

Memorandum to the City of Markham Committee of Adjustment

May 9, 2025

File: A/032/24
Address: 60 Chant Crescent, Markham
Agent: HJ Architects Inc (Joanne Ying)
Hearing Date: Wednesday, May 14, 2025

The following comments are provided on behalf of the Central Team:

The Applicant is requesting relief from the “Residential – Established Neighbourhood Low Rise (RES-ENLR)” zone requirements under By-law 2024-19, as amended, as it relates to a proposed two-storey detached dwelling. The variances requested are to permit:

a) By-law 2024-19, Section 6.3.2.2(C):

a maximum second storey building coverage of 24 percent, whereas the by-law permits a maximum second storey building coverage of 20 percent;

b) By-law 2024-19, Section 6.3.2.2(E):

a maximum distance of 16.3 metres from the established building line for the second storey, whereas the by-law permits a maximum distance of 14.5 metres;

c) By-law 2024-19, Section 6.3.2.2(J):

a maximum outside wall height of 7.4 metres, whereas the by-law permits a maximum outside wall height of 7 metres; and,

d) By-law 2024-19, Section 6.3.2(K):

a maximum three storey dwelling, whereas the by-law permits a maximum two storey dwelling.

e) By-law 2024-19, Section 4.8.10.1 (D):

a maximum porch height above the average grade level of the porch of 1.42 metres, whereas the by-law permits a maximum height of 1.2 metres; and,

f) By-law 2024-19, Section 4.8.10.2 (D)(iv):

a maximum encroachment of stairs used to access a porch of 2.34 metres beyond the permitted porch encroachment, whereas the by-law permits a maximum encroachment of 0.45 metres;

Staff recommend that variance f) be revised as follows, to permit:

f) By-law 2024-19, Section 4.8.10.2 (D)(iv):

a maximum porch stairs encroachment of 2.1 metres into the required front yard setback, whereas the by-law permits a maximum encroachment 0.45 metres beyond the permitted porch encroachment.

Staff's recommendation is discussed further in the comments section below.

BACKGROUND

Application History

This Application was originally heard at the September 11, 2024 Committee of Adjustment hearing (refer to Appendix "A" – A/032/24 September 11, 2024 Staff Report for additional details). The Application was deferred to give the Applicant the opportunity to address concerns related to the size of the proposed house, and the overall visual massing and appearance of the house from the street.

The Application was deferred again by the Committee at the March 5, 2025 Committee of Adjustment hearing to give the Applicant the opportunity to confirm the additional variances related to the proposed porch (refer to Appendix "B" – A/032/24 March 5, 2025 Staff Report for details).

Revised Proposal

Since the first deferral, the Applicant revised the design of the house by reducing the variance of the second storey building coverage from 27.3% to 24%, as indicated on the updated site plan in Appendix "C". The Applicant has also revised the overall design of the house to reduce the visual massing and to maintain a similar design characteristic with existing houses in the surrounding area. Additional renderings to demonstrate the proposed design of the house are shown in Appendix "C".

Staff note that the previous variance from the first submission for a maximum building height of 27.5 ft (8.39 m) under By-law 11-72 is no longer applicable as By-law 2024-19 is now fully in-effect.

The following table summarizes the By-law requirements and changes to the variances requested:

Table 1 – Changes in Variances Comparison Chart				
Development Standard	By-law Requirement	Variance Requested (Sep 2024)	Current Variance Request	Remarks
Maximum second storey building coverage	20%	27.3%	24%	Reduced by 3.3%
Maximum distance from the established	14.5 m (47.58 ft)	16.3 m (53.48 ft)	16.3 m (53.48 ft)	No changes

Table 1 – Changes in Variances Comparison Chart				
Development Standard	By-law Requirement	Variance Requested (Sep 2024)	Current Variance Request	Remarks
building line for the second storey				
Maximum outside wall height	7.0 m (24.28 ft)	7.4 m (22.97 ft)	7.4 m (22.97 ft)	No changes
Maximum number of storeys	2	3	3	No changes
Maximum building height (By-law 11-72)	25 ft (7.62 m)	27.5 ft (8.39 m)	Removed	No longer required as By-law 2024-19 is fully in-force
Maximum porch floor height above the average grade level of the porch	1.2 m	N/A	1.42 m (4.66 ft)	New variance requested
Maximum encroachment of stairs used to access a porch beyond the permitted porch encroachment	0.45 m	N/A	2.1 m (6.89 ft)	New variance requested

ZONING PRELIMINARY REVIEW (ZPR)

The Applicant completed a Zoning Preliminary Review (ZPR) on June 19, 2024 to confirm the initial variances. However, the Applicant has confirmed that a new ZPR has not been conducted for the Revised Plans.

Consequently, it is the Applicant's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variances requested in this application contain errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

Staff have reviewed the revised plans and advise that the previously requested variances for the maximum distance from the established building line for the second storey, maximum outside wall height, and maximum number of storeys remain

unchanged and Staff's comments from the initial report in Appendix "A" remains applicable.

Increase in Maximum Second Storey Building Coverage

The Applicant has reduced the variance requested for the maximum second storey building coverage by 3.3% - from 27.3% (190.1 m² or 2,047 ft²) to 24% (166.8 m² or 1,795 ft²), whereas By-law 2024-19 permits a maximum second storey building coverage of 20% (139.2 m² or 1,498 ft²). The revised second storey coverage represents an additional 4% (27.6 m² or 297 ft²) coverage over the requirements of the By-law.

Staff appreciates the efforts from the Applicant to reduce the massing of the dwelling and the overall changes to improve the visual massing and appearance of the house from the street. Staff are supportive of the changes and opine that the requested second storey coverage variance meets the four tests of the Planning Act.

Increase in Maximum Porch Floor Height and Maximum encroachment of Stairs used to access a Porch

The Applicant is requesting additional variances to permit the revised design of the front porch and stairs used to access the front door of the proposed house. The Applicant is requesting a maximum porch floor height of 1.42 m (4.66 ft) above the average grade level, whereas the By-law requires 1.2 m (3.94 ft). This represents an increase of 0.22 m (0.72 ft) beyond what the By-law permits. The requested variance to the maximum porch height is attributed to the varying grading across the Subject Lands, resulting in more than 50% of the basement level being above-grade, thus raising the height of the first level of the proposed house.

Variance f) related to the encroachment of stairs used to access a porch was previously worded as follows:

- a maximum encroachment of stairs used to access a porch of 2.34 metres beyond the permitted porch encroachment, whereas the by-law permits a maximum encroachment of 0.45 metres.

However, upon further review and discussions with Zoning Staff, Staff have determined that the proposed porch does not encroach into the minimum front yard setback. As such, the requested variance to allow an encroachment of 2.34 m (7.68 ft) beyond the permitted porch encroachment would permit additional encroachment into the minimum front yard setback than what is currently reflected in the submitted plans. Therefore, Staff recommend the Committee to consider the approval of revised wording for variance f) as follows, which has also been reviewed by the Applicant:

- a maximum porch stairs encroachment of 2.1 metres into the required front yard setback, whereas the by-law permits a maximum encroachment 0.45 metres beyond the permitted porch encroachment.

While the Applicant has informally discussed the changes to the values of the variance with Zoning Staff through email, Staff note that the Applicant has not conducted a Zoning Preliminary Review for the revised drawings. As mentioned previously, it is the Applicant's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed dwelling.

Nonetheless, this variance is entirely attributed to the proposed uncovered stairs comprised of five steps and a landing which leads up to the porch with the raised floor height of 1.42 m (4.66 ft). The Applicant noted that the design of the L-shaped stairs and landing was intended to shield a portion of the stair steps from the street, and to reduce the visual prominence of the stairs from the front elevation. To enhance the shielding of the stairs from the street, Staff recommend that additional planting or planters be provided in front of the steps and that the Applicant submit revised Plans to illustrate the screening of the front steps with planters as a condition of approval.

With planters to screen the proposed stairs, Staff are generally satisfied that the front elevation of the proposed dwelling visually presents itself as a two-storey dwelling and will have minimal impacts to the existing streetscape. Staff are supportive of the changes and opine that the requested variances to the porch height and the revised variance wording for the encroachment of stairs meet the four tests of the Planning Act.

PUBLIC INPUT SUMMARY

At the September 11, 2024 Committee of Adjustment hearing, public members expressed concerns related to the size, height and massing of the proposed house and opined that the house did not fit in with the existing houses in the surrounding. There were also concerns related to drainage and run-off to surrounding areas.

No written submissions were received for the Revised Plans as of May 9, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the requested variances meet the four tests of the Planning Act and have no objection. With respect to variance f), Staff are of the opinion that the following variance request would be more appropriate and desirable for the subject property:

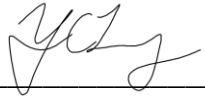
f) By-law 2024-19, Section 4.8.10.2 (D)(iv):

a maximum porch stairs encroachment of 2.1 metres into the required front yard setback, whereas the by-law permits a maximum encroachment 0.45 metres beyond the permitted porch encroachment.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "D" for conditions to be attached to any approval of this application.

PREPARED BY:



Barton Leung, Senior Planner, Central District

REVIEWED BY:



Melissa Leung, RPP MCIP, Senior Planner, Central District

APPENDICES

Appendix "A" – A/032/24 September 11, 2024 Staff Report

Appendix "B" – A/032/24 March 5, 2025 Staff Report

Appendix "C" – Revised Plans

Appendix "D" – Conditions

Appendix A

Memorandum to the City of Markham Committee of Adjustment
September 3, 2024

File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY

File: A/032/24
Address: 60 Chant Crescent, Markham
Agent: HJ Architects Inc (Joanne Ying)
Hearing Date: Wednesday, September 11, 2024

The following comments are provided on behalf of the Central Team:

On January 31, 2024, City of Markham Council enacted the Comprehensive Zoning By-law 2024-19 ("By-law 2024-19"). As By-law 2024-19 is currently under appeal with the Ontario Land Tribunal (the "OLT"), any applications under Section 45 of the Planning Act that do not benefit from the transition clauses under Section 1.7 of By-law 2024-19 must comply with By-law 2024-19 and any previous By-laws in effect. As such, the Applicant is requesting relief from the "Residential – Established Neighbourhood Low Rise (RES-ENLR)" zone requirements under By-law 2024-19 and the "Single Family Residential 3rd Density (R3)" zone requirements under By-law 11-72, as amended, as it relates to a proposed two-storey detached dwelling. The variances requested are to permit:

By-law 2024-19

a) By-law 2024-19, Section 6.3.2.2(C):

a maximum second storey building coverage of 27.3 percent, whereas the by-law permits a maximum second storey building coverage of 20 percent;

b) By-law 2024-19, Section 6.3.2.2(E):

a maximum distance of 16.3 metres from the established building line for the second storey, whereas the by-law permits a maximum distance of 14.5 metres;

c) By-law 2024-19, Section 6.3.2.2(J):

a maximum outside wall height of 7.4 metres, whereas the by-law permits a maximum outside wall height of 7 metres;

d) By-law 2024-19, Section 6.3.2(K):

a maximum three storey dwelling, whereas the by-law permits a maximum two storey dwelling; and

By-law 11-72

a) By-law 11-72, Section 6.1:

a maximum building height of 27.5 feet, whereas the by-law permits a maximum building height of 25 feet.

Appendix A

File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY

BACKGROUND

Property Description

The 696 m² (7,491 ft²) subject property ("Subject Lands") is located on the south side of Chant Crescent, generally south of Carlton Road, west of Fred Varley Drive and east of Village Parkway (refer to Appendix "A" – Aerial Photo). The Subject Lands are located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings as well as two and three-storey townhouse dwellings.

There is an existing one-storey detached dwelling on the Subject Lands, which according to assessment records was constructed in 1972. Mature vegetation exists on the property including one large mature tree in the front yard.

Proposal

The Applicant is proposing to demolish a portion of the existing dwelling and construct a ground floor and second storey addition to create a 505.10 m² (5,437 ft²) two-storey detached dwelling ("proposed dwelling") on the Subject Lands (refer to Appendix "B" – Plans).

