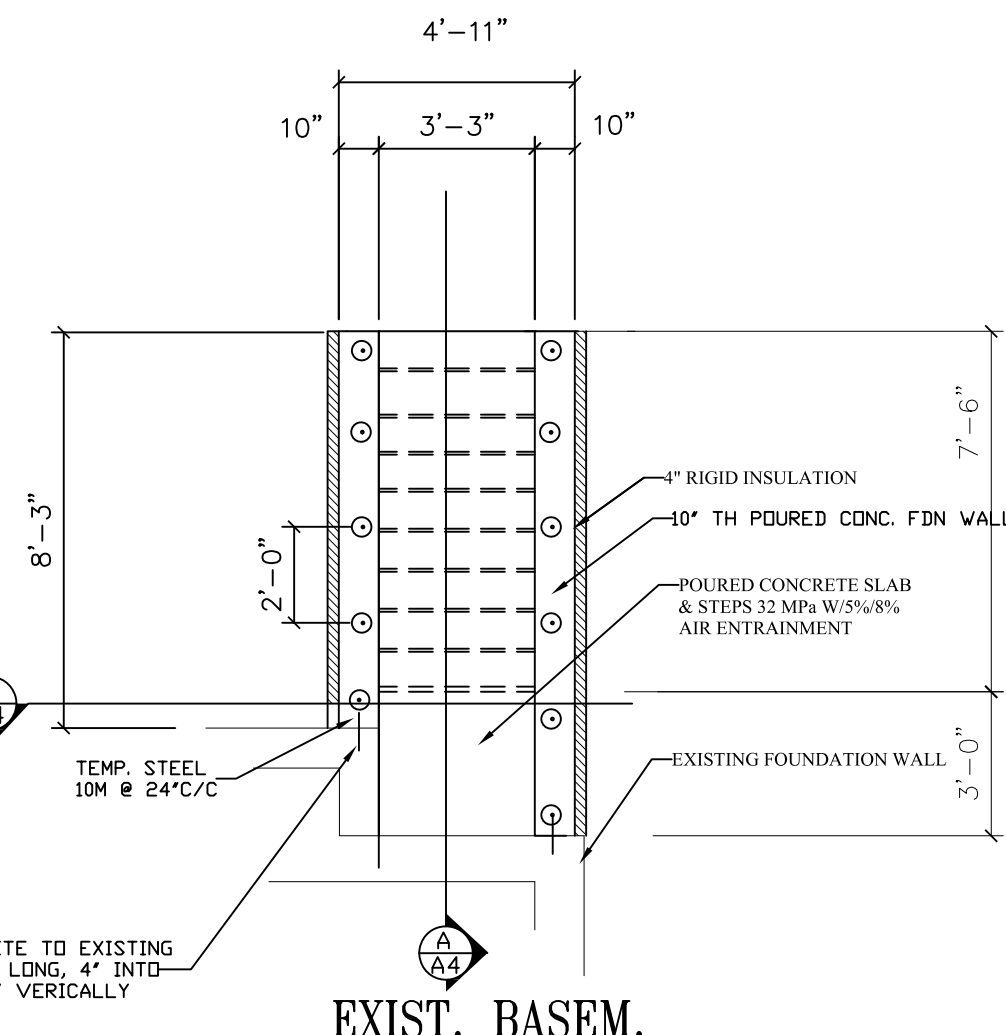
DATE OF PRINT
MAR 3 21

**FLOOR PLAN**

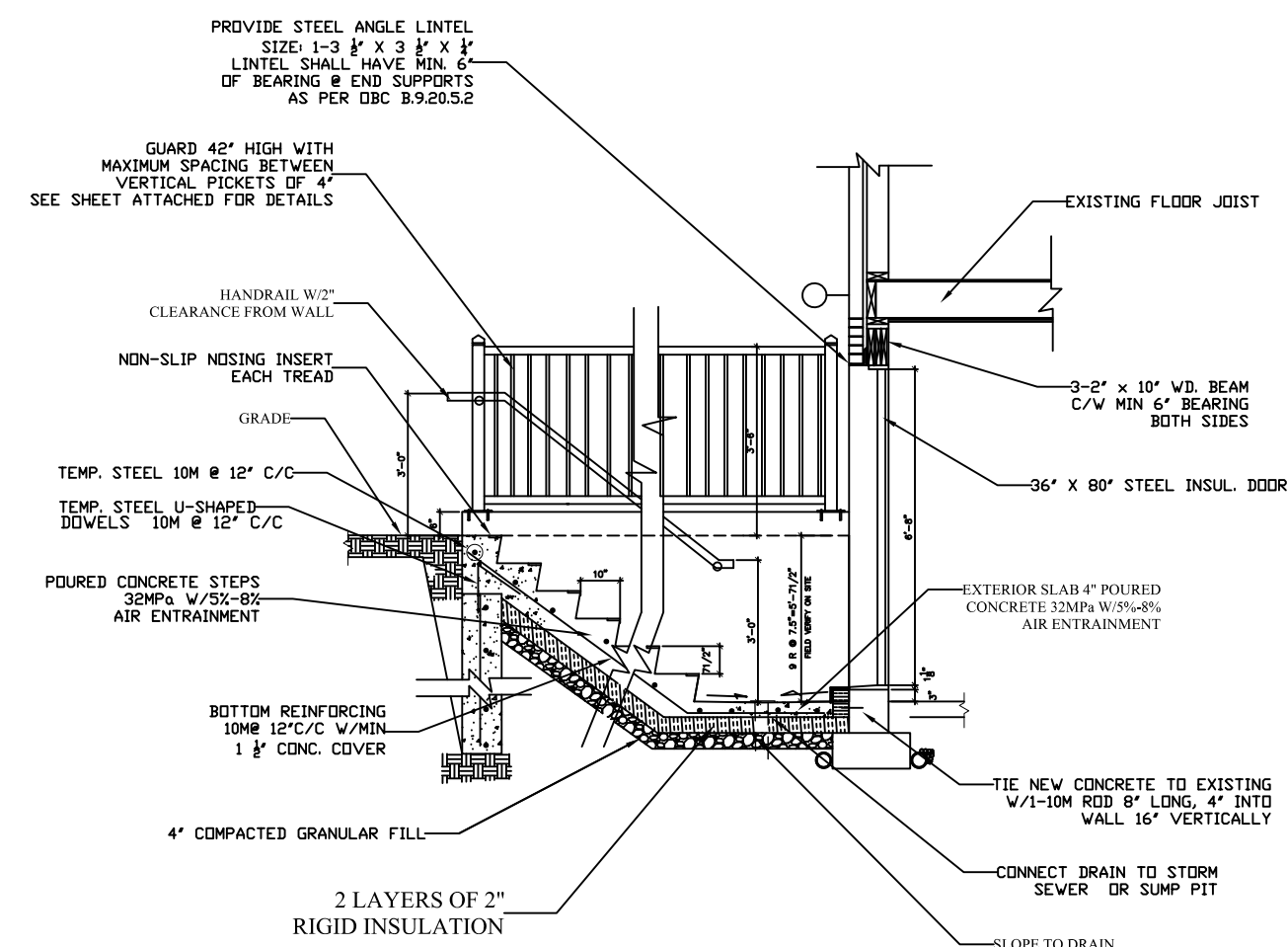
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**SECTION