

138 Sherwood Forest Dr
Markham, ON

Designation	RES-ENLR & R1-First Density Residential			
Lot Area	836.16	m ²	9,000.35	sq ft
Lot Frontage	18.29	m	60.01	ft
Lot Depth	45.72	m	150.00	ft

Total Main Building Coverage- RES-ENLR					
	Existing		Proposed		
Total Ground Floor	sqft	221.71	m2	2,386.48	sqft
Total Second Floor				1,961.44	
Total GFA	0.00	sqft	403.93	m2	4,347.92
	Maximum		Proposed		
Max GFA	418.09	m2	403.93	m2	4,347.92
FSI	1st+2nd + 500m2		0.48		
See Detailed Area Breakdown Below					
Main Building Coverage - RES-ENLR					
Ground Floor					
	Maximum		Proposed		
Ground Floor	sqft	180.50	sqft	1,942.85	sqft
Garage			sqft	443.63	sqft
Max Coverage	250.85	m2	221.71	m2	2,386.48
Percentage	30%		26.52%		
Second Floor					
	Maximum		Proposed		
Second Floor	sqft	171.36	sqft	1,844.48	sqft
Open To Below			sqft	116.96	sqft
Max Coverage	167.23	m2	182.22	m2	1,961.44
Percentage*	20%		21.79%		
Notes: Not including unenclosed decks, porch & balconies					

Net Floor Area Ratio - R1					
Net Lot Area		724.66	m ²	7,800.18	sqft
	Existing	Proposed			
Ground Floor	sqft	180.50	m ²	1,942.85	sqft
Second Floor	sqft	171.36	m ²	1,844.48	sqft
Garage	sqft	41.21	m ²	443.63	sqft
Open To Below	sqft	10.87	m ²	116.96	sqft
Max NFAR	326.10	m ²	403.93	m ²	4,347.92 sqft
Percentage*	45%	55.74%			
Notes:					

Basement Area			
Finished Area	sqft	180.92	1,947.44
Notes: Measured to interior face of exterior walls			

Coverage			
	Existing	Proposed	
House Footprint	sqft	221.57	2,384.95
Front Porch	sqft	6.15	66.15
Side Porch	sqft	2.65	28.48
Rear Porch	sqft	24.34	261.96
Total Coverage	0.00	254.70	2,741.54

	Maximum	Proposed	
Max Coverage	292.66	254.70	2,741.54
Percentage	35%	30.46%	

Main Building Distance / Building Depth - RES-ENLR			
	Maximum	Proposed	
Building Depth (Ground F.)	19.50	17.53	57.51
Building Depth (Second F.)	14.50	18.06	59.25
Notes: Measured from Established Building Line			

Building Depth - R1			
	Maximum	Proposed	
Building Depth*	16.80	18.06	59.25
Notes: Measured from Front Main Wall			

Front Yard Landscaping Calculations			
Total Front Yard	1,545.54	sqft	143.59
Permitted Encroachments			
Driveway	497.63	sqft	46.23
Porch	66.15	sqft	6.15
Steps	21.00	sqft	1.95
	0.00	sqft	0.00
	0.00	sqft	0.00
Total Removed	584.78	sqft	54.33
Front Landscape Area	960.76	sqft	89.26
	62.16%		

Front Hard Landscaping			
Planter Walls	17.21	sqft	1.60
Walkway	162.81	sqft	15.13
	0.00	sqft	0.00
	0.00	sqft	0.00
	0.00	sqft	0.00
Total Hard LA	180.02	sqft	16.72
Hard Landscape %	18.74%		
Soft Landscaping	780.74	sqft	72.53
Soft Landscape %	81.26%		

General Information	
TRCA	No
Flood Plain	No
Arborist	Yes

Height Requirements			
	Maximum	Proposed	
Building Height (< than 25')	Avg/ 9.8	N/A	N/A
Max Height Roof projection	3.00	N/A	N/A
Fiat Roof (R1) (from crown of road)	8.00	7.94	26.05
Outside Wall Height (RES-ENLR)	7.00	6.75	22.15
Dormer Width	35%	N/A	
Stores	2.00	sty	2
Notes: 1- Roof with slope greater than 25 degrees may be increased to the avg. of the two neighbouring lots			
2- Roof with slope no less than 25 degrees may project 3m max above wall height			
3-Outside wall height is taken from established grade to the highest top of plate			