Staff note that the Applicant revised their initial application and variance requests following comments received from Staff, as demonstrated in the following table:

Table 1 – Changes in Variances Comparison Chart			
Development Standard	By-law Requirement	Initial Variance Request	Current Variance Request
Maximum roof projection above the permitted outside wall height for roofs with a pitch of less than 25 degrees	1.0 m (3.28 ft)	1.23 m (4.04 ft)	Variance eliminated
Maximum second storey building coverage	20%	27.3%	27.3%
Maximum distance from the established building line for the second storey	14.5 m (47.58 ft)	16.3 m (53.48 ft)	16.3 m (53.48 ft)
Maximum outside wall height	7.0 m (24.28 ft)	7.7 m (25.27 ft)	7.4 m (22.97 ft)
Maximum number of storeys	2	3	3

Appendix A

Table 1 – Changes in Variances Comparison Chart

Development Standard	By-law Requirement	Initial Variance Request	
Maximum building height	25 ft (7.62 m)	28.5 ft (8.69 m)	27.5 ft (8.39 m)

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Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and updated on April 9, 2018)

The Official Plan designates the Subject Lands “Residential Low Rise”, which provides for low-rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official Plan outlines infill development criteria for the “Residential Low Rise” designation with respect to height, massing, and setbacks. These criteria are established to ensure that infill developments are appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street, while accommodating a diversity of building styles. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, development is required to meet the general intent of the above noted development criteria. In addition, regard shall be had for the retention of existing trees and vegetation. Planning Staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

Zoning By-Law 11-72, as amended

The Subject Lands are zoned R3 under By-law 11-72, as amended, which permits one single detached dwelling per lot.

The proposed dwelling does not comply with the by-law requirements as it relates to maximum height.

Comprehensive Zoning By-Law 2024-19

The Subject Lands are zoned RES-ENLR under By-law 2024-19, which permits a detached dwelling, home childcare, home occupation, and shared housing – small scale.

The Applicant is requesting relief from the requirements for the second storey building coverage and the maximum distance from the established building, as well as the maximum outside wall height in metres and the maximum number of storeys.

Zoning Preliminary Review (ZPR) Undertaken

The Applicant has completed a Zoning Preliminary Review (ZPR) on June 19, 2024 to confirm the initial variances required for the proposed development. The Applicant submitted revised drawings on August 12, 2024 at the request of Planning Staff to reduce the requested variances for the outside wall height and

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building height in metres. The Applicant has not conducted a Zoning By-law Review for the revised drawings. Consequently, it is the Applicant's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed dwelling. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Second Storey Building Coverage

The Applicant is requesting relief to permit a maximum second storey building coverage of 27.3% (190.1 m² or 2,047 ft²), whereas By-law 2024-19 permits a maximum second storey building coverage of 20% (139.2 m² or 1,498 ft²). This variance will facilitate the construction of a second storey with the same gross floor area as the first storey. This represents an additional 7.3% (50.9 m² or 549 ft²) coverage for the second storey.

Staff note that the By-law permits a building coverage of 30% for the first storey and 20% for any storey above the first. The proposed second storey maintains a lot coverage that is less than 30%, however the intent of the By-law is to regulate the massing of the dwelling by requiring a second storey that is smaller in size than the first storey. Although the Applicant has made revisions to the height and front elevation of the dwelling to ensure that the massing of the dwelling is compatible with dwellings along Chant Crescent, Staff recommend that the Committee consider public input and satisfy themselves on whether the requested second storey coverage variance meets the four tests of the *Planning Act*.

Increase in Maximum Second Storey Distance from the Established Building Line

The Applicant is also requesting relief to permit a maximum distance of 16.3 m (53.48 ft) from the established building line for the second storey, whereas By-law 2024-19 permits a maximum distance of 14.5 m (47.58 ft). This represents an increase of 1.8 m (5.9 ft) of the second storey from the established building line.

Staff note that the established building line is defined as "a line that is the average distance between the front lot line and the nearest wall of the main

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building facing the front lot line on the two neighbouring lots "from the same building depth and massing in relation to the neighbouring dwellings.

The building layout meets all other zoning provisions (such as setbacks and overall lot coverage) that further establish the prescribed building envelope, which ensures the proposed dwelling will be in keeping with the intended scale of residential infill developments for the neighbourhood. Furthermore, the increase of the second storey building depth will not extend beyond the footprint and established building line of the first storey.

Staff note that the proposed building depth remains to be consistent with the building depths of adjacent houses at 58 Chant Crescent and 62 Chant Crescent and have no strong objection to the variance sought for the maximum second storey distance from the established building line.

Increase in Maximum Outside Wall Height and Building Height in Metres

The Applicant is requesting relief to permit a maximum outside wall height of 7.4 m (24.28 ft), whereas By-law 2024-19 permits a maximum outside wall height of 7.0 metres (22.97 ft). This represents an increase of 0.4 m (1.31 ft). By-law 2024-19 calculates outside wall height as the vertical distance from established grade to the highest top plate of the outside wall of the upper most floor or storey.

The Applicant is also requesting relief to permit a building height of 27.5 ft (8.39 m), whereas By-law 11-72 permits a maximum building height of 25 feet (7.62 m). This represents a building height increase of 2.5 ft (0.77 m). By-law 11-72 calculates building height as the vertical distance in feet between the horizontal plane through grade level and a horizontal plane through the average level of a one slope roof, provided that such roof having a slope of less than twenty degrees (20°) with the horizontal shall be considered a flat roof.

Staff worked with the Applicant to lower the outside wall height and building height variances. Staff appreciates the efforts made by the Applicant to address Staff comments including the revision to the roof design to eliminate the variance sought for the roof projection, and revision to the façade in consideration of the character of the street and existing dwellings in the surrounding area. Accordingly, Staff have no major concerns with the requested outside wall height and building height variances.

Increase in Maximum Number of Storeys

The Applicant is requesting relief to permit a maximum three storey dwelling, where By-law 2024-19 permits a maximum two storey dwelling. By-law 2024-19 defines a storey as the portion of a building that is situated between the top of any floor and the top of the floor next above it. Where there is no floor above, storey means the portion of a building that is situated between the top of the floor and the ceiling above the floor. Any portion of a building partly below average

Appendix A

grade level shall be deemed a storey where its ceiling is at least 10% above average grade level.

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The requested variance is attributed to the varying grading across the Subject Lands, resulting in more than 50% of the basement level being above-grade. The proposed above-grade basement is therefore considered an additional storey under By-law 2024-19. Staff are satisfied that the front elevation of the proposed dwelling visually presents itself as a two-storey dwelling and will have minimal impacts to the existing streetscape.

Tree Protection and Compensation

Tree Preservation staff have no concerns with the Minor Variance requests. Full Tree Comments will be provided during the Residential Grading & Servicing application or Housing Permit application stage. Tree related conditions have been included in Appendix "C".

PUBLIC INPUT SUMMARY

No written submissions were received as of September 5, 2024. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that variances b) to d) under By-law 2024-19, and variance a) under By-law 11-72 meets the four tests of the *Planning Act* and have no objection. Regarding variance a) with respect to the second storey coverage, Staff recommend that the Committee consider public input in reaching a decision and should satisfy themselves as to whether the variance meets the four tests of the *Planning Act*.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



Barton Leung, Senior Planner, Central District

Appendix A

File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY

REVIEWED BY:



Melissa Leung, RPP MCIP, Senior Planner, Central District

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APPENDICES

Appendix "A" – Aerial Photo

Appendix "B" – Plans



Appendix "C" – Conditions

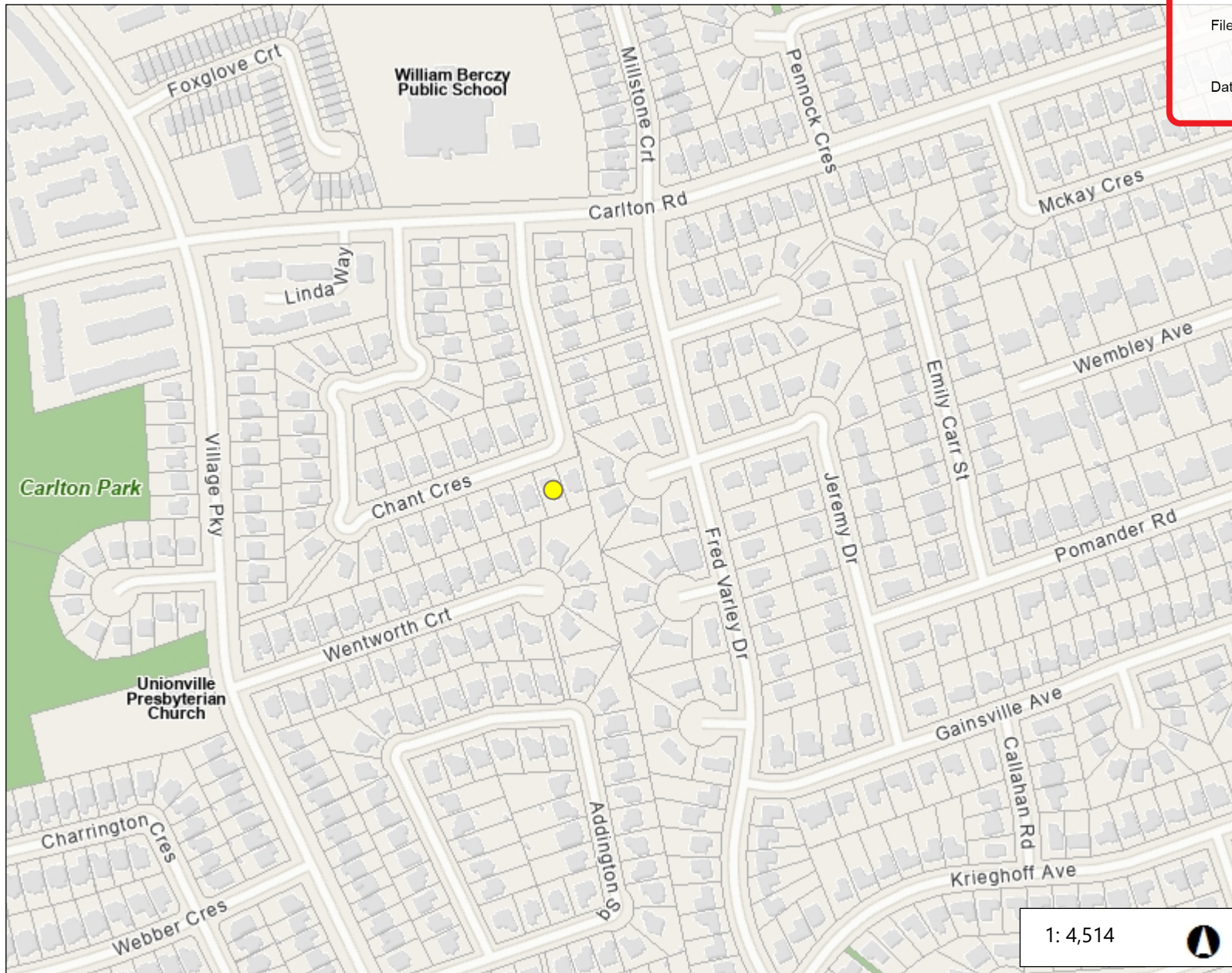
Appendix A

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Date: 5/9/2025
MM/DD/YYYY

Legend

-  Subject Lands
60 Chant Crescent
-  Parks



1:4,514

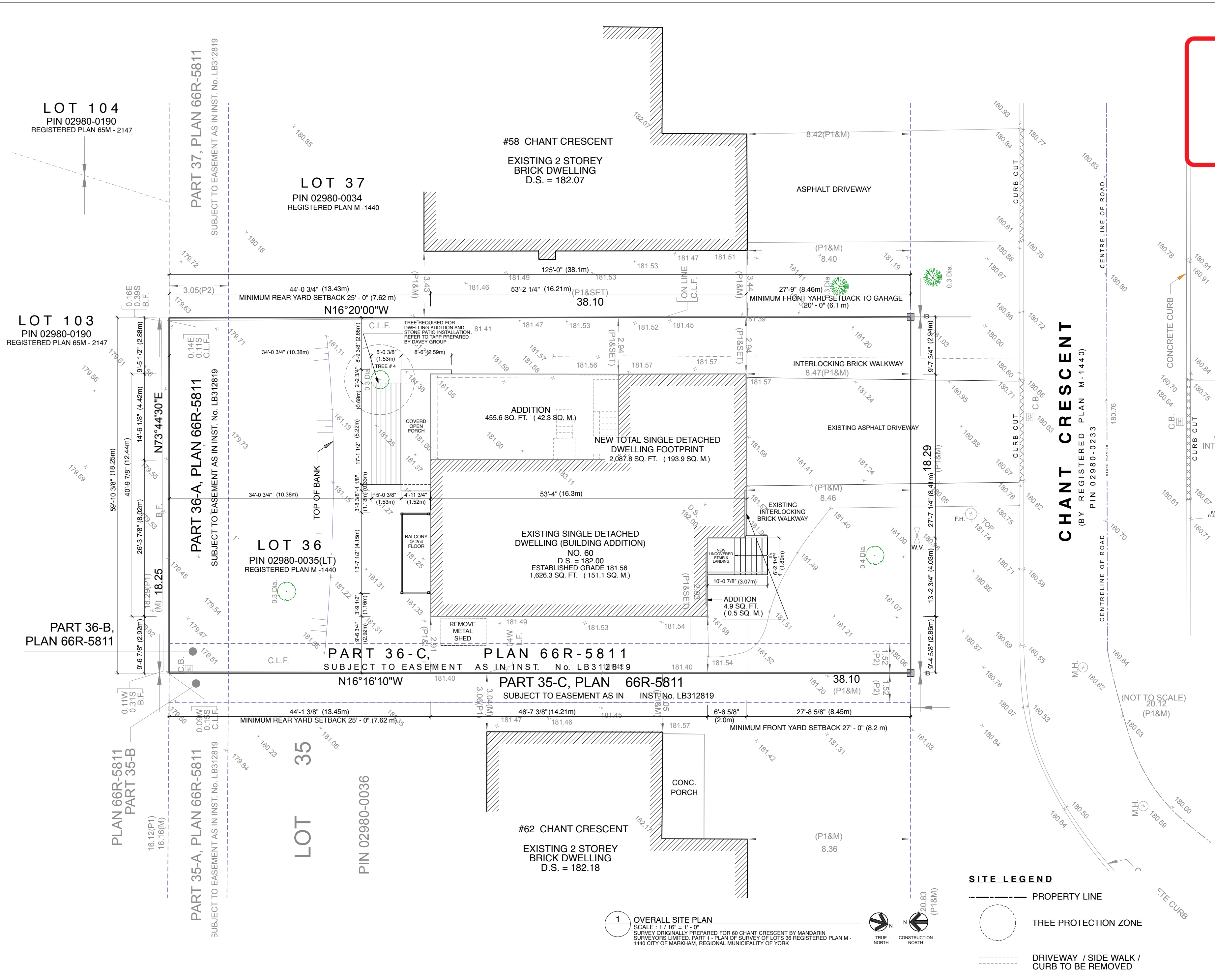


229.3 0 114.66 229.3 Meters

NAD_1983_UTM_Zone_17N
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DISCLAIMER: The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email cgis@markham.ca and you will be directed to the appropriate department.