C: GUARDRAILING**

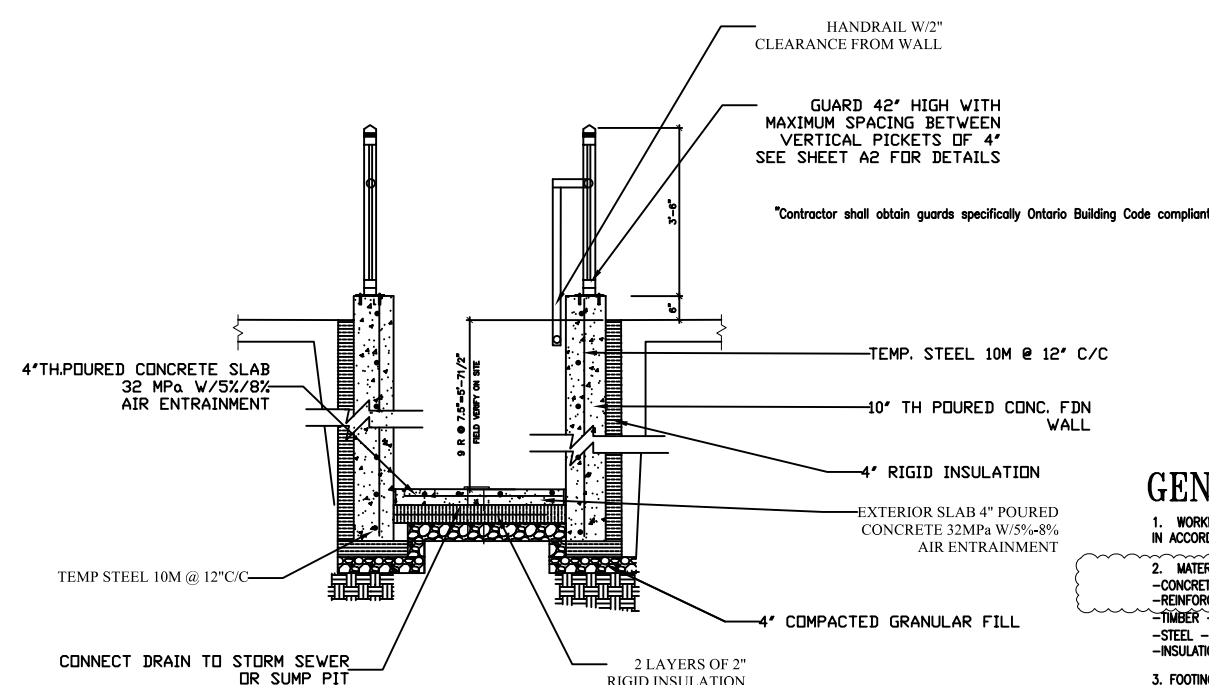
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**EXIST. BASEM.****FDN PLAN**

