

SITE STATISTICS	
ADDRESS:	49 CACHET PARKWAY, ON
ZONING:	RRE
LOT AREA	4248.30 m ²
LOT FRONTAGE	42.7 m
AVERAGE GRADE	N/A
HEIGHT TO MID-POINT	N/A m
HEIGHT TO HIGHEST RIDGE	10.5 m
HEIGHT TO EAVE	7.5 m
GFA-INFILL RESIDENTIAL	
GROUND FLOOR (BUILDING A)	599.00 m ²
SECOND FLOOR (BUILDING A)	583.46 m ²
GROUND FLOOR (BUILDING B)	93.50 m ²
SECOND FLOOR (BUILDING B)	77.50 m ²
POOL HOUSE	216.26 m ²
TOTAL GFA INFILL RESIDENTIAL	1,569.72 m²
LOT COVERAGE	
DWELLING FOOTPRINT	599.00 m ²
DWELLING FOOTPRINT B	93.50 m ²
POOL HOUSE	216.26 m ²
TOTAL LOT COVERAGE	908.76 m²
	21.40 %
LANDSCAPED SOFT AREA	
FRONT YARD AREA	1617.28 m ²
FRONT YARD HARD SURFACE AREA	794.11 m ²
TOTAL LANDSCAPED SOFT AREA	823.17 m²
	50.89 %
REAR YARD AREA	1631.4 m ²
REAR YARD HARD SURFACE AREA	710.55 m ²
TOTAL LANDSCAPED SOFT AREA	920.85 m²
	56.45 %



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North Office Architects Inc.

49 CACHET PARKWAY

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MECHANICAL

ELECTRICAL

STRUCTURAL

3 2025-03-27 COA
2 2025-03-03 ZPR RFI 01
1 2024-11-22 ZONING PRELIMINARY REVIEW

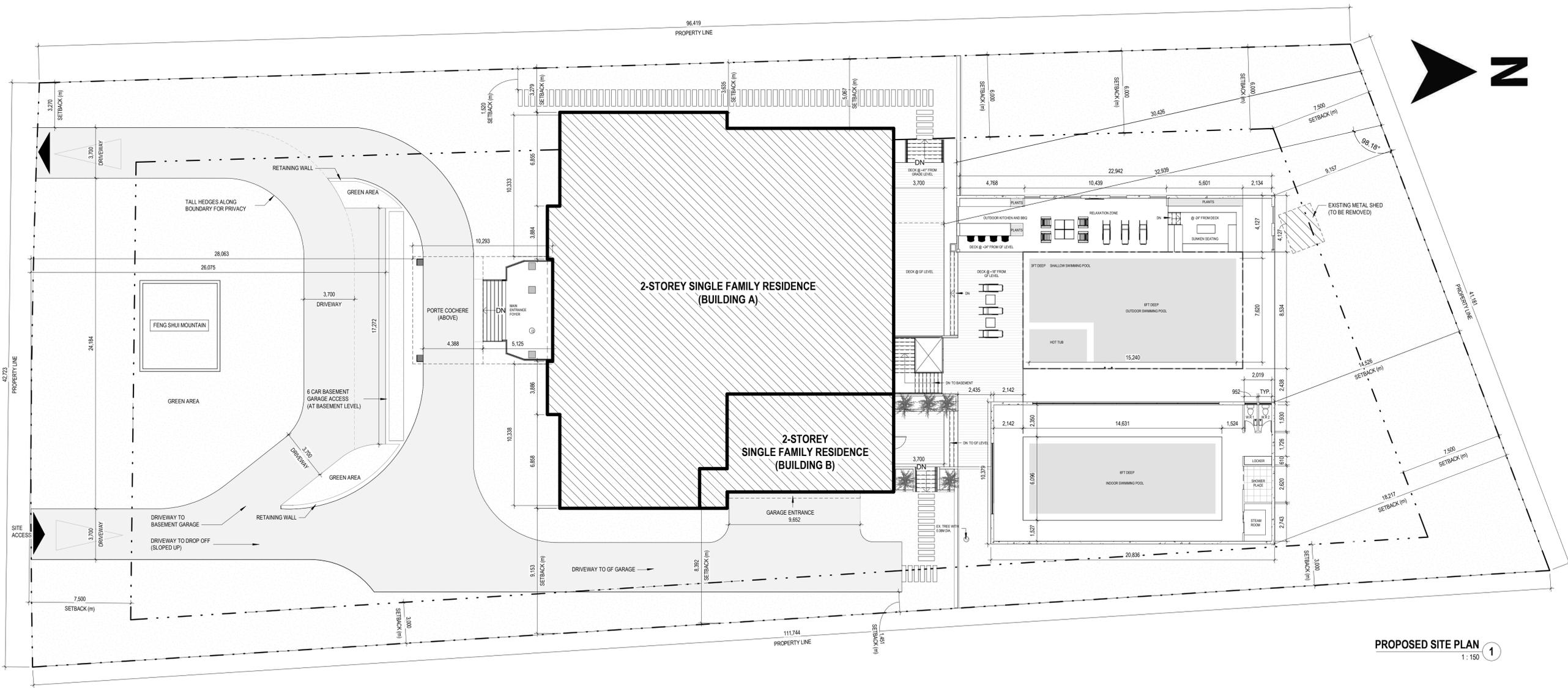
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PROPOSED SITE PLAN