Notes



- GENERAL NOTE:**
1. THE SITE PLAN IS BASED ON THE SURVEY PREPARED BY MANDARIN SURVEYORS LIMITED ONTARIO LAND SURVEYOR, DATED ON NOVEMBER 08, 2023.
 2. ALL DIMENSIONS GIVEN IN IMPERIAL (UNLESS OTHERWISE NOTED).
 3. ALL CONSTRUCTION TO COMPLY WITH MUNICIPAL BY-LAWS AND ONTARIO CODE
 4. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AT THE SITE PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE SITE CONDITIONS AND THE ASSUMED DESIGN CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTIONS.
 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK ELEVATIONS OF ALL CITY SERVICES AND ESTABLISH APPROPRIATE METHODS OF DEALING WITH THOSE SERVICES
 6. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION, METHOD OF ERECTION AND INSTALLATION PROCEDURES OF THE STRUCTURAL MEMBERS INCLUDING THE ERECTION OF STEEL BEAMS. THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND CARE DURING THE DEMOLITION PROCESS OF ANY EXISTING STRUCTURE AND MASONRY WALLS. BE SOLELY RESPONSIBLE TO SUPPORT ANY EXISTING STRUCTURE AND CALL THE STRUCTURAL ENGINEER FOR INSPECTION PRIOR TO CUTTING EXISTING MEMBERS OR EXISTING WALLS.
 7. THE GENERAL CONTRACTOR ARE RESPONSIBLE FOR CO-ORDINATION OF PLUMBING, MECHANICAL AND ELECTRICAL IN PROCEEDING WITH WORK ON PLANS
 8. PLUMBING, MECHANICAL AND ELECTRICAL SUB-CONTRACTORS TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM APPROPRIATE AUTHORITIES BEFORE PROCEEDING WITH WORK.

SITE STATISTICS	
ZONING	R3 UNDER BY-LAW 11 - 72 RES-ENLR BY-LAW 2014-19 (INTERIOR LOT)
EXISTING / PROPOSED USE	RESIDENTIAL LOW RISE
LOT AREA	696.0 m2 (7,491 ft2)
LOT COVERAGE	210.1 m2 (2,261 ft2) <u>210.1 x 100</u> 696.0 = 30.1% LOT COVERAGE MAXIMUM COVERAGE TO BE 33 1/3% BASED ON BY - LAW 11 - 72
BUILDING COVERAGE	190.1 m2 (2,047 ft2) <u>190.1 x 100</u> 696.0 = 27.3% BUILDING COVERAGE MAXIMUM COVERAGE TO BE 20% BASED ON BY - LAW 2014 - 19
BUILDING HEIGHT	8.78 m (28'-9 5/8") MAXIMUM BUILDING HEIGHT TO BE 25 FEET BASED ON BY - LAW 11 - 72
G.F.A.	BASEMENT FLR 157.5 m2 (1,695 ft2) GROUND FLR 157.5 m2 (1,695 ft2) ATTACHED GARAGE 32.7 m2 (352 ft2) SECOND FLR 190.1 m2 (2,047 ft2) TOTAL 505.1 m2 (5,437 ft2) MINIMUM GFA TO BE 1,500 ft2 FOR 2 STOREY BASED ON BY - LAW 11 - 72

SCOPE OF WORK
MAINTAIN AND EXPAND FOUNDATION
FOOTPRINT
GROUND FLOOR EXTENSION
ADD 2nd FLOOR

hj architects inc.

85 forest cove court

aurora, ontario

l4g 3g4

416.628.2168

416.887.6771

info@hjarch.ca

KEY PLAN

REVISION / ISSUED TO:

NO.	ISSUED TO	DATE	BY
1.	ISSUED TO C OF A APPLICATION	06/26/24	JY

GENERAL NOTES:

-Contractors to verify all site dimensions and report any discrepancies before commencing with work.

-Dimensions shall take precedence over scale.

-No variation of modification to work shall be implemented without prior written approval.

-All plans, specifications and work is subject to Department of Labour, Fire Department and Building Department approval.

-All previous issues of this drawing are superseded.

-All prints of drawings and specifications are the property of hj architects inc. and must be returned upon project completion.

OWNER

Martin & Tiffany Ng
60 chant crescent
unionville, ontario
l3r 1y8

MECHANICAL

ENERSIM ENGINEERING
8080 guelph line, unit #1508
campbellville, ontario
l0p 1b0

ARCHITECTURAL

hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4

STRUCTURAL

OPTIMUM STRUCTURAL CORP.
39 kirk drive,
thornhill, ontario
l3t 3k8

ELECTRICAL

INTERIOR

STAMP

PROJECT NO.

23 - 023

PROJECT NAME

SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)

DRAWING TITLE

OVERALL SITE PLAN

DRAWN BY:

JY

CHECKED BY:

JY

APPROVED:

JY

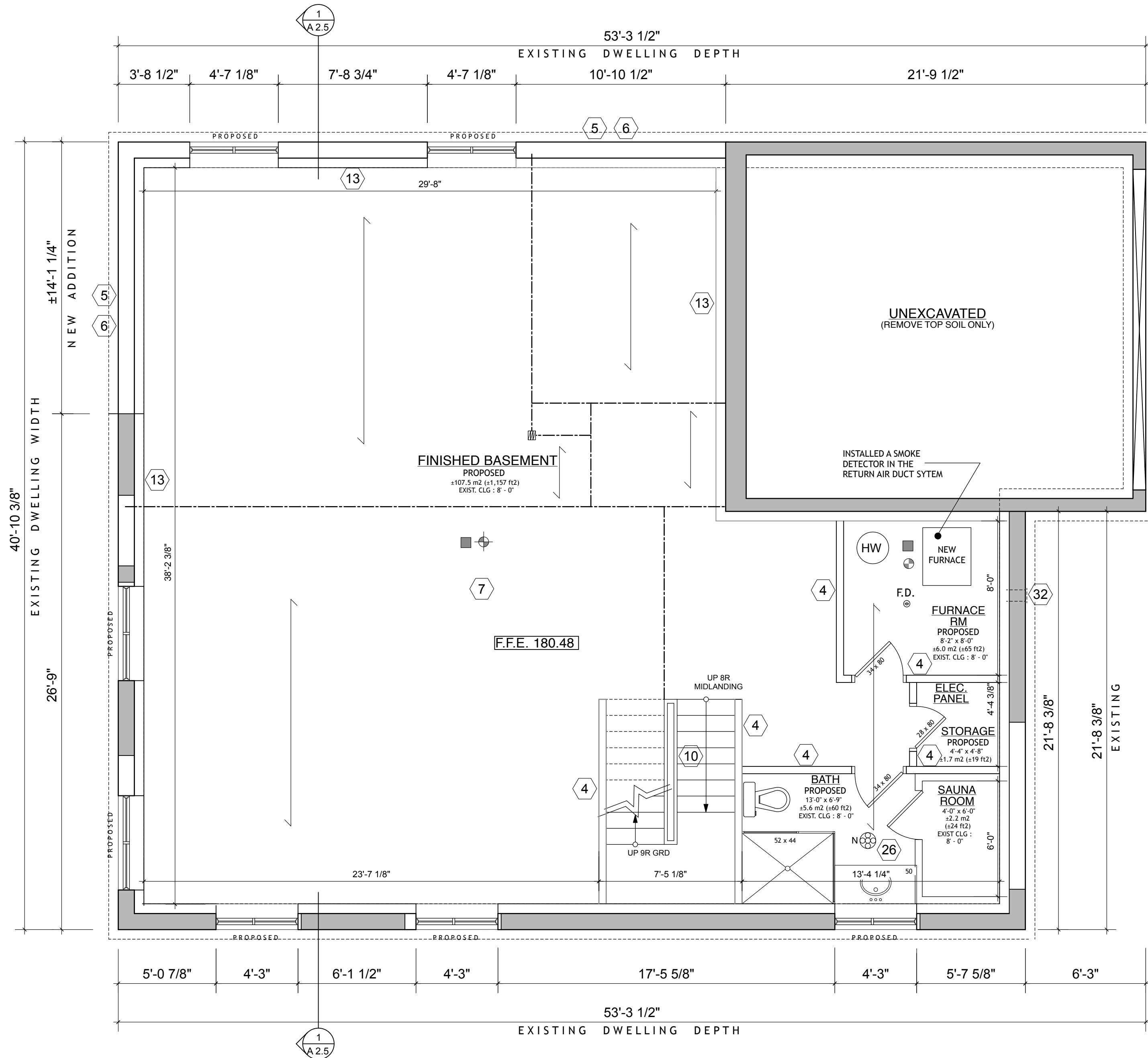
SCALE

AS NOTED

DRAWING NUMBER

A0.1

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- WALL LEGEND**
- DEMO WALL
 - == NEW WALL
 - == EXISTING WALL
 - EXG EXISTING DOOR TO REMAIN