SCALE: 1/4" = 1'-0"

**SECTION A: FOR BELOW GRADE ENTRANCE**

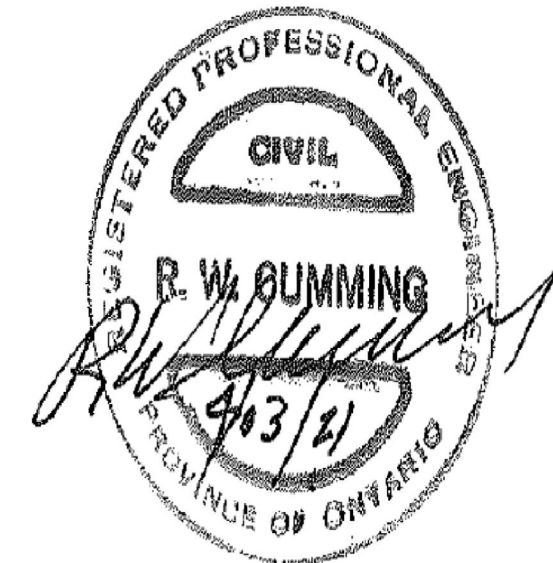
SCALE: 1/4" = 1'-0"

**SECTION B: FOR BELOW GRADE ENTRANCE**

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE (OBC) AND LOCAL REGULATIONS.
- MATERIAL SHALL BE AS FOLLOWS:
 - CONCRETE: 32 MPa WITH 5% TO 8% AIR.
 - REINFORCING: CSA G30.18-GRADE 400.
 - TIMBER: SAWN CSAO 141-S-P-1.
 - STEEL: AISC 360-10.
 - INSULATION: DOW STYROFOAM SM OR EQUIVALENT.
- FOUNDATIONS SHALL BEAR ON SOIL CAPABLE OF SUSTAINING AN ALLOWABLE BEARING PRESSURE OF 2000 PSF.
- DOOR AND FRAME TO ENTRY RESISTANT METAL PER OBC.



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER

QUALIFICATION INFORMATION:

K. RAMAGAVARATHA (B.C.L.N.) 26747

REGISTRATION INFORMATION:
VARATHA DESIGN ASSOCIATES (B.C.L.N.) 33937

DRAWING TITLE:

GRADE ENTRY DETAILS

PROJECT:NEW BASEMENT APT EXISTING DWELLING
RENOVATION TO 45 GRACEWELL RD, MARKHAM**OWNER:**POOPALASINGIAM WASANTHAROBY
MAHENDRATHAS BALASUBRAMANIAM

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NO.	REVISION/ISSUED TO	BY	DATE

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DATE: MAR.3,21 DWG NO: A4 OF 7

DRAWN BY: K.V.