Setbacks			
	Minimum	Proposed	
Front	7.62 (25')	7.62	25.00
Ext. Side L (R1)	3.05 (10')	3.23	10.60
Int Side R	1.83 (6')	1.83	6.00
Combined	N/A	5.06	16.60
Rear (R1) (2nd Floor)	7.62 (25')	20.04	65.75
Notes: 1- Max. distance of the main building from the established building line - the greater of 10.5m for 1st Sty. And 14.5m for any above 1st Sty. or the average max. distance of the main building from established building line of the two neighbouring lots			
2-Combined -greater of 4m or 25% of lot frontage			

Encroachments & Exterior			
	Maximum	Proposed	
F. Porch*	0.60	1.45	4.76
R. Porch	1.50	N/A	N/A
Arch Elements	0.60	N/A	N/A
Roof L	0.90	0.51	1.67
Roof R	0.45	0.08	0.26
Window Well L	0.60	0.60	1.97
Window Well R	0.60	0.60	1.97

Established Grade (By-Law 2024-19)			
	Left	Right	Average
Front	193.20	193.30	193.25
Notes: Avg. of 2 grades that are 0.1m beyond the two side lot lines at the distance of the min. front yard setback			

Average Front Yard Setback			
	Left	Right	Average
Front	N/A	7.62	7.62
Notes: Average of 2 direct neighbours			

Garage			
	Maximum	Proposed	
Projection	1.80 m	0.38 m	1.25 ft
Max. Garage Door Width			
Percentage	50%	41%	
Notes: Max. garage door width 50% of the building facade			

Driveway			
	Maximum	Proposed	
Garage Door + 2m= (5.49m +2m)	7.49	6.10	20.01

Driveway			
	Maximum	Proposed	
Front Porch	1.80	1.83	6.00
Side Porch*	1.80	0.77	2.53

Rear Yard Landscaping Calculations			
Total Rear Yard	4,104.86	sqft	381.35
Permitted Encroachments			
Porch	261.96	sqft	24.34
Steps	21.38	sqft	1.99
	0.00	sqft	0.00
	0.00	sqft	0.00
	0.00	sqft	0.00
Total Removed	283.34	sqft	26.32
Rear Landscape Area	3,821.52	sqft	355.03
	93.10%		

Rear Hard Landscaping			
Walk-Up	222.53	sqft	20.67
Paver Stone Terrace	221.26	sqft	20.56
	0.00	sqft	0.00
	0.00	sqft	0.00
	0.00	sqft	0.00
Total Hard LA	443.79	sqft	41.23
Hard Landscape %	11.61%		
Rear Landscaping	3,377.73	sqft	313.80
Soft Landscape %	88.39%		

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4	25/03/14	DESIGN CHANGES
3	25/01/24	REVISED AS PER CoFA PLANNER COMMENTS
2	24/12/04	REVISED AS PER CITY COMMENTS
1	24/11/01	ISSUED FOR ZONING
NO:	DATE:	ISSUED FOR/REVISIONS

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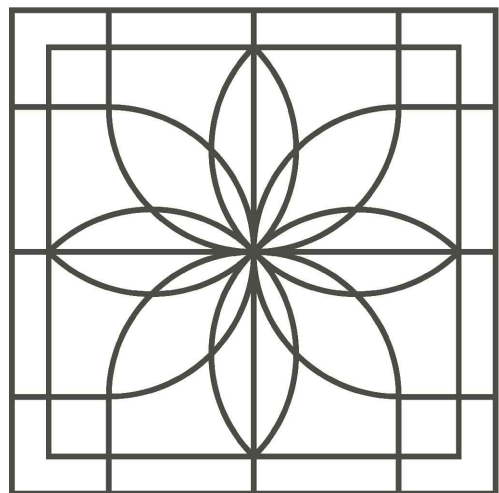
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 DIVISION 'C' OF THE 2012 ONTARIO BUILDING CODE.

MARCO RAZZOLINI 111893
NAME SIGNATURE BCIN

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 DIVISION 'C' OF THE 2012 ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN

NEW CUSTOM RESIDENCE
138 SHERWOOD FOREST DR
MARKHAM, ON



SAKORA
DESIGN

SITE PLAN

SCALE: 3/16" = 1'-0"