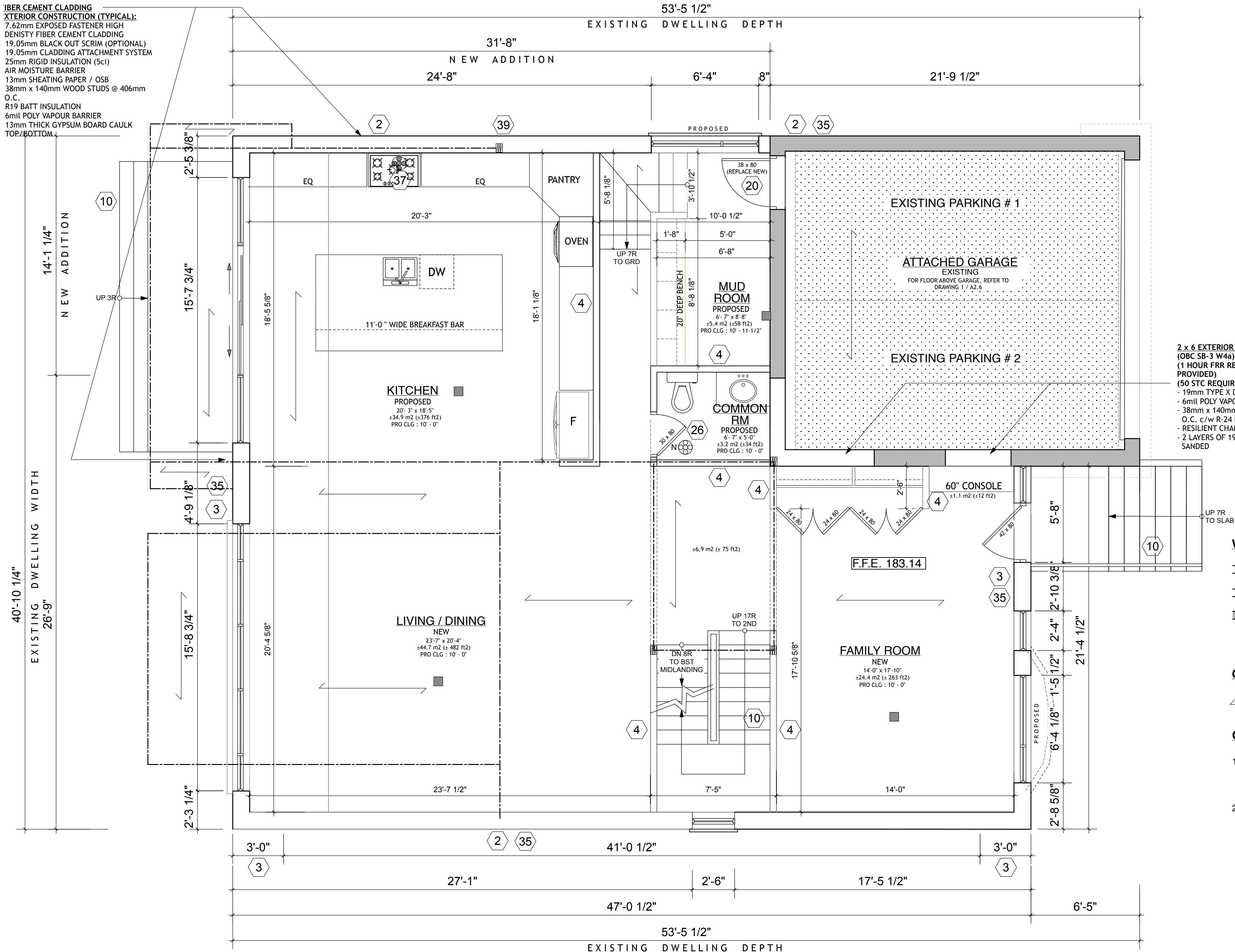
- CEILING LEGEND**
- JOIST (FLOOR OR CEILING) DIRECTION

- GENERAL NOTES:**
- SUPPLY AIR GRILL SHALL BE LOCATED ADJACENT TO THE EXTERIOR WALLS. SUCH OUTLETS SHALL BE LOCATED SO AS TO BATHE AT LEAST ONE EXTERIOR WALL OR WINDOW WITH WARM AIR IN CONFORMANCE WITH OBC.
 - SUPPLY & RETURN AIR GRILLES IN HABITABLE FINISHED BASEMENT SHALL BE LOCATED ON LOW WALLS WITH 6" ABOVE FINISHED FLOOR LEVEL.

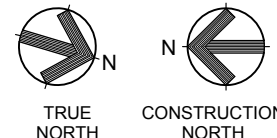
1 PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1' - 0"
ADDITIONAL FLOOR AREA : 457 ft² (42.4 m²)
NEW TOTAL FLOOR AREA : 1,695 ft² (157.5 m²)
FOR STRUCTURAL DETAILS, REFER TO DWGS
S1 - S7

<div>416.628.2168 416.887.6771 info@hjarch.ca</div>		REVISION / ISSUED TO:			GENERAL NOTES: -Contractors to verify all site dimensions and report any discrepancies before commencing with work. -Dimensions shall take precedence over scale. -No variation of modification to work shall be implemented without prior written approval. -All plans, specifications and work is subject to Department of Labour, Fire Department and Building Department approval. -All previous issues of this drawing are superseded. -All prints of drawings and specifications are the property of hj architects inc. and must be returned upon project completion.	OWNER <i>Martin & Tiffany Ng</i> 60 chant crescent unionville, ontario l3r 1y8	MECHANICAL <i>ENERSIM ENGINEERING</i> 8080 guelph line, unit #1508 campbellville, ontario l0p 1b0	STAMP: 	PROJECT NO. 23 - 023	DRAWN BY: JY	CHECKED BY: JY	APPROVED: JY
		NO.	DATE.	BY.					PROJECT NAME SINGLE-DETACHED DWELLING (ADDITION TO EXISTING BUILDING) 60 CHANT CRESCENT UNIONVILLE ON, L3R 1Y8	SCALE 1 / 4" = 1' - 0"		
		1.	ISSUED TO C OF A APPLICATION	06/26/24	JY				DRAWING TITLE PROPOSED BASEMENT FLOOR PLAN	DRAWING NUMBER A1.3		
										Copyright (c) 2012 HJ ARCHITECTS INC.		

IBER CEMENT CLADDING
XTERIOR CONSTRUCTION (TYPICAL):
7.62mm EXPOSED FASTENER HIGH
DENISTY FIBER CEMENT CLADDING
19.05mm BLACK OUT SCRIM (OPTIONAL)
19.05mm CLADDING ATTACHMENT SYSTEM
25mm RIGID INSULATION (5ci)
AIR MOISTURE BARRIER
13mm SHEATING PAPER / OSB
38mm x 140mm WOOD STUDS @ 406mm
O.C.
R19 BATT INSULATION
6mil POLY VAPOUR BARRIER
13mm THICK GYPSUM BOARD CAULK
TOP/BOTTOM



1 PROPOSED GROUND FLOOR PLAN
SCALE : 1/4" = 1' - 0"
ADDITIONAL FLOOR AREA : 407 ft² (37.8 m²)
NEW TOTAL FLOOR AREA : 1,695 ft² (157.5 m²)
EXISTING GARAGE AREA : 352 ft² (32.7 m²)
FOR STRUCTURAL DETAILS, REFER TO
DWGS S1 - S7



2 x 6 EXTERIOR FIRE SEPARATION:
(OBC SB-3 W4a)
(1 HOUR FRR REQUIRED 1 HOUR FRR
PROVIDED)
(50 STC REQUIRED, 51 STC PROVIDED)
- 19mm TYPE X DRYWALL TAPED & SANDED
- 6mil POLY VAPOUR BARRIER
- 38mm x 140mm WOOD STUDS @ 406mm
O.C. c/w R-24 ROXUL INSULATION
- RESILIENT CHANNELS @ 610 o.c.
- 2 LAYERS OF 19mm TYPE X DRYWALL TAPED &
SANDED

WALL LEGEND

- DEMO WALL
- ===== NEW WALL
- ===== EXISTING WALL
- (EXG) EXISTING DOOR TO REMAIN

CEILING LEGEND

- JOIST (FLOOR OR CEILING)
DIRECTION

GENERAL NOTES:

- SUPPLY AIR GRILL SHALL BE LOCATED ADJACENT TO THE EXTERIOR WALLS. SUCH OUTLETS SHALL BE LOCATED SO AS TO BATHE AT LEAST ONE EXTERIOR WALL OR WINDOW WITH WARM AIR IN CONFORMANCE WITH OBC.
- SUPPLY & RETURN AIR GRILLES IN HABITABLE FINISHED BASEMENT SHALL BE LOCATED ON LOW WALLS WITH 6" ABOVE FINISHED FLOOR LEVEL.

Appendix A

File: 24.167749.000.00.MNV

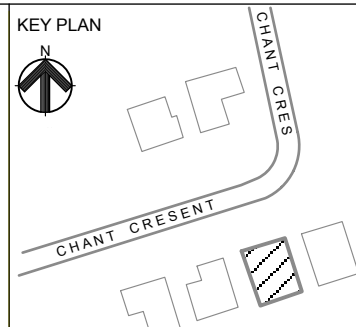
Date: 5/9/2025

File: 24.167749.000.00.MNV

Date: 9/5/2024

MM/DD/YY

hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4
416.628.2168
416.887.6771
info@hjarch.ca



REVISION / ISSUED TO:			
NO.		DATE.	BY.
1.	ISSUED TO C OF A APPLICATION	06/26/24	JY

GENERAL NOTES:

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OWNER
Martin & Tiffany Ng
60 chant crescent
unionville, ontario
l3r 1y8

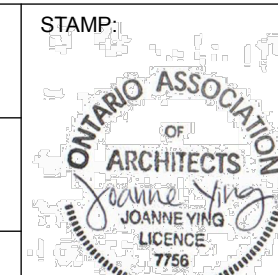
ARCHITECTURAL
hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4

STRUCTURAL
OPTIMUM STRUCTURAL CORP.
39 kirk drive,
thornhill, ontario
l3r 3k8

MECHANICAL
ENERSIM ENGINEERING
8080 guelph line, unit #1508
campbellville, ontario
l0p 1b0

ELECTRICAL

INTERIOR



PROJECT NO.
23 - 023

PROJECT NAME
**SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)**
60 CHANT CRESCENT
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
PROPOSED GROUND FLOOR PLAN

DRAWN BY:
JY

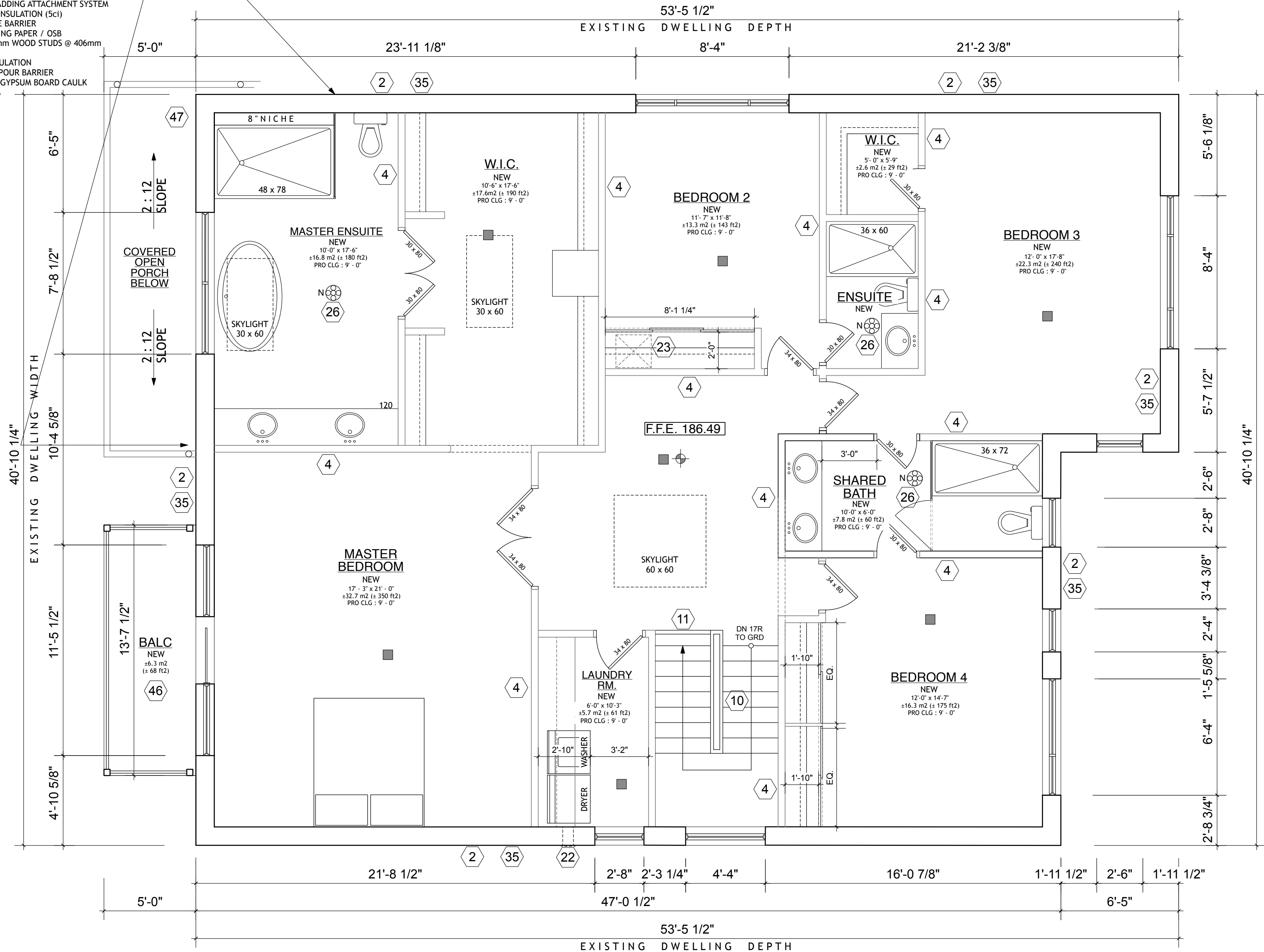
CHECKED BY:
JY

APPROVED:
JY

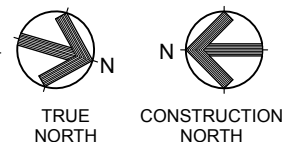
SCALE
1 / 4" = 1' - 0"

DRAWING NUMBER
A1.4

FIBER CEMENT CLADDING
EXTERIOR CONSTRUCTION (TYPICAL):
- 7.62mm EXPOSED FASTENER HIGH
DENISTY FIBER CEMENT CLADDING
- 19.05mm BLACK OUT SCRIM (OPTIONAL)
- 19.05mm CLADDING ATTACHMENT SYSTEM
- 25mm RIGID INSULATION (5ci)
- AIR MOISTURE BARRIER
- 13mm SHEATING PAPER / OSB
- 38mm x 140mm WOOD STUDS @ 406mm
O.C.
- R19 BATT INSULATION
- 6mil POLY VAPOUR BARRIER
- 13mm THICK GYPSUM BOARD CAULK
TOP/BOTTOM



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"
NEW FLOOR AREA : 2,047 ft² (190.1 m²)
FOR TRUSS DETAILS, REFER TO SHOP
DRAWINGS
FOR FLOOR JOIST DETAILS, REFER TO
SHOP DRAWINGS



WALL LEGEND

- DEMO WALL
- ===== NEW WALL
- ===== EXISTING WALL
- EXG EXISTING DOOR TO REMAIN

CEILING LEGEND

- JOIST (FLOOR OR CEILING)
DIRECTION

GENERAL NOTES:

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- SUPPLY & RETURN AIR GRILLES IN HABITABLE FINISHED BASEMENT SHALL BE LOCATED ON LOW WALLS WITH 6" ABOVE FINISHED FLOOR LEVEL.