CHECKED BY: K.V. DATE OF PRINT: MAR.3,21

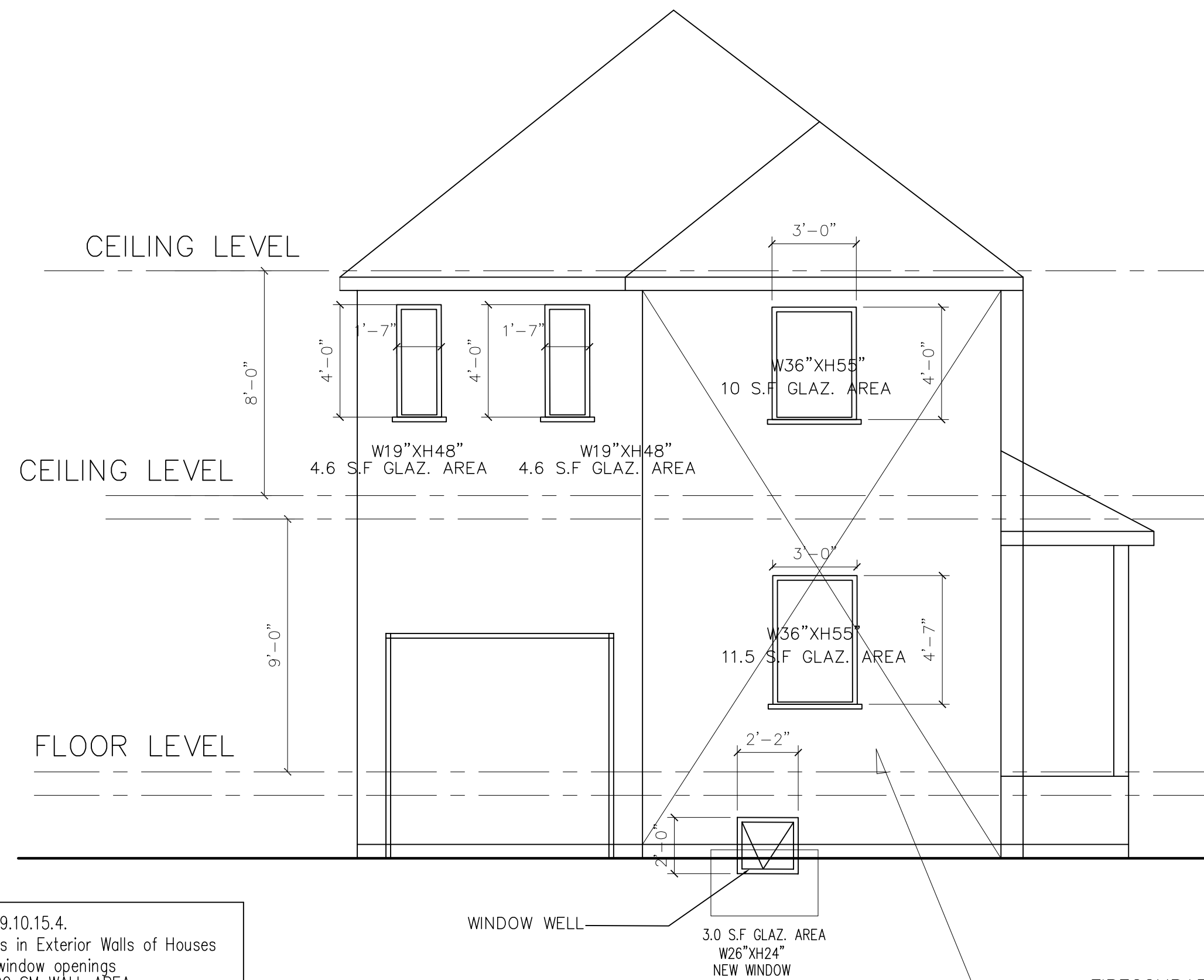


Table 9.10.15.4.
Maximum Area of Glazed Openings in Exterior Walls of Houses
45.0% MAX.window openings
BASED ON 100 SM WALL AREA

SOUTH ELEVATION

SCALE : 1/4" = 1'-0"

FIRECOMPARTMENT WALL 1

ALLOWABLE UNPROTECTED OPENINGS

TOTAL WALL AREA = 269.8 square ft. (25.07 S.M.)
LIMITING DISTANCE = 17.1' FT.
ALLOWABLE OPENINGS = 121.41 S.F.(11.28 SM.)
ACTUAL OPENINGS = 24.5 S.F



THE UNDERSIGNED HAS REVIEWED AND TAKES
RESPONSIBILITY FOR THIS DESIGN, AND HAS THE
QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE O.B.C TO BE A DESIGNER

QUALIFICATION INFORMATION:

K.RANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE: WEST ELEVATION

PROJECT: NEW BASEMENT APT EXISTING DWELLING
RENOVATION TO 45 GRACEWELL RD, MARKHAM

OWNER: POOPALASINGIAM WASANTHAROOPY
MAHENDRATHAS BALASUBRAMANIAM

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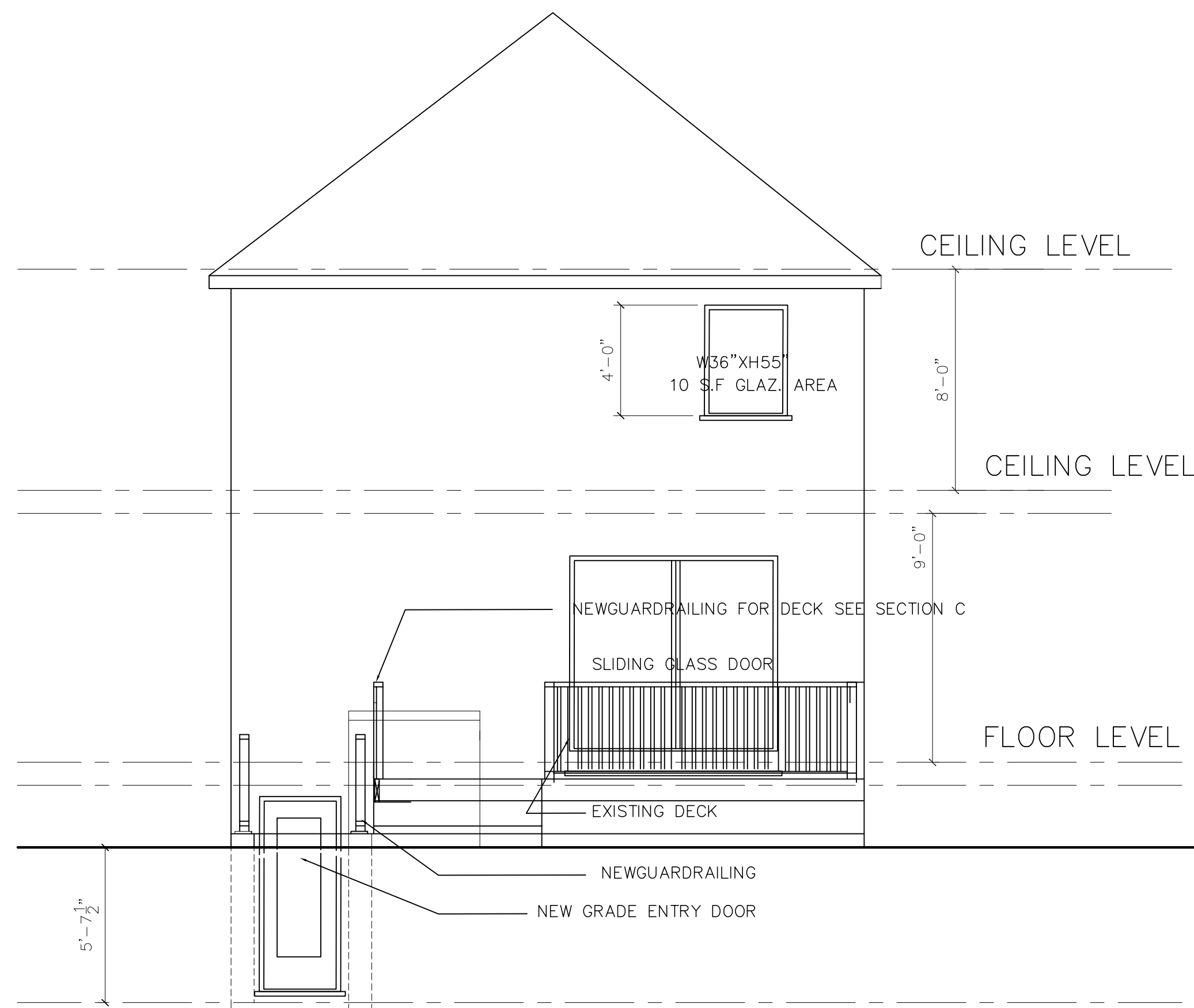
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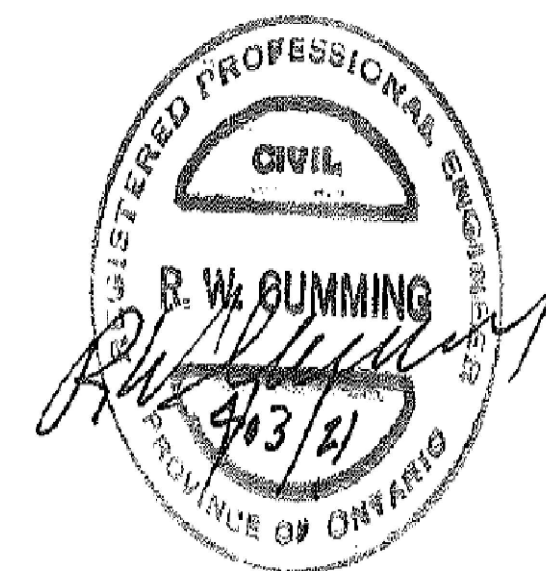
1	BUILDING PERMIT	K.V.	MAR.3,21
NO.	REVISION/ISSUED TO	BY	DATE