DATE: 25/03/26

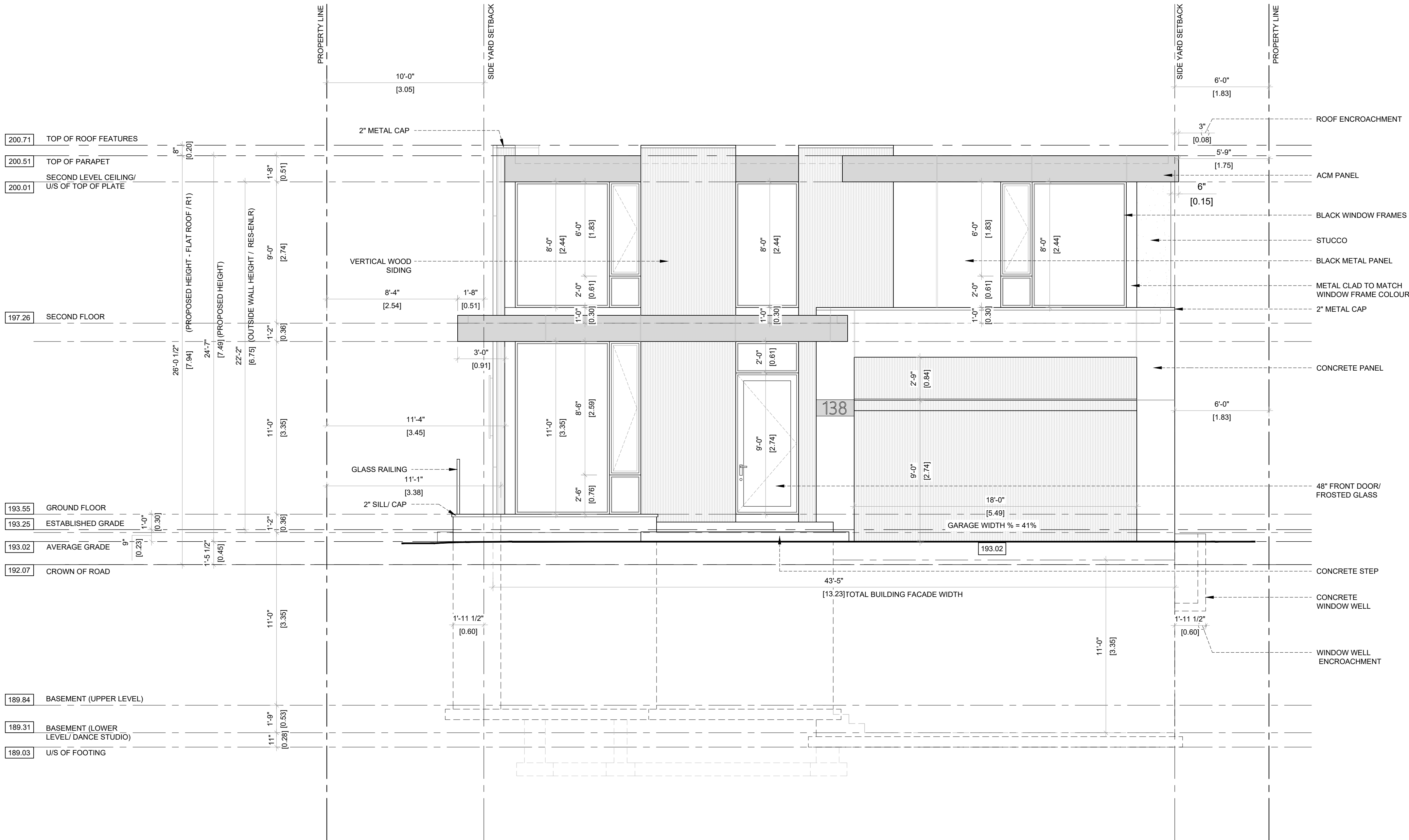
DRAWN BY: LC

REVIEWED BY: MR

PROJECT #: 24-27

SP1

REFERENCE DATA ACQUIRED FROM PART 1 OF LOT 16 REGISTERED PLAN 5881, CITY OF MARKHAM, PREPARED BY MANDARIN SURVEYORS LIMITED, O.L.S., DATED JULY 02, 2024



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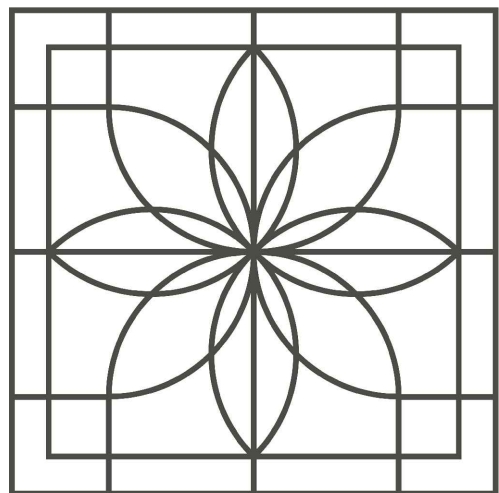
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SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN

NEW CUSTOM RESIDENCE
138 SHERWOOD FOREST DR
MARKHAM, ON



SAKORA
DESIGN

FRONT ELEVATION
(SOUTH)

SCALE: 1/4" = 1'-0"

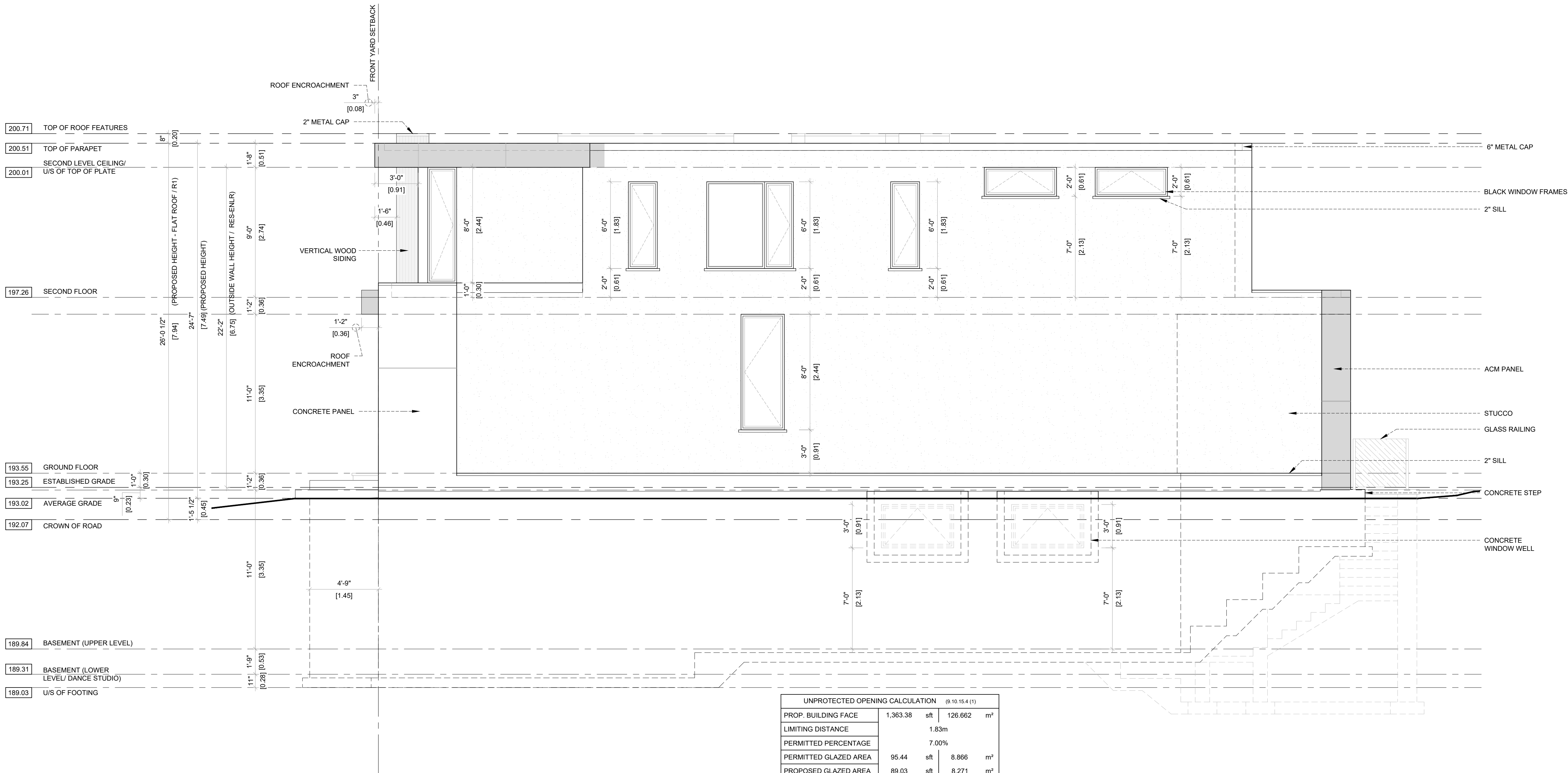
DATE: 25/03/25

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A5



UNPROTECTED OPENING CALCULATION				(9.10.15.4 (1))
PROP. BUILDING FACE	1,363.38	sqft	126,662	m²
LIMITING DISTANCE	1.83m			
PERMITTED PERCENTAGE	7.00%			
PERMITTED GLAZED AREA	95.44	sqft	8,866	m²
PROPOSED GLAZED AREA	89.03	sqft	8,271	m²
PROPOSED PERCENTAGE	6.53%			