Appendix A

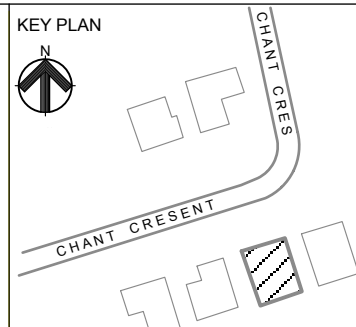
File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY

File: 24.167749.000.00.MNV

Date: 9/5/2024
MM/DD/YY

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85 forest cove court
aurora, ontario
l4g 3g4
416.628.2168
416.887.6771
info@hjarch.ca



REVISION / ISSUED TO:			
NO.	ISSUED TO	DATE	BY
1.	ISSUED TO C OF A APPLICATION	06/26/24	JY

GENERAL NOTES:
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OWNER
Martin & Tiffany Ng
60 chant crescent
unionville, ontario
l3r 1y8

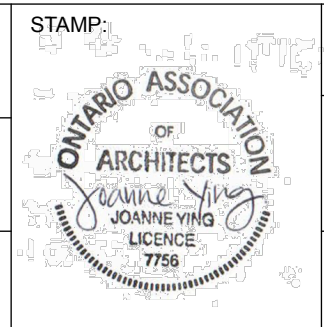
ARCHITECTURAL
hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4

STRUCTURAL
OPTIMUM STRUCTURAL CORP.
39 kirk drive,
thornhill, ontario
l3t 3k8

MECHANICAL
ENERSIM ENGINEERING
8080 guelph line, unit #1508
campbellville, ontario
l0p 1b0

ELECTRICAL

INTERIOR



PROJECT NO.
23 - 023

PROJECT NAME
**SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)**
60 CHANT CRESCENT
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
PROPOSED 2nd FLOOR PLAN

DRAWN BY:
JY

CHECKED BY:
JY

APPROVED:
JY

SCALE
1 / 4" = 1' - 0"

DRAWING NUMBER
A1.5

Appendix A

File: 24.167749.000.00.MNV

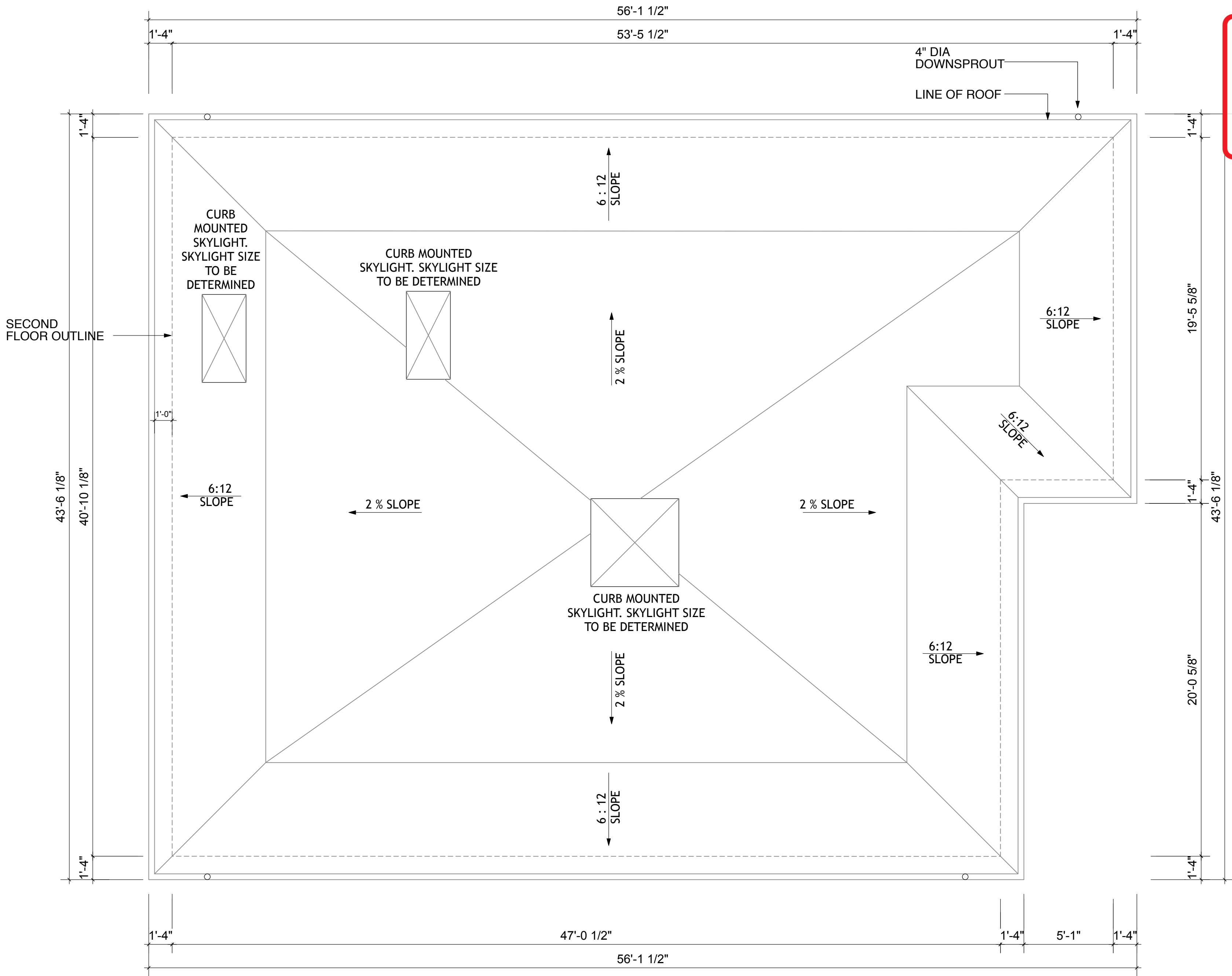
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MM/DD/YYYY

File: 24.167749.000.00.MNV

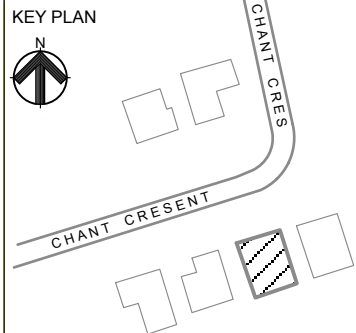
Date: 9/5/2024

MM/DD/YY



1 PROPOSED ROOF FLOOR PLAN
SCALE : 1 / 4" = 1' - 0"
FOR TRUSS DETAILS, REFER TO SHOP
DRAWINGS

hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4
416.628.2168
416.887.6771
info@hjarch.ca



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NO.		DATE.	BY.
1.	ISSUED TO C OF A APPLICATION	06/26/24	JY

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OWNER
Martin & Tiffany Ng
60 chant crescent
unionville, ontario
l3r 1y8

ARCHITECTURAL
hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4

STRUCTURAL
OPTIMUM STRUCTURAL CORP.
39 kirk drive,
thornhill, ontario
l3t 3k8

MECHANICAL
ENERSIM ENGINEERING
8080 guelph line, unit #1508
campbellville, ontario
l0p 1b0

ELECTRICAL

INTERIOR



PROJECT NO.
23 - 023

PROJECT NAME
SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)
60 CHANT CRESCENT,
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
PROPOSED ROOF FLOOR PLAN

DRAWN BY:
JY

CHECKED BY:
JY

APPROVED:
JY

SCALE
1 / 4" = 1' - 0"

DRAWING NUMBER
A1.6

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Appendix A

File: 24.167749.000.00.MNV

Date: 5/9/2025

File: 24.167749.000.00.MNV

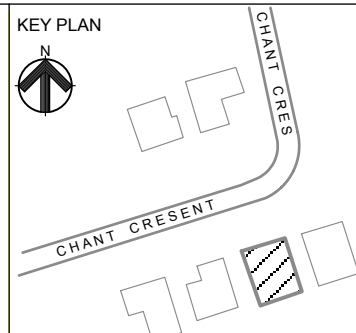
Date: 9/5/2024

MM/DD/YY



1 NORTH (FRONT YARD) ELEVATION
SCALE: 1/4" = 1' - 0"
ELEVATION LABEL IS BASED ON THE CARDINAL
ORIENTATION (CONSTRUCTION NORTH)

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aurora, ontario
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416.628.2168
416.887.6771
info@hjarch.ca



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OWNER
Martin & Tiffany Ng
60 chant crescent
unionville, ontario
l3r 1y8

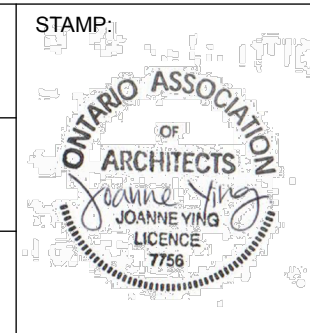
ARCHITECTURAL
hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4

STRUCTURAL
OPTIMUM STRUCTURAL CORP.
39 kirk drive,
thornhill, ontario
l3t 3k8

MECHANICAL
ENERSIM ENGINEERING
8080 guelph line, unit #1508
campbellville, ontario
l0p 1b0

ELECTRICAL

INTERIOR



PROJECT NO.
23 - 023

PROJECT NAME
SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)
60 CHANT CRESCENT
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
NORTH ELEVATION
(CHANT CRESCENT)

DRAWN BY: JY	CHECKED BY: JY	APPROVED: JY
SCALE AS NOTED		
DRAWING NUMBER A2.1		

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Appendix A

File: 24.167749.000.00.MNV

Date: 5/9/2025

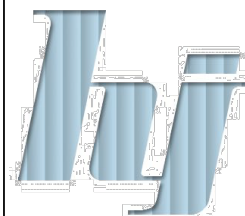
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Date: 9/5/2024

MM/DD/YY



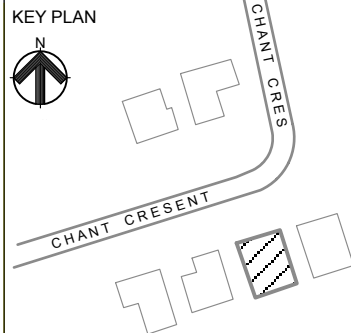
1 SOUTH (REAR YARD) ELEVATION
SCALE: 1/4" = 1' - 0"
ELEVATION LABEL IS BASED ON THE CARDINAL
ORIENTATION (CONSTRUCTION NORTH)



hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4

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416.887.6771
info@hjarch.ca

KEY PLAN



REVISION / ISSUED TO:

NO.		DATE.	BY.
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OWNER

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unionville, ontario
l3r 1y8

MECHANICAL

ENERSIM ENGINEERING
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campbellville, ontario
l0p 1b0

ARCHITECTURAL

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aurora, ontario
l4g 3g4

ELECTRICAL

STRUCTURAL

OPTIMUM STRUCTURAL CORP.
39 kirk drive,
thornhill, ontario
l3t 3k8

INTERIOR

STAMP:



PROJECT NO.