VARATHA DESIGN ASSOCIATES
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SCALE: 1/4" = 1'-0"	CAD FILE :	JOB No.: 21152
DATE: MAR.3,21	DWG NO: A6	OF 7
DRAWN BY: K.V	CHECKED BY: K.V	DATE OF PRINT: MAR.3,21

**NORTH ELEVATION**

SCALE : 1/4" = 1'-0"



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QUALIFICATION INFORMATION:

KRANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE: EAST ELEVATION

PROJECT:
NEW BASEMENT APT EXISTING DWELLING
RENOVATION TO 45 GRACEWELL RD, MARKHAM

OWNER:
POOPALASINGIAM WASANTHAROBY
MAHENDRATHAS BALASUBRAMANIAM

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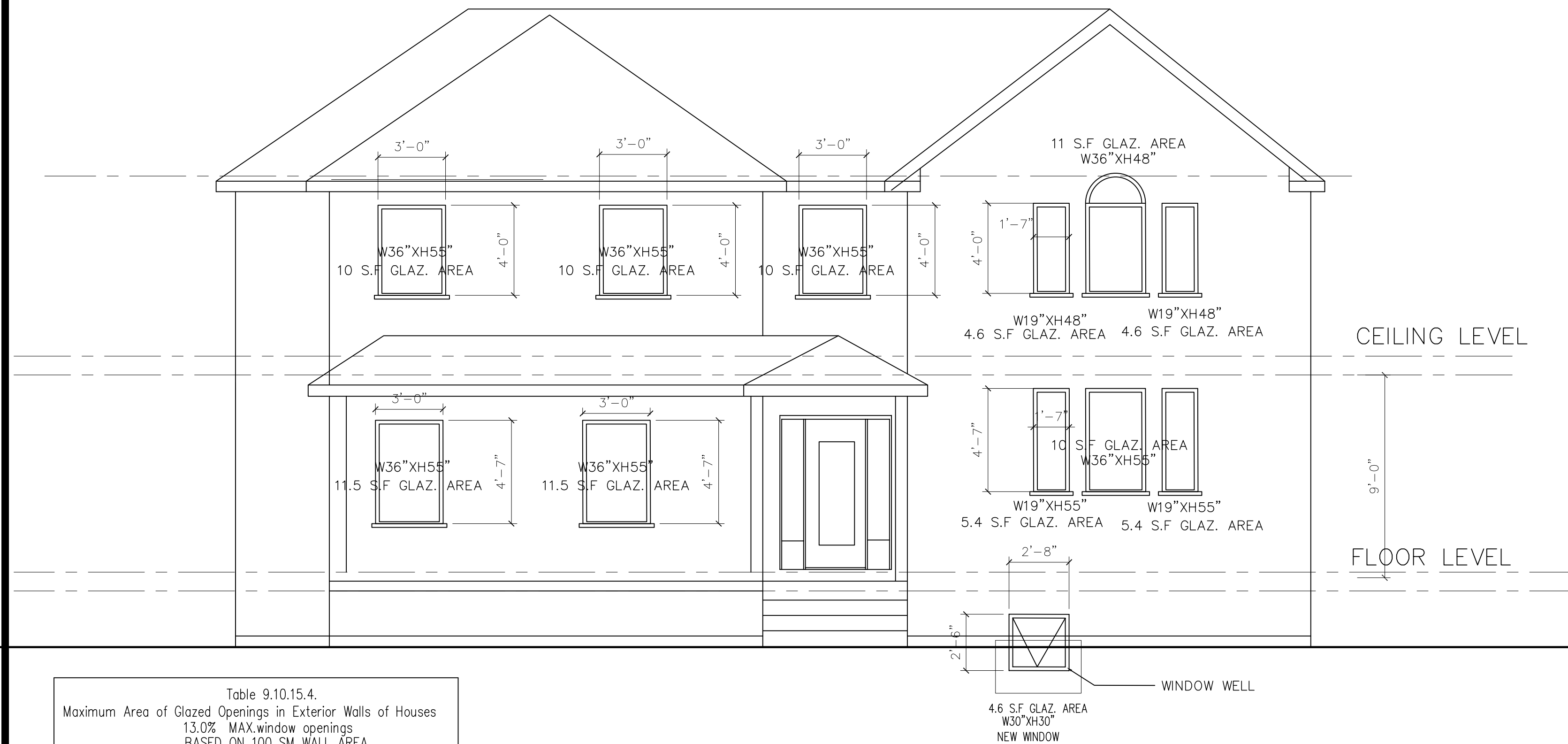
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NO.	REVISIONS	BY	DATE
1	REVISIONS	K.V.	APRIL23,21