PLEASE NOTE: PROPOSED GLAZED AREA % OF OPENINGS HAS BEEN INTERPOLATED BASED ON O.B.C. TABLE 9.10.15.4 AND GLAZED AREAS WERE USED TO CALCULATE PROPOSED GLAZED AREAS NOTED ABOVE, AS ALLOWED BY 9.10.15.4				

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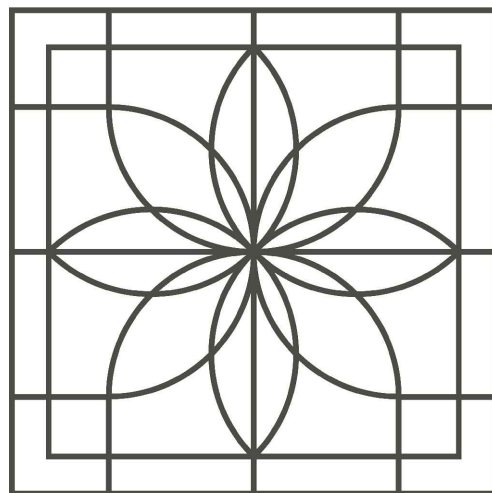
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SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN

NEW CUSTOM RESIDENCE
138 SHERWOOD FOREST DR
MARKHAM, ON



SAKORA
DESIGN

RIGHT ELEVATION
(EAST)

SCALE: 1/4" = 1'-0"

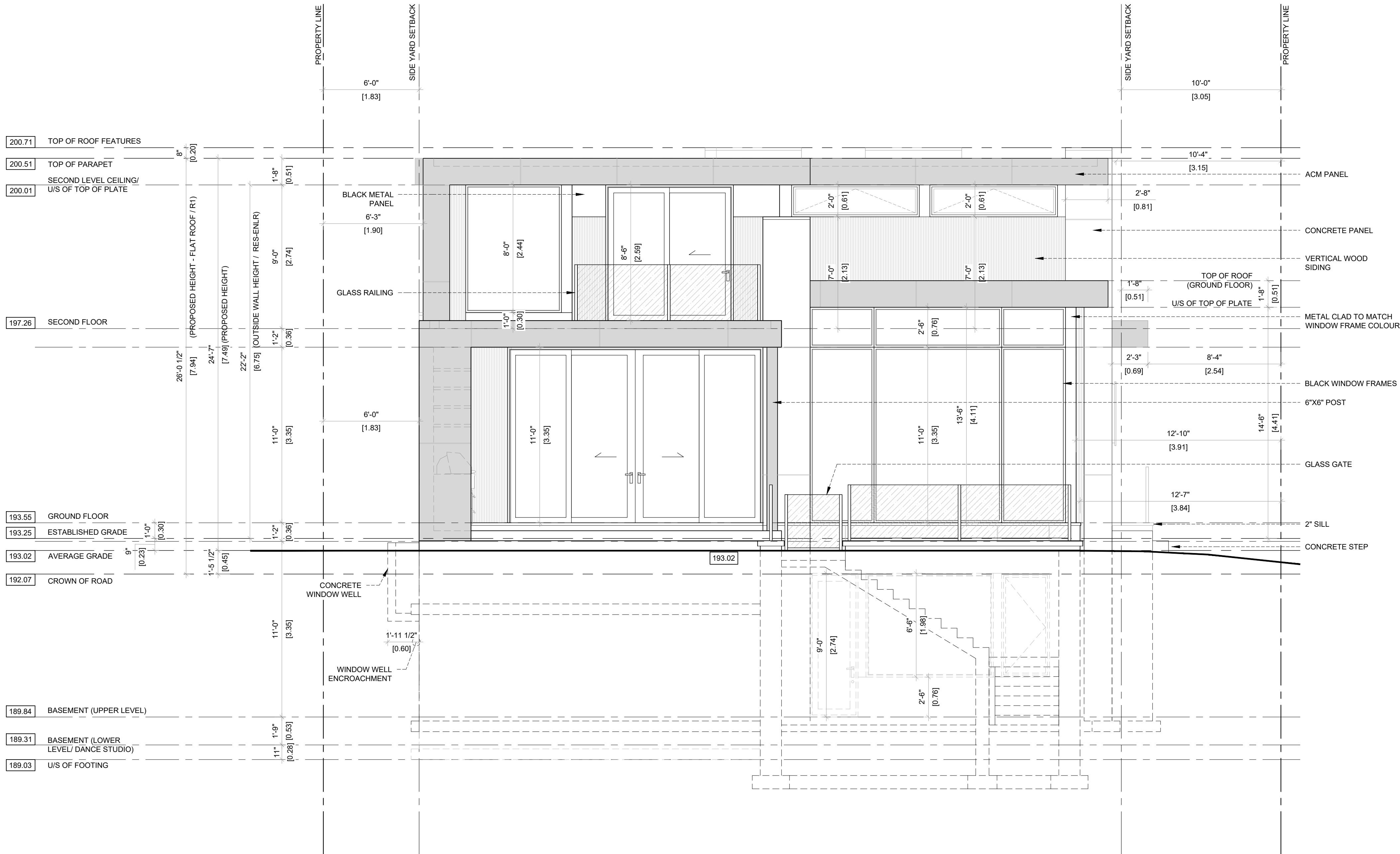
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REVIEWED BY: MR