23 - 023

PROJECT NAME

**SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)**
60 CHANT CRESCENT
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE

**SOUTH ELEVATION
(REAR YARD)**

DRAWN BY:

JY

CHECKED BY:

JY

APPROVED:

JY

SCALE

AS NOTED

DRAWING NUMBER

A2.2

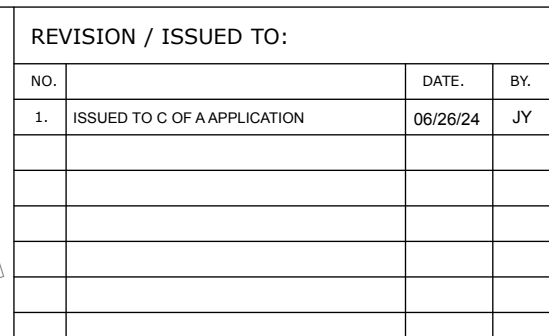
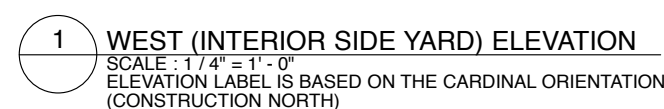
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Appeal File: 24.167749.000.00.MNV

Date: 5/9/2025
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Date: 9/5/2024

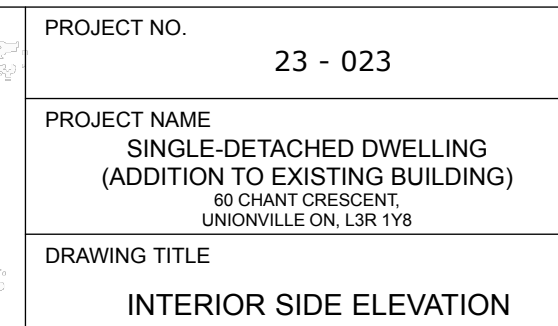
MM/DD/YY



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STRUCTURAL OPTIMUM STRUCTURAL
CORP.
39 kirk drive,
thornhill, ontario
l3t 3k8

INTERIOR	
----------	--



SCALE	AS NOTED
-------	----------

DRAWING NUMBER

A2.3

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Appendix A

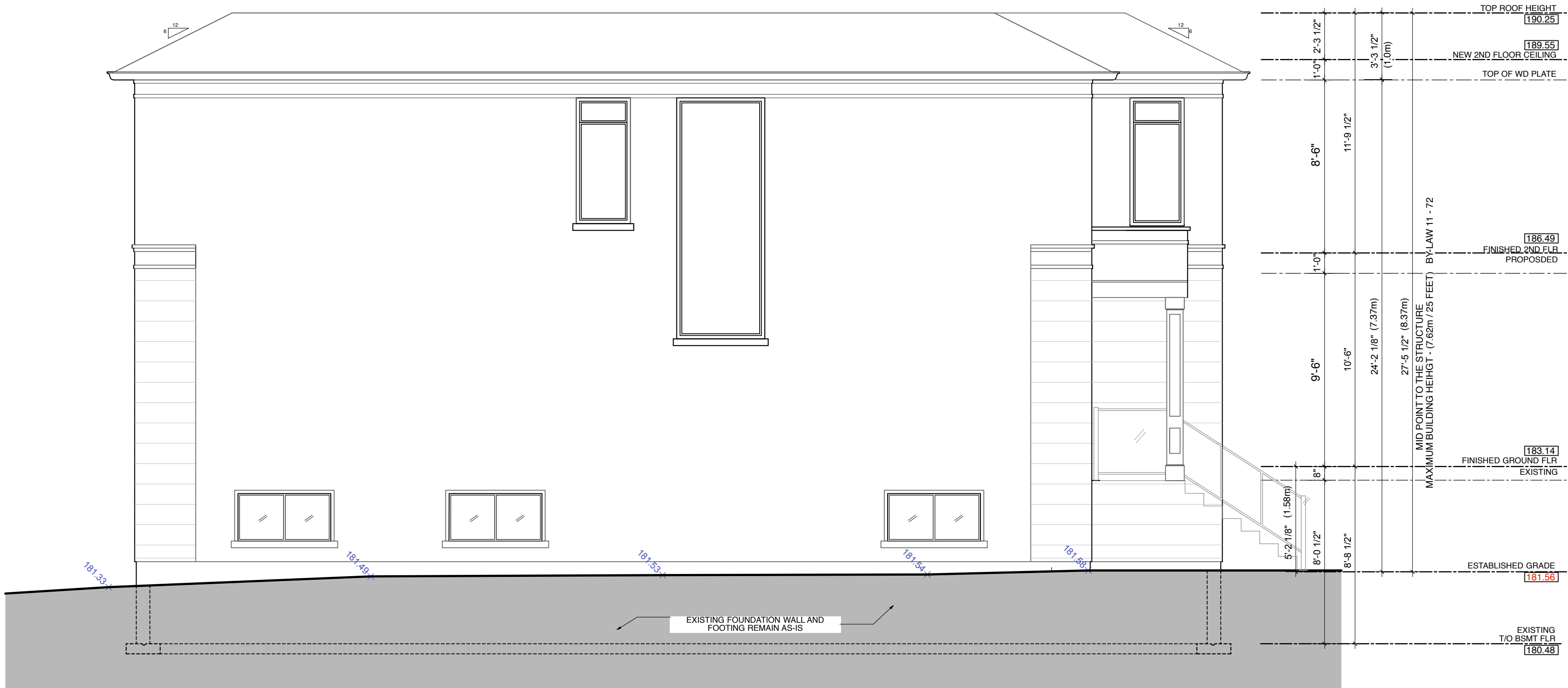
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Date: 5/9/2025

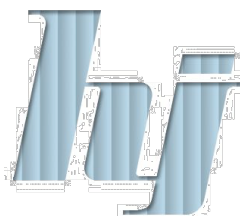
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Date: 9/5/2024

MM/DD/YY

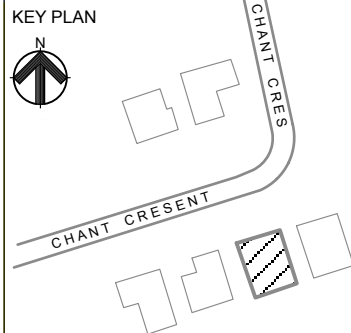


1 EAST (INTERIOR SIDE YARD) ELEVATION
SCALE: 1/4" = 1' - 0"
ELEVATION LABEL IS BASED ON THE CARDINAL ORIENTATION
(CONSTRUCTION NORTH)



hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4
416.628.2168
416.887.6771
info@hjarch.ca

KEY PLAN



REVISION / ISSUED TO:

NO.		DATE.	BY.
1.	ISSUED TO C OF A APPLICATION	06/26/24	JY

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OWNER

Martin & Tiffany Ng
60 chant crescent
unionville, ontario
l3r 1y8

MECHANICAL

ENERSIM ENGINEERING
8080 guelph line, unit #1508
campbellville, ontario
l0p 1b0

STAMP:



PROJECT NO.

23 - 023

PROJECT NAME

**SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)**
60 CHANT CRESCENT
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE

INTERIOR SIDE ELEVATION

DRAWN BY:

JY

CHECKED BY:

JY

APPROVED:

JY

SCALE

AS NOTED

DRAWING NUMBER

A2.4

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Appendix A

File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY

APPENDIX "C"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or their designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a Qualified Tree Expert in accordance with the City's Tree Assessment and Preservation Plan (TAPP) Requirements (2024) as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Tree Preservation By-law Administrator that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan.
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site, neighbouring properties, and street trees, in accordance with the City's Streetscape Manual (2009) as amended and inspected by City Staff to the satisfaction of the Tree Preservation By-law Administrator; and
5. If required as per Tree Preservation review, tree securities and/or tree fees be paid to the City and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation By-law Administrator.

CONDITIONS PREPARED BY:



Barton Leung, Senior Planner, Planning and Urban Design Department

Appendix B

File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY

Memorandum to the City of Markham Committee of Adjustment

March 3, 2025

File: A/032/24
Address: 60 Chant Crescent, Markham
Agent: HJ Architects Inc (Joanne Ying)
Hearing Date: Wednesday, March 5, 2025

The following comments are provided on behalf of the Central Team:

The Applicant is requesting relief from the “Residential – Established Neighbourhood Low Rise (RES-ENLR)” zone requirements under By-law 2024-19, as amended, as it relates to a proposed two-storey detached dwelling. The variances requested are to permit:

a) By-law 2024-19, Section 6.3.2.2(C):

a maximum second storey building coverage of 24 percent, whereas the by-law permits a maximum second storey building coverage of 20 percent;

b) By-law 2024-19, Section 6.3.2.2(E):

a maximum distance of 16.3 metres from the established building line for the second storey, whereas the by-law permits a maximum distance of 14.5 metres;

c) By-law 2024-19, Section 6.3.2.2(J):

a maximum outside wall height of 7.4 metres, whereas the by-law permits a maximum outside wall height of 7 metres; and,

d) By-law 2024-19, Section 6.3.2(K):

a maximum three storey dwelling, whereas the by-law permits a maximum two storey dwelling.

COMMENTS

Staff received revised plans following the September 11, 2024 Committee of Adjustment meeting. However, upon further review, Staff have identified that additional variance(s) related to the proposed porch will be required. As such, Staff recommend the application be deferred sine die by the Committee of Adjustment until such time the Applicant confirms the additional variances required or revises the Plans to comply with By-law requirements for porch sizes. Staff note that the Applicant has agreed to this deferral and has indicated they will work with Staff on the application.

PREPARED BY:



Barton Leung, Senior Planner, Central District

REVIEWED BY:



Melissa Leung, RPP MCIP, Senior Planner, Central District

Appendix B

File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY

Appendix C

File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY

GENERAL NOTE:

1. THE SITE PLAN IS BASED ON THE SURVEY PREPARED BY MANDARIN SURVEYORS LIMITED ONTARIO LAND SURVEYOR, DATED ON NOVEMBER 08, 2023.
2. ALL DIMENSIONS GIVEN IN IMPERIAL (UNLESS OTHERWISE NOTED).
3. ALL CONSTRUCTION TO COMPLY WITH MUNICIPAL BY-LAWS AND ONTARIO CODE
4. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AT THE SITE PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE SITE CONDITIONS AND THE ASSUMED DESIGN CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTIONS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK ELEVATIONS OF ALL CITY SERVICES AND ESTABLISH APPROPRIATE METHODS OF DEALING WITH THOSE SERVICES
6. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION, METHOD OF ERECTION AND INSTALLATION PROCEDURES OF THE STRUCTURAL MEMBERS INCLUDING THE ERECTION OF STEEL BEAMS. THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND CARE DURING THE DEMOLITION PROCESS OF ANY EXISTING STRUCTURE AND MASONRY WALLS. BE SOLELY RESPONSIBLE TO SUPPORT ANY EXISTING STRUCTURE AND CALL THE STRUCTURAL ENGINEER FOR INSPECTION PRIOR TO CUTTING EXISTING MEMBERS OR EXISTING WALLS.
7. THE GENERAL CONTRACTOR ARE RESPONSIBLE FOR CO-ORDINATION OF PLUMBING, MECHANICAL AND ELECTRICAL IN PROCEEDING WITH WORK ON PLANS
8. PLUMBING, MECHANICAL AND ELECTRICAL SUB-CONTRACTORS TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM APPROPRIATE AUTHORITIES BEFORE PROCEEDING WITH WORK.

SITE STATISTICS

ZONING	R3 UNDER BY-LAW 11 - 72 RES-ENLR BY-LAW 2014-19 (INTERIOR LOT)
EXISTING / PROPOSED USE	RESIDENTIAL LOW RISE
LOT AREA	696.0 m ² (7,491 ft ²)
LOT COVERAGE	189.6 m ² (2,041 ft ²) <u>189.6 x 100</u> 696.0 = 27.2% LOT COVERAGE MAXIMUM COVERAGE TO BE 33 1/3% BASED ON BY - LAW 11 - 72
BUILDING COVERAGE	166.8 m ² (1,795 ft ²) <u>166.8 x 100</u> 696.0 = 24.0 % BUILDING COVERAGE MAXIMUM COVERAGE TO BE 20% BASED ON BY - LAW 2014 - 19
BUILDING HEIGHT	8.78 m (28'-9 5/8") MAXIMUM BUILDING HEIGHT TO BE 25 FEET BASED ON BY - LAW 11 - 72
G.F.A.	BASEMENT FLR 156.9 m ² (1,689 ft ²) GROUND FLR 156.9 m ² (1,689 ft ²) ATTACHED GARAGE 32.7 m ² (352 ft ²) SECOND FLR 166.8 m ² (1,795 ft ²) TOTAL 480.6 m ² (5,173 ft ²) MINIMUM GFA TO BE 1,500 ft ² FOR 2 STOREY BASED ON BY - LAW 11 - 72

SCOPE OF WORK	MAINTAIN AND EXPAND FOUNDATION FOOTPRINT GROUND FLOOR EXTENSION ADD 2nd FLOOR
---------------	--

LOT 104
PIN 02980-0190
REGISTERED PLAN 65M - 2147

LOT 103
PIN 02980-0190
REGISTERED PLAN 65M - 2147

PART 36-B,
PLAN 66R-5811

PLAN 66R-5811
PART 35-B

PART 35-A, PLAN 66R-5811

PART 36-A, PLAN 66R-5811

PART 37, PLAN 66R-5811

LOT 36
PIN 02980-0035(LT)
REGISTERED PLAN M-1440

LOT 37
PIN 02980-0034
REGISTERED PLAN M-1440

PART 36-C, PLAN 66R-5811
SUBJECT TO EASEMENT AS IN INST. No. LB312819

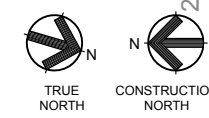
PART 35-C, PLAN 66R-5811
SUBJECT TO EASEMENT AS IN INST. No. LB312819