VARATHA DESIGN ASSOCIATES
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SCALE: 1/4" = 1'-0"	CAD FILE :	JOB No.: 21152
DATE: MAR.3,21	DWG NO: A7	OF 7
DRAWN BY: K.V.	CHECKED BY: K.V.	DATE OF PRINT: MAR.3,21



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QUALIFICATION INFORMATION:

K.RANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE: SOUTH ELEVATION

PROJECT:
NEW BASEMENT APT EXISTING DWELLING
RENOVATION TO 45 GRACEWELL RD, MARKHAMOWNER:
POOPALASINGIAM WASANTHAROoby
MAHENDRATHAS BALASUBRAMANIAM

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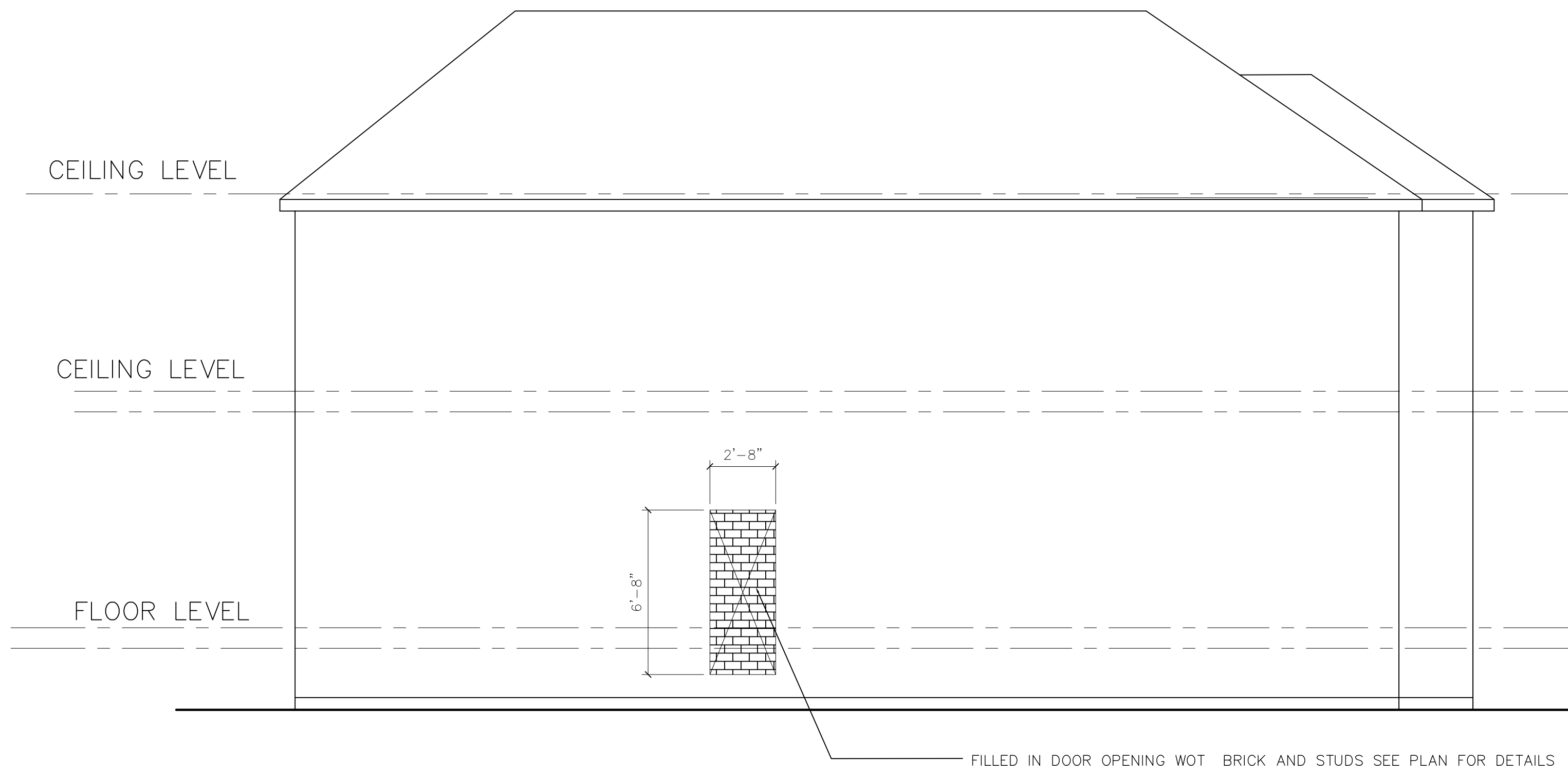
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1	BUILDING PERMIT	K.V.	MAR.3,21
NO.	REVISION/ISSUED TO	BY	DATE