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A6



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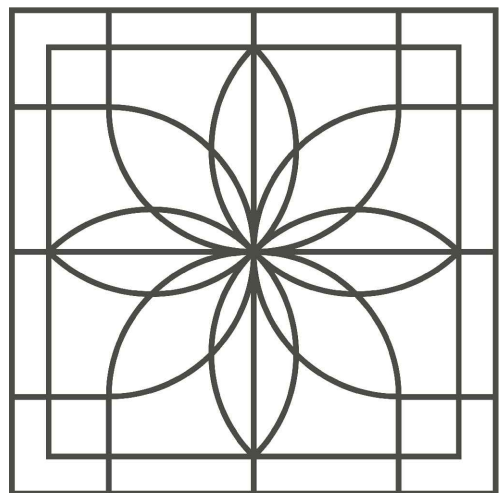
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SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN

NEW CUSTOM RESIDENCE
138 SHERWOOD FOREST DR
MARKHAM, ON



SAKORA
DESIGN

REAR ELEVATION
(NORTH)

SCALE: 1/4" = 1'-0"

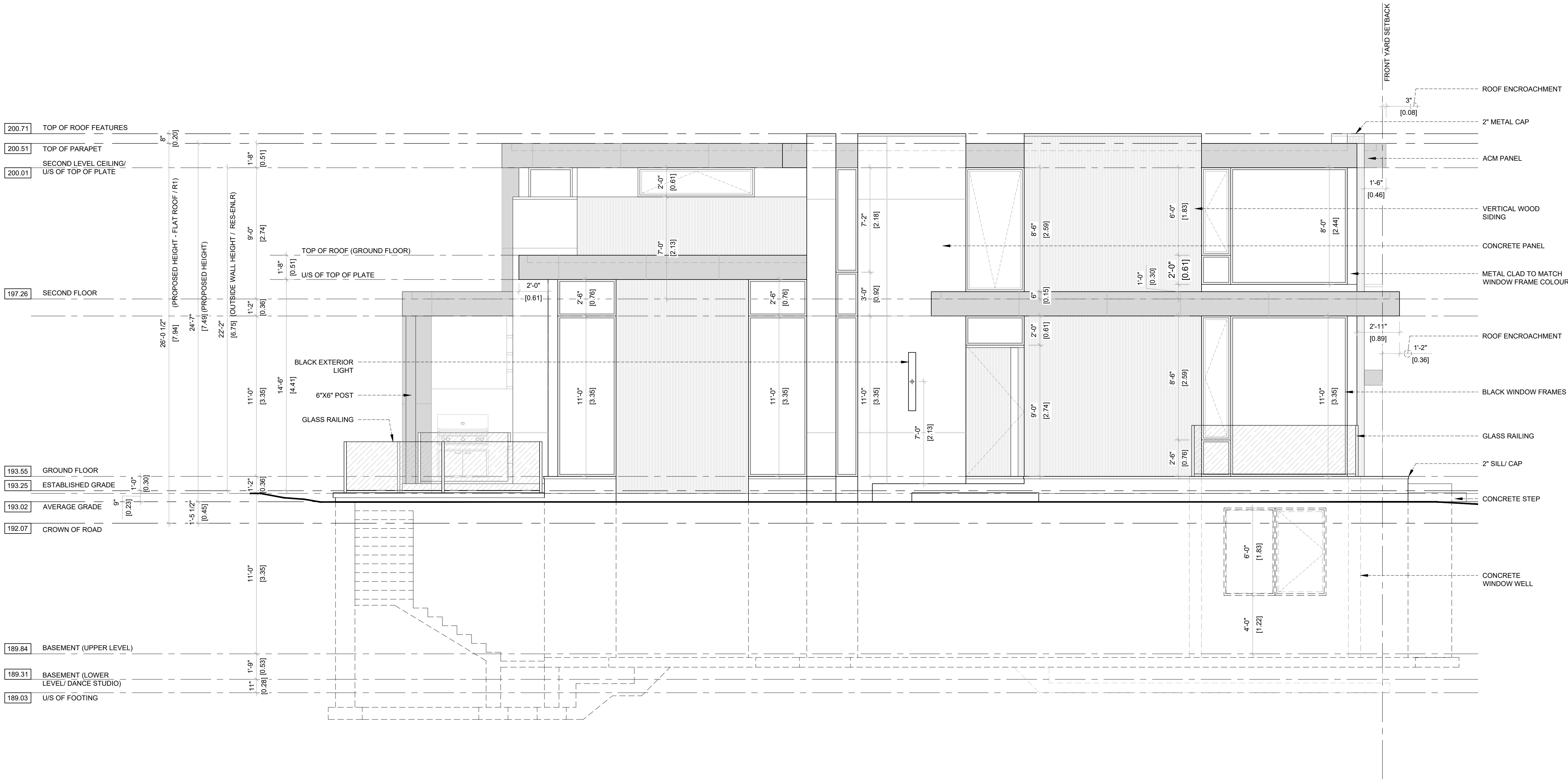
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A7