#62 CHANT CRESCENT
EXISTING 2 STOREY
BRICK DWELLING
D.S. = 182.18

#58 CHANT CRESCENT
EXISTING 2 STOREY
BRICK DWELLING
D.S. = 182.07

1

OVERALL SITE PLAN
SCALE: 1" = 1' - 0"
SURVEY ORIGINALLY PREPARED FOR 60 CHANT CRESCENT BY MANDARIN SURVEYORS LIMITED, PART 1 - PLAN OF SURVEY OF LOTS 36 REGISTERED PLAN M - 1440 CITY OF MARKHAM, REGIONAL MUNICIPALITY OF YORK

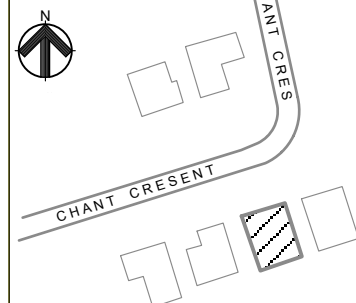


SITE LEGEND

- PROPERTY LINE
- TREE PROTECTION ZONE
- DRIVEWAY / SIDE WALK / CURB TO BE REMOVED

hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4
416.628.2168
416.887.6771
info@hjarch.ca

KEY PLAN



REVISION / ISSUED TO:			
NO.	ISSUED TO	DATE	BY
1.	ISSUED TO C OF A APPLICATION	06/26/24	JY
2.	REISSUED TO C OF A APPLICATION	05/08/25	JY

GENERAL NOTES:

- Contractors to verify all site dimensions and report any discrepancies before commencing with work.
- Dimensions shall take precedence over scale.
- No variation of modification to work shall be implemented without prior written approval.
- All plans, specifications and work is subject to Department of Labour, Fire Department and Building Department approval.
- All previous issues of this drawing are superseded.
- All prints of drawings and specifications are the property of hj architects inc. and must be returned upon project completion.

OWNER

Martin & Tiffany Ng
60 chant crescent
unionville, ontario
l3r 1y8

ARCHITECTURAL

hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4

STRUCTURAL

OPTIMUM STRUCTURAL CORP.
39 kirk drive,
thornhill, ontario
l3t 3k8

MECHANICAL

ENERSIM ENGINEERING
8080 guelph line, unit #1508
campbellville, ontario
l0p 1b0

ELECTRICAL

INTERIOR

STAMP:



PROJECT NO.

23 - 023

PROJECT NAME

SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)

DRAWING TITLE

OVERALL SITE PLAN

DRAWN BY:

JY

CHECKED BY:

JY

APPROVED:

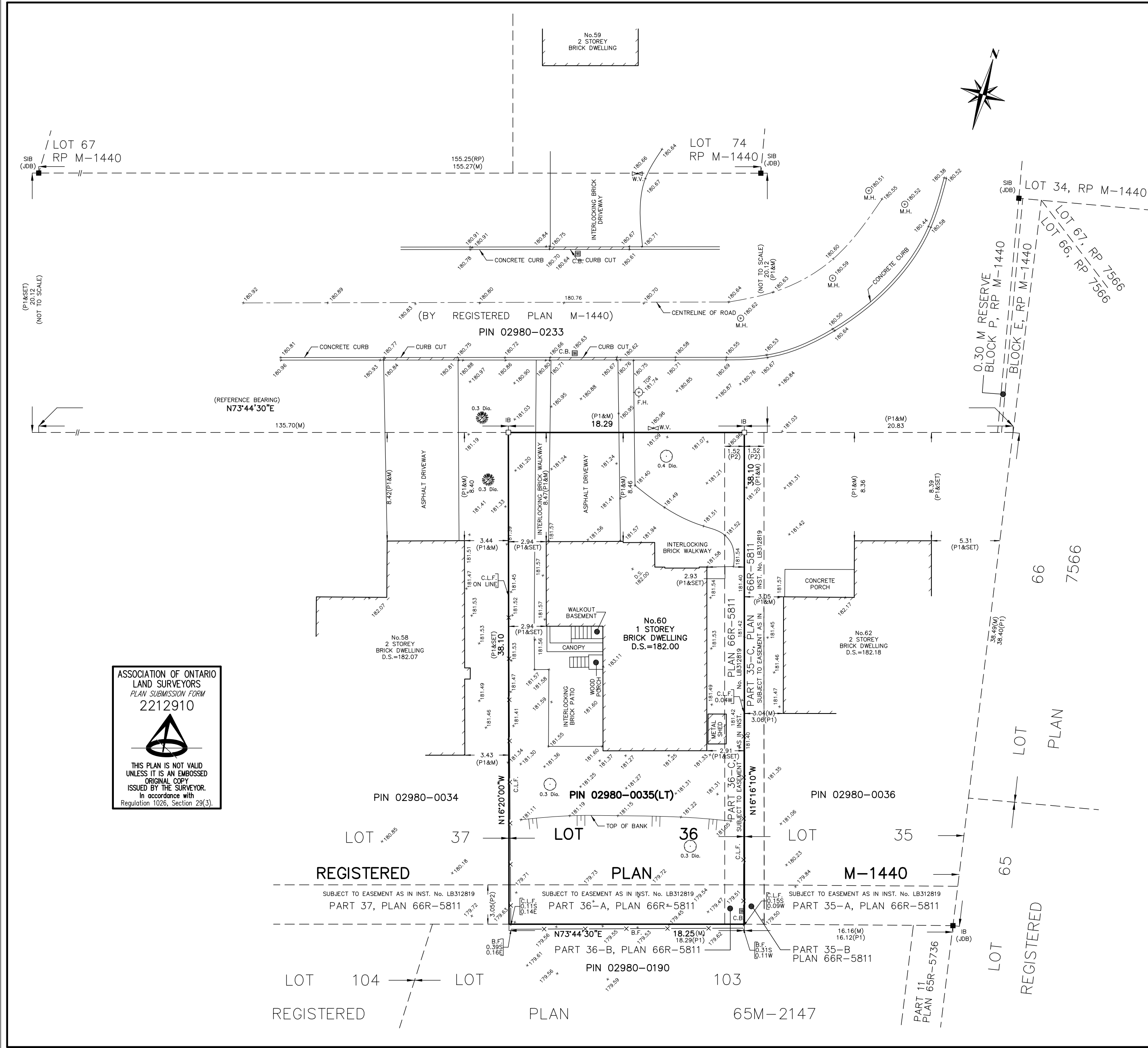
JY

SCALE

AS NOTED

DRAWING NUMBER

A0.1



SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY OF
LOT 36
REGISTERED PLAN M-1440
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK
SCALE 1:200
MANDARIN SURVEYORS LIMITED, O.L.S. ©
METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND
□ DENOTES MONUMENT SET
■ DENOTES MONUMENT FOUND
SIB DENOTES STANDARD IRON BAR
IB DENOTES IRON BAR
P1 DENOTES PLAN OF SURVEY BY JOHN McSKIMMING, O.L.S.
DATE MARCH 18, 1972
RP DENOTES REGISTERED PLAN M-1440
JDB DENOTES J. D. BARNES LTD., O.L.S.
PIN DENOTES PROPERTY IDENTIFIER NUMBER
M DENOTES MEASURED
N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
B.F. DENOTES BOARD FENCE
C.L.F. DENOTES CHAIN LINK FENCE
D.S. DENOTES DOOR SILL ELEVATION AT ENTRY
F.H. DENOTES FIRE HYDRANT
M.H. DENOTES MANHOLE
W.V. DENOTES WATER VALVE
C.B. DENOTES CATCH BASIN
● DENOTES CONIFEROUS TREE
○ DENOTES DECIDUOUS TREE

BENCHMARK NOTE
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY OF MARKHAM BENCHMARK No.M21-007 HAVING AN ELEVATION OF 178.561 M. BRASS TABLET STE VERTICALLY IN CONC MONUMENT FLUSH WITH GRADE. MONUMENT IS LOCATED ON THE E SIDE OF PUBLIC WALKWAY BETWEEN HOUSE No. 175 & 177 CARLTON RD ON THE S SIDE OF CARLTON RD E OF FRED VARLEY DR.

PART 2 (SURVEY REPORT)
1. REGISTERED EASEMENTS AND/OR RIGHT OF WAYS: SUBJECT TO AN EASEMENT AS IN INST. No. LB312819.
2. ADDITIONAL COMMENTS: NOTE THE LOCATION OF THE FENCES AROUND THE SOUTHERLY, EASTERLY AND WESTERLY LIMITS OF THE SUBJECT PROPERTY.
3. THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 8th DAY OF NOVEMBER, 2023

NOVEMBER 15, 2023
DATE
Z. ZENG
ONTARIO LAND SURVEYOR

MANDARIN SURVEYORS LIMITED
ONTARIO LAND SURVEYOR CANADA LANDS SURVEYOR
WWW.MANDARINSURVEYORS.COM
2400 MIDLAND AVE., #121 PHONE: (647) 430-1366
SCARBOROUGH, ONTARIO, M1S 5C1 E-MAIL: MANDARINSURVEYOR@GMAIL.COM

SURVEY BY: J.Z. DRAWN BY: E.N. CAD No: 23-440SRPR JOB No: 2023-440

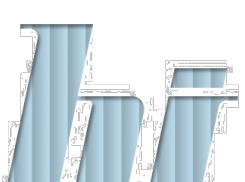
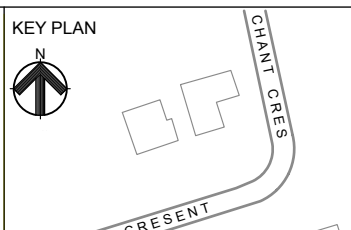
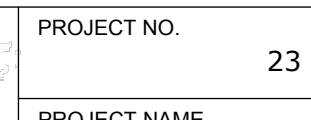
Appendix C

File: 24.167749.000.00.MNV

Date: 5/9/2025

MM/DD/YYYY

1 LEGAL SURVEY
SCALE: N.T.S.

 <div>hj architects inc. 85 forest cove court aurora, ontario l4g 3g4 416.628.2168 416.887.6771 info@hjarch.ca</div>		REVISION / ISSUED TO:			GENERAL NOTES:	OWNER <i>Martin & Tiffany Ng</i> 60 chant crescent unionville, ontario l3r 1y8	MECHANICAL <i>ENERSIM ENGINEERING</i> 8080 guelph line, unit #1508 campbellville, ontario l0p 1b0	STAMP: 	PROJECT NO. 23 - 023	DRAWN BY: JY	CHECKED BY: JY	APPROVED: JY																																			
		<table><tr><td>NO.</td><td></td><td>DATE.</td><td>BY.</td></tr><tr><td>1.</td><td>ISSUED TO C OF A APPLICATION</td><td>06/26/24</td><td>JY</td></tr><tr><td>2.</td><td>REISSUED TO C OF A APPLICATION</td><td>05/08/25</td><td>JY</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>							NO.		DATE.	BY.	1.	ISSUED TO C OF A APPLICATION	06/26/24	JY	2.	REISSUED TO C OF A APPLICATION	05/08/25	JY																					ARCHITECTURAL <i>hj architects inc.</i> 85 forest cove court aurora, ontario l4g 3g4	ELECTRICAL	PROJECT NAME SINGLE-DETACHED DWELLING (ADDITION TO EXISTING BUILDING) 60 CHANT CRESCENT, UNIONVILLE ON, L3R 1Y8			SCALE AS NOTED	
		NO.		DATE.					BY.																																						
1.	ISSUED TO C OF A APPLICATION	06/26/24	JY																																												
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<p>-Contractors to verify all site dimensions and report any discrepancies before commencing with work. -Dimensions shall take precedence over scale. -No variation of modification to work shall be implemented without prior written approval. -All plans, specifications and work is subject to Department of Labour, Fire Department and Building Department approval. -All previous issues of this drawing are superseded. -All prints of drawings and specifications are the property of hj architects inc. and must be returned upon project completion.</p>			DRAWING TITLE LEGAL AND TOPOGRAPHICAL SURVEY																																												