NOA LC
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2213 As Indicated ARCH D
PROJ NO SCALE FORMAT

A0.2



PROPOSED SITE PLAN 1:150 1



PROPOSED ELEVATION - NORTH
3/16" = 1'-0" 2



PROPOSED ELEVATION - SOUTH
3/16" = 1'-0" 1

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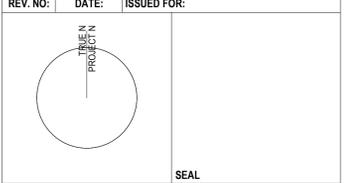
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PROPOSED ELEVATIONS

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PROJ NO	SCALE FORMAT



PROPOSED ELEVATION - EAST
3/16" = 1'-0" 2



PROPOSED ELEVATION - WEST
3/16" = 1'-0" 1



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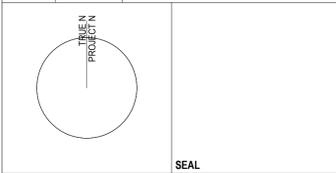
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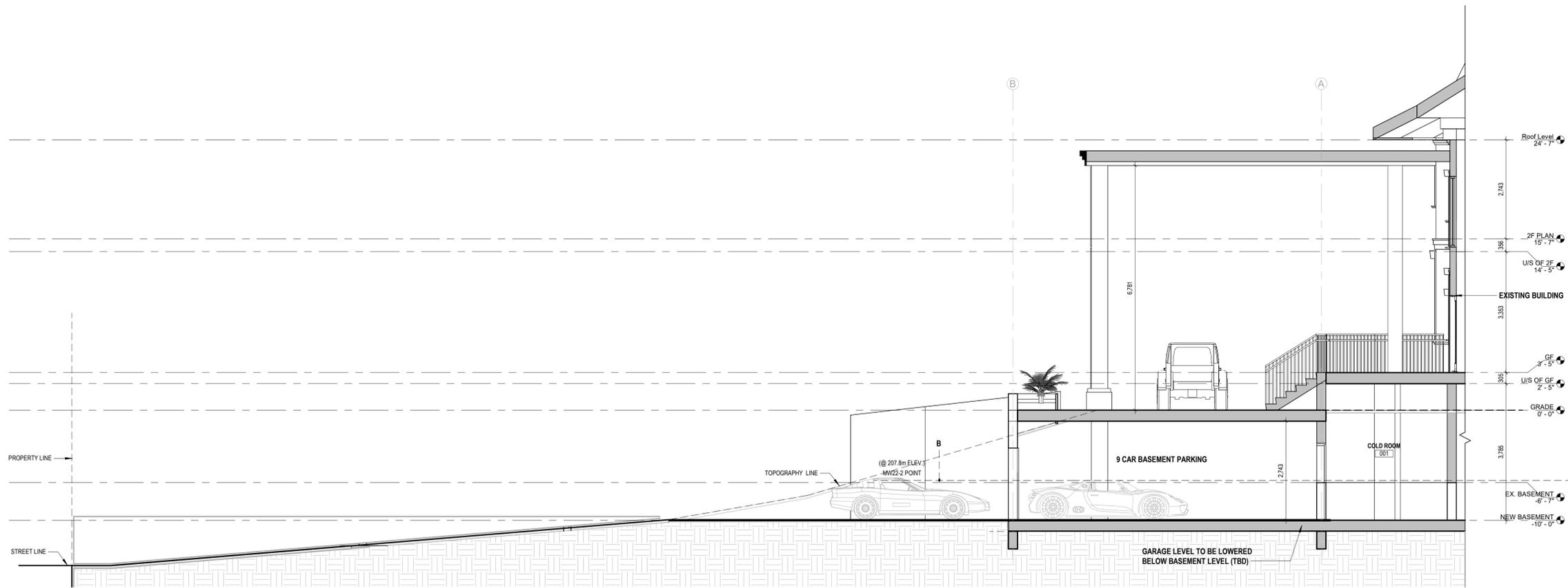
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A3.4