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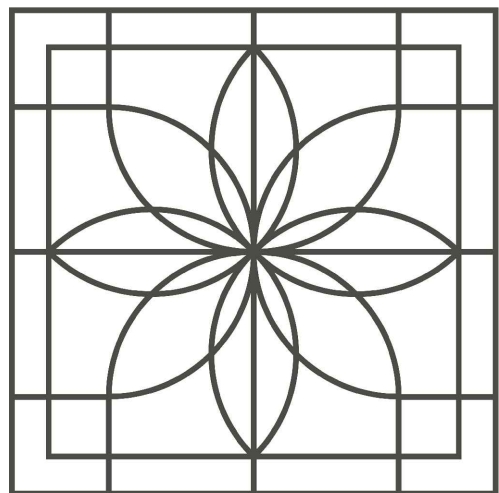
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SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN

NEW CUSTOM RESIDENCE
138 SHERWOOD FOREST DR
MARKHAM, ON



SAKORA
DESIGN

LEFT ELEVATION
(WEST)

SCALE: 1/4" = 1'-0"

DATE: 25/03/26

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REVIEWED BY: MR

PROJECT #: 24-27

A8



CURRENT PROPOSAL - NO CHANGE

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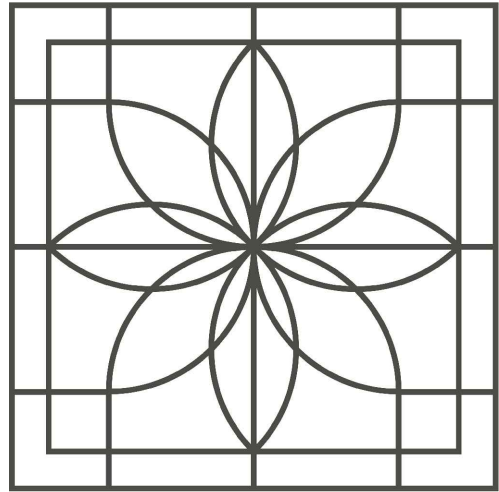
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SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN