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SCALE: 1/4" =1'-0"	CAD FILE :	JOB No.: 21152
DATE: MAR.3,21	DWG NO: A5	OF 7
DRAWN BY: K.V	CHECKED BY: K.V	DATE OF PRINT: MAR.3,21



WEST ELEVATION

SCALE : 1/4" = 1'-0"



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QUALIFICATION INFORMATION:

KRANAGAVARATHA (B.C.I.N) 26147

[Signature]

REGISTRATION INFORMATION:

VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE: WEST ELEVATION

PROJECT: NEW BASEMENT APT EXISTING DWELLING
RENOVATION TO 45 GRACEWELL RD, MARKHAM

OWNER: POOPALASINGIAM WASANTHAROoby
MAHENDRATHAS BALASUBRAMANIAM

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NO.	REVISION/ISSUED TO	BY	DATE
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VARATHA DESIGN ASSOCIATES
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SCALE: 1/4" = 1'-0"	CAD FILE :	JOB No.: 21152
DATE: MAY3,21	DWG NO: A7A	OF 7
DRAWN BY: K.V	CHECKED BY: K.V	DATE OF PRINT: MAY3,21

APPENDIX “C”

METROLINX COMMENTS: JUNE 18, 2021

Todorovski, Aleks

From: Alexandra Goldstein <Alexandra.Goldstein@metrolinx.com>
Sent: Friday, June 18, 2021 1:11 PM
To: Todorovski, Aleks
Subject: RE: 45 Gracewell (A/052/21) - Comments

CAUTION: This email originated from a source outside the City of Markham. DO NOT CLICK on any links or attachments, or reply unless you recognize the sender and know the content is safe.

Hi Aleks,

Thank you for the opportunity to provide comment on the Minor Variance application for 45 Gracewell Road, Markham, dated May 14, 2021, in which the Applicant is proposing a Second Suite on their property. I note that the subject property is located within 300 meters of Metrolinx's Uxbridge Subdivision which carries Stouffville GO train service. As such, it falls within Metrolinx's Zone of Influence. At this time, please accept the comments as outlined below.

- The Owner shall grant Metrolinx an environmental easement for operational emissions, to be registered on title against all residential dwellings within 300 metres of the rail corridor and in favour of Metrolinx. It should be noted that this process takes up to 8 weeks from when Metrolinx receives all required documentation. When the Owner is ready to begin the agreement process, they are asked to contact the undersigned.

Thank you,

ALEXANDRA GOLDSTEIN

Project Manager
Third Party Projects Review, Capital Projects Group
Metrolinx | 20 Bay Street | Suite 600 | Toronto | Ontario | M5J 2W3
T: 416-202-5708



APPENDIX “D”
STAFF REPORT: JUNE 2, 2021

MEMORANDUM

DATE: June 2, 2021
TO: Chairman and Members, Committee of Adjustment
FILE: A/052/21
ADDRESS: 45 Gracewell Road – Markham, ON
HEARING DATE: June 9, 2021

The following comments are provided on behalf of the East Team. The applicant is requesting relief from the following “Residential Two Exception *133 *137 (R2*133*137) Zone” requirements under By-law 177-96, as amended, as they relate to a proposed secondary suite, reduced parking, and walk-up stairs. The variances requested are to permit

a) By-law 177-96, Sec. 6.6.3:

Stairs and landings to encroach a distance of 2.52 m (8.27 ft) into the required rear yard setback, whereas the by-law permits stairs and landings to encroach a distance of no more than 2.0 m (6.56 ft) into the required rear yard;

b) By-law 177-96, Sec. 6.5:

One accessory dwelling unit (basement apartment), whereas the by-law permits one single family dwelling; and

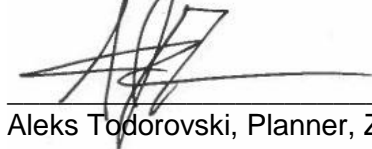
c) Parking By-law 28-97, Sec. 6.1.2(a):

Two parking spaces, whereas the By-law requires a minimum of three parking spaces.

COMMENTS

The applicant has confirmed with staff that the current request to permit stairs and landings to encroach a distance of 2.52 m (8.27 ft) into the required rear yard setback should be adjusted to reflect an encroachment of 3.0 m (9.84 ft). Accordingly, staff are recommending that the subject application be deferred until the next available hearing to ensure that appropriate notice is provided in accordance with the *Planning Act, R.S.O. 1990, c. P.13, as amended*.

PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:



Stacia Muradali, Development Manager, East District