BASEMENT GARAGE SECTION CALLOUT 2
3/16" = 1'-0"



SECTION A-A 3
3/32" = 1'-0"

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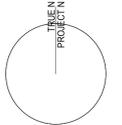
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PLUMBING

MECHANICAL

DATE: 2025-03-03

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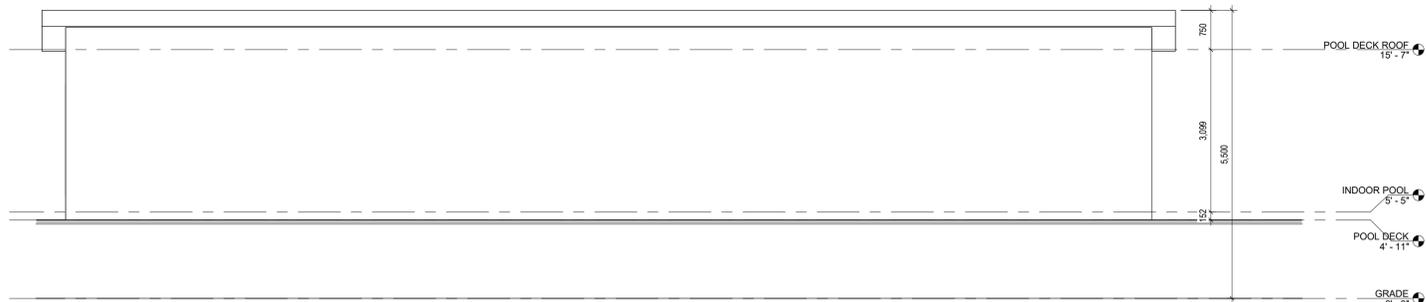


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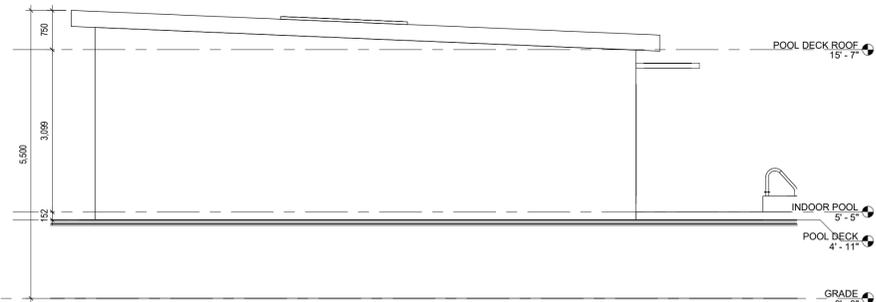
SECTION