NEW CUSTOM RESIDENCE
138 SHERWOOD FOREST DR
MARKHAM, ON



SAKORA
DESIGN

RENDER
FRONT

SCALE: 1/4" = 1'-0"
DATE: 25/03/26
DRAWN BY: LC
REVIEWED BY: MR
PROJECT #: 24-27

A9.1



PREVIOUS DESIGN



CURRENT PROPOSAL

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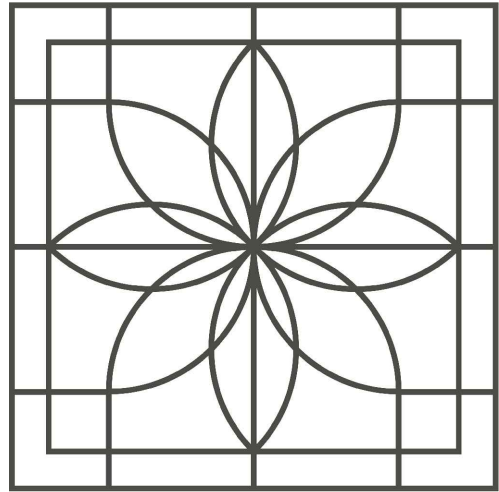
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NAME SIGNATURE BCIN

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SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN

NEW CUSTOM RESIDENCE
138 SHERWOOD FOREST DR
MARKHAM, ON



SAKORA
DESIGN

RENDER
CORNER

SCALE: 1/4" = 1'-0"
DATE: 25/03/26
DRAWN BY: LC
REVIEWED BY: MR
PROJECT #: 24-27

A9.2



CURRENT PROPOSAL - NEW VIEW

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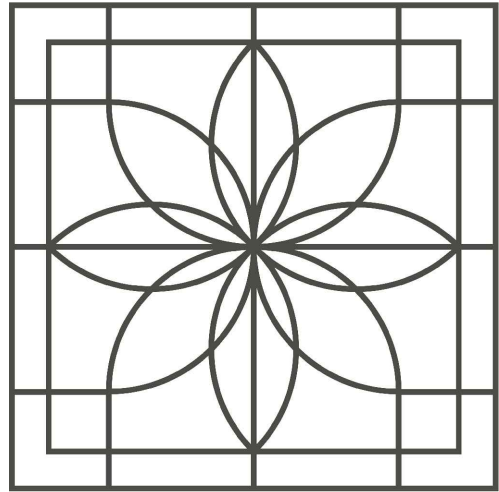
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SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN

NEW CUSTOM RESIDENCE
138 SHERWOOD FOREST DR
MARKHAM, ON



SAKORA
DESIGN

RENDER
SIDE REAR

SCALE: 1/4" = 1'-0"
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PROJECT #: 24-27

A9.3



PREVIOUS DESIGN



CURRENT PROPOSAL

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SAKORA DESIGN INC.

ALL WORKS TO BE IN ACCORDANCE WITH ONTARIO BUILDING CODE AND ALL CODE REFERENCES REFER TO OBC 2012 DIVISION 'B'.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, DETAILS, OR DESIGN INTENT ITEMS THAT CANNOT BE DETERMINED FROM THE DRAWINGS. SAKORA DESIGN INC. SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION AND/OR FABRICATION.

FOR ADDITIONAL GENERAL NOTES PLEASE REFER TO THE GENERAL NOTES SHEET INCLUDED.

DRAWING ARE NOT TO BE SCALED.

4	25/03/14	DESIGN CHANGES
3	25/01/24	REVISED AS PER CoFA PLANNER COMMENTS
1	24/11/01	ISSUED FOR ZONING
No:	DATE:	ISSUED FOR/REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN. AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS:

QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 DIVISION 'C' OF THE 2012 ONTARIO BUILDING CODE.

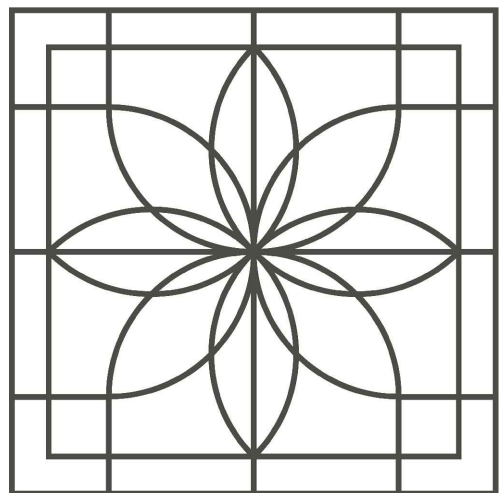
MARCO RAZZOLINI 111893
NAME SIGNATURE BCIN

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 DIVISION 'C' OF THE 2012 ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN

NEW CUSTOM RESIDENCE

138 SHERWOOD FOREST DR
MARKHAM, ON



SAKORA
DESIGN

RENDER
REAR

SCALE: 1/4" = 1'-0"

DATE: 25/03/26

DRAWN BY: LC

REVIEWED BY: MR

PROJECT #: 24-27

A9.4