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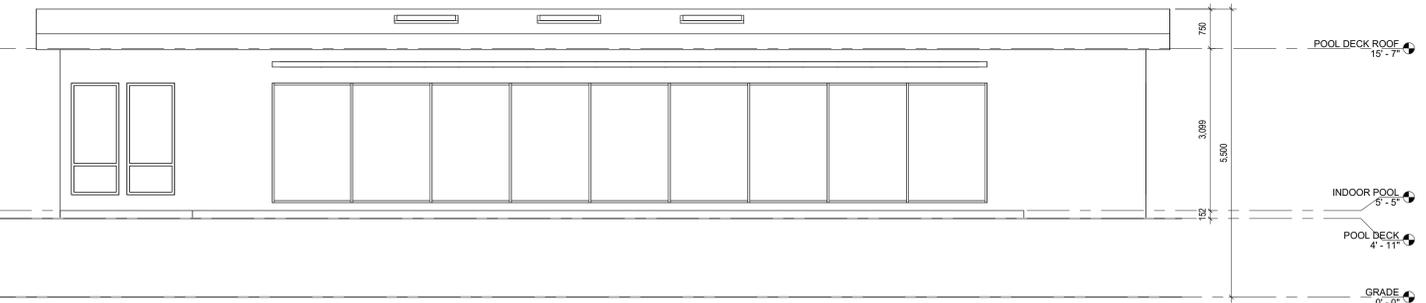
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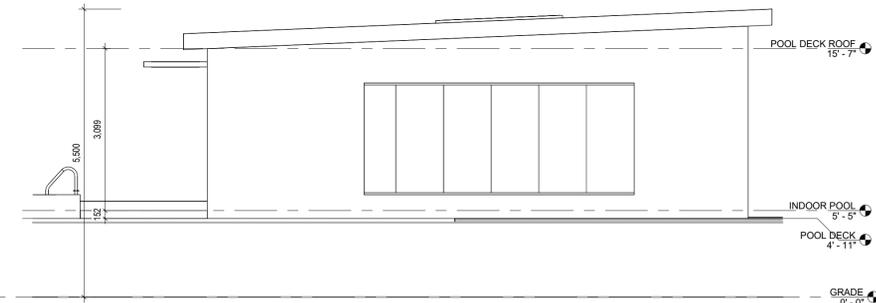
INDOOR POOL- EAST ELEVATION
3/16" = 1'-0" 6



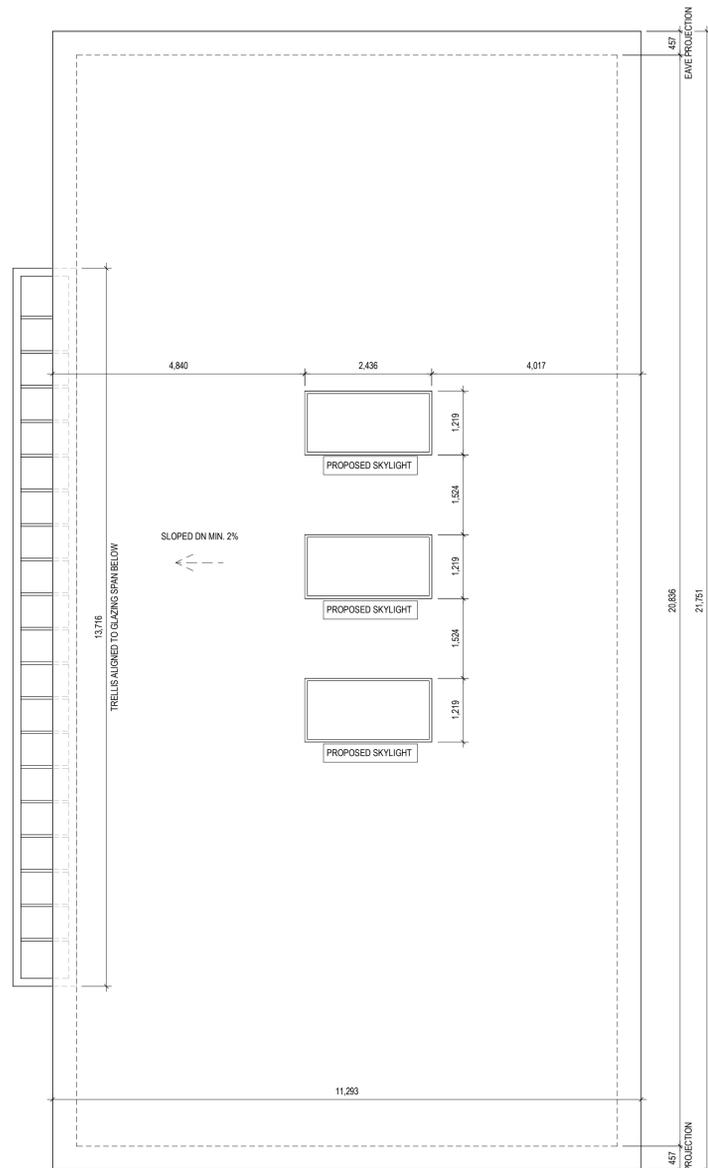
INDOOR POOL- NORTH ELEVATION
3/16" = 1'-0" 5



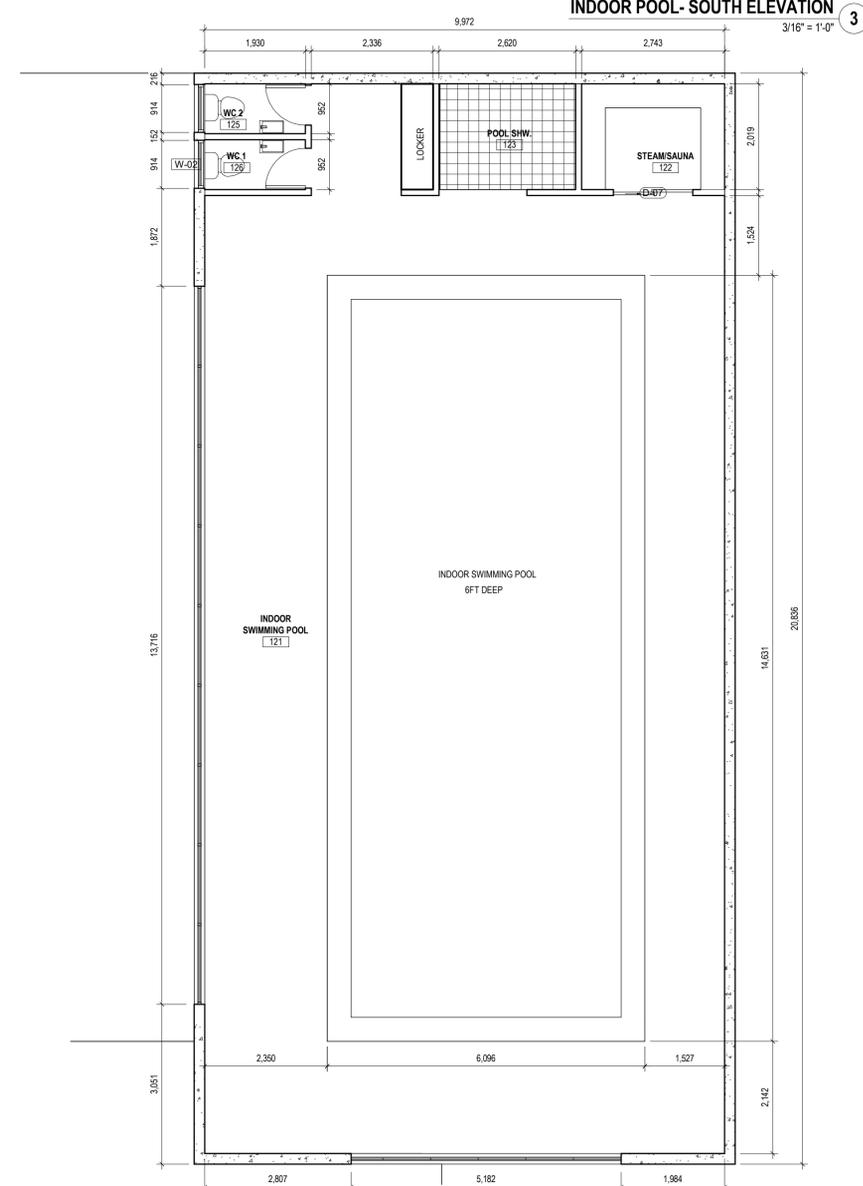
INDOOR POOL- WEST ELEVATION
3/16" = 1'-0" 4



INDOOR POOL- SOUTH ELEVATION
3/16" = 1'-0" 3



INDOOR POOL- ROOF PLAN
3/16" = 1'-0" 2



INDOOR POOL- FLOOR PLAN
3/16" = 1'-0" 1



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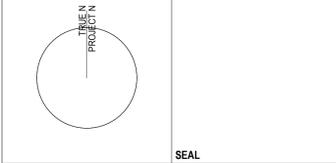
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**PROPOSED
INDOOR POOL
DRAWINGS**

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A5.1