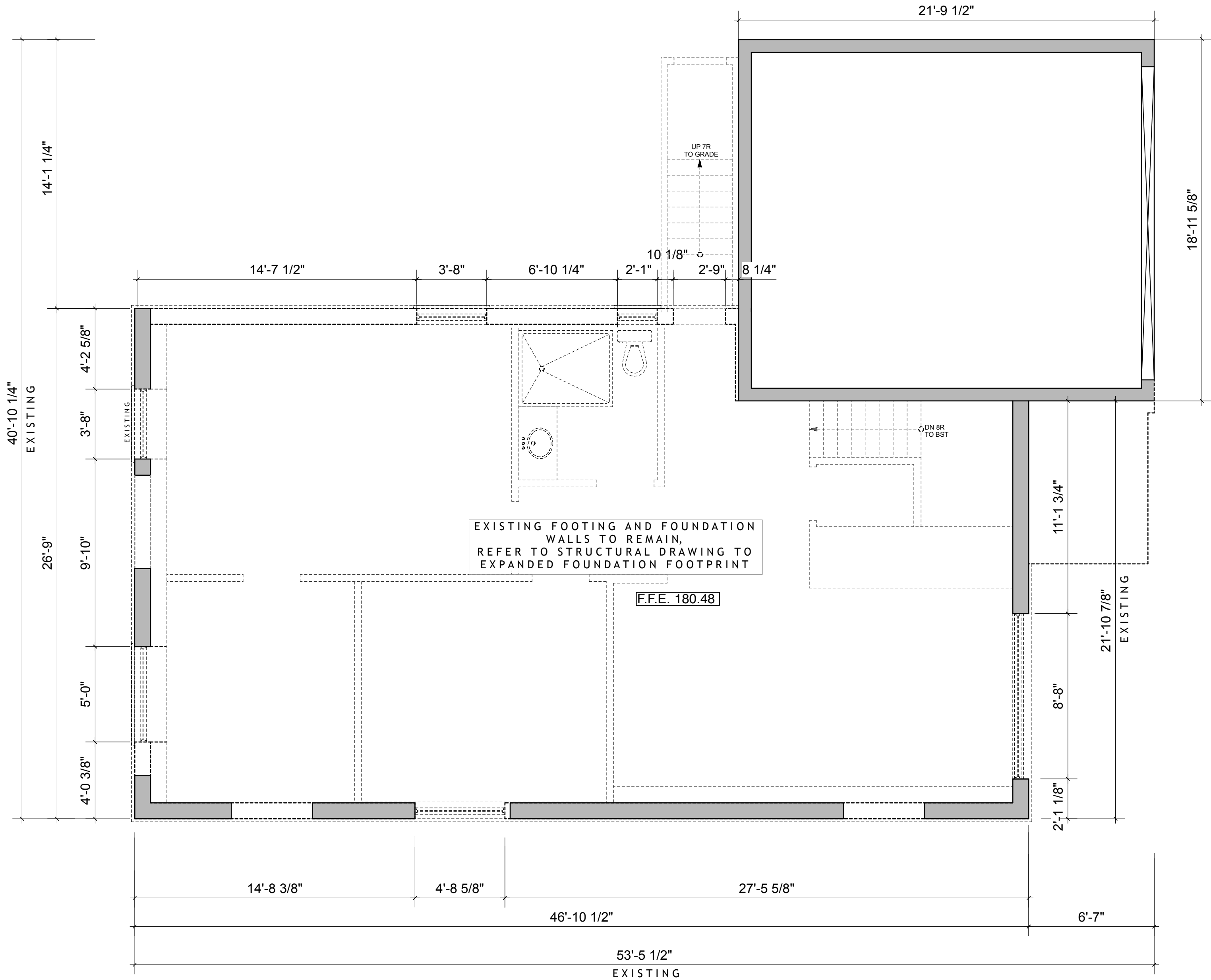
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Appendix C

File: 24.167749.000.00.MNV
Date: 5/9/2025
MM/DD/YYYY

DEMOLITION GENERAL NOTES:

- 1. CAREFULLY REMOVE WALL BOARD, STUDS, REDUNDANT ELECTRIC, PLUMBING FIXTURES, FITTINGS, ACCESSORIES, MECHICAL, PIPES, CAP PLUMBING BEHIND WALL OR BELOW FLOOR WHERE PLUMBING FIXTURES REMOVED.
- 2. DO NOT DISTURB EXISTING CONSTRUCTION BEYOND THAT NECESSARY FOR PERFORMANCE OF NEW WORK. WHERE EXISTING SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATION, MAKE GOOD TO MATCH EXISTING. CONTRACT TO COORDINATE WITH SITE STAFF REMOVAL OF ALL EQUIPMENT AND FURNITURE TO INVESTIGATE FLOOR BELOW EXISTING CONSTRUCTION ZONE PRIOR TO CUTTING (ASSUME WOOD FLOOR JOISTS)
- 3. SHOULD MATERIAL RESEMBLING SPRAY OR TROWEL-APPLIED ASBESTOS BE ENCOUNTER IN THE COURSE OF DEMOLITION, STOP WORK AND NOTIFY ARCHITECTS / ENGINEERS IMMEDIATELY. DO NOT PROCEED UNTIL WRITTEN INSTRUCTIONS HAVE BEEN RECEIVED FROM THE CONSULTANT
- 4. DURING DEMOLITION, TAKE MEASURES TO PREVENT DUST AND DIRT RISING AND MIGRATING TO OCCUPIED AREAS OR ADJACENT PROPERTIES

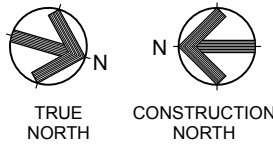


WALL LEGEND

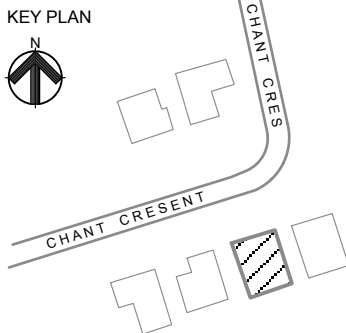
- DEMO WALL
- ==== NEW WALL
- ===== EXISTING WALL

C-1 HSS COLUMN WITH NON-RATED FINISH
3mm ALUMINUM CLADDING ON
HSS COLUMN 5 x 5 x 1/4
(127.0 x 127.0 x 6.4)

1 BASEMENT DEMOLITION FLOOR PLAN
SCALE : 1 / 4" - 1" = 0"
EXISTING FLOOR AREA : 1,227 ft2 (114.0 m2)



hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4
416.628.2168
416.887.6771
info@hjarch.ca



REVISION / ISSUED TO:		
NO.	DATE.	BY.
1.	ISSUED TO C OF A APPLICATION	06/26/24 JY
2.	REISSUED TO C OF A APPLICATION	05/08/25 JY

GENERAL NOTES:

- Contractors to verify all site dimensions and report any discrepancies before commencing with work.
- Dimensions shall take precedence over scale.
- No variation of modification to work shall be implemented without prior written approval.
- All plans, specifications and work is subject to Department of Labour, Fire Department and Building Department approval.
- All pervious issues of this drawing are superseded.
- All prints of drawings and specifications are the property of hj architects inc. and must be returned upon project completion.

OWNER	Martin & Tiffany Ng 60 chant crescent unionville, ontario l3r 1y8
ARCHITECTURAL	hj architects inc. 85 forest cove court aurora, ontario l4g 3g4
STRUCTURAL	OPTIMUM STRUCTURAL CORP. 39 kirk drive, thornhill, ontario l3t 3k8

MECHANICAL	ENERSIM ENGINEERING 8080 guelph line, unit #1508 campbellville, ontario l0p 1b0
ELECTRICAL	
INTERIOR	

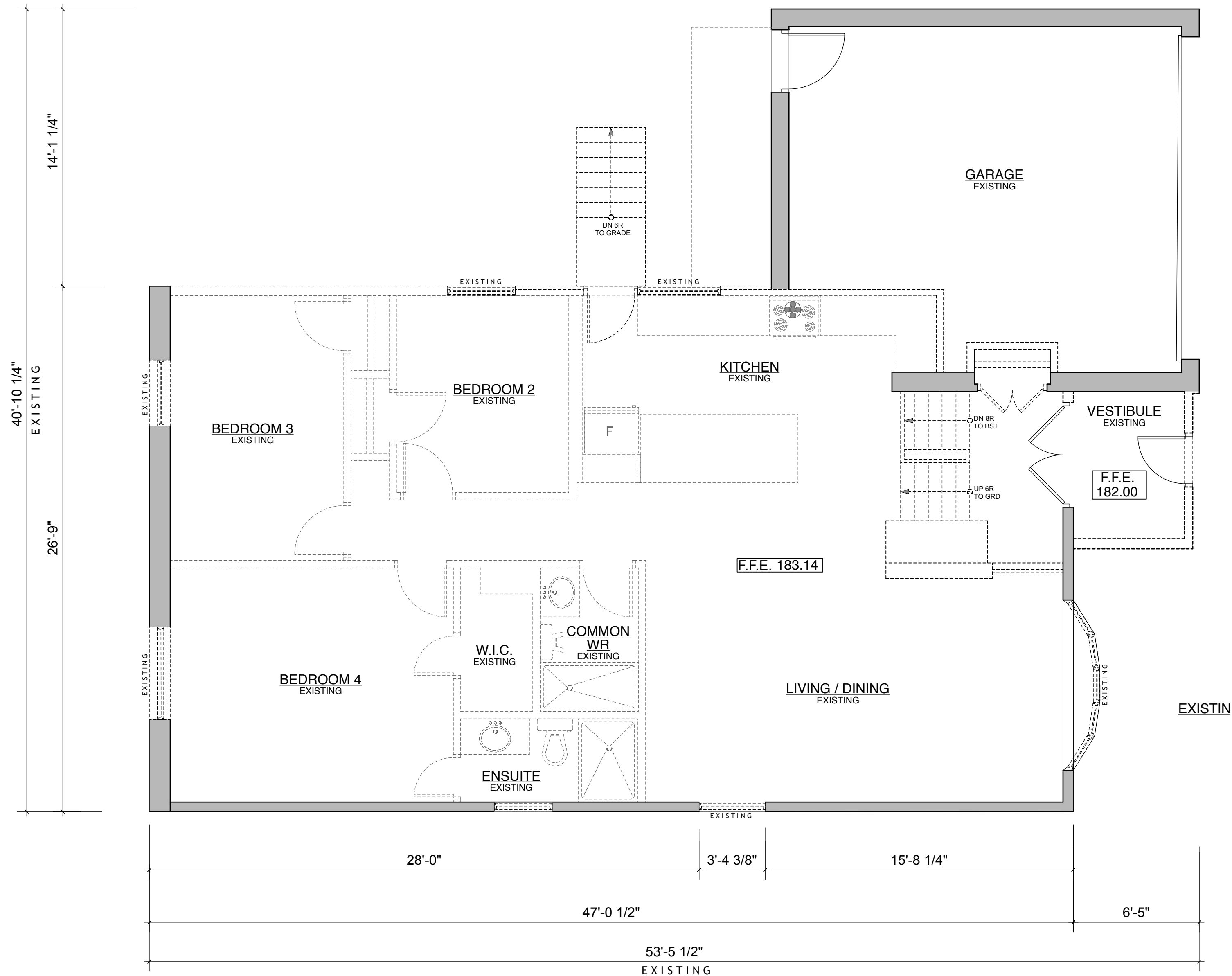


PROJECT NO.	23 - 023
PROJECT NAME	SINGLE-DETACHED DWELLING (ADDITION TO EXISTING BUILDING) 60 CHANT CRESCENT UNIONVILLE ON, L3R 1Y8
DRAWING TITLE	EXISTING BASEMENT FLOOR PLAN

DRAWN BY:	JY	CHECKED BY:	JY	APPROVED:	JY
SCALE	1 / 4" = 1' - 0"				
DRAWING NUMBER	A1.1				

Appendix C

File: 24.167749.000.00.MNV
Date: 5/9/2025
MM/DD/YYYY



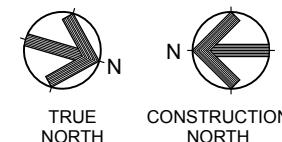
- DEMOLITION GENERAL NOTES:**
- CAREFULLY REMOVE WALL BOARD, STUDS, REDUNDANT ELECTRIC, PLUMBING FIXTURES, FITTINGS, ACCESSORIES, MECHICAL, PIPES, CAP PLUMBING BEHIND WALL OR BELOW FLOOR WHERE PLUMBING FIXTURES REMOVED.
 - DO NOT DISTURB EXISTING CONSTRUCTION BEYOND THAT NECESSARY FOR PERFORMANCE OF NEW WORK. WHERE EXISTING SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATION, MAKE GOOD TO MATCH EXISTING. CONTRACT TO COORDINATE WITH SITE STAFF REMOVAL OF ALL EQUIPMENT AND FURNITURE TO INVESTIGATE FLOOR BELOW EXISTING CONSTRUCTION ZONE PRIOR TO CUTTING (ASSUME WOOD FLOOR JOISTS)
 - SHOULD MATERIAL RESEMBLING SPRAY OR TROWEL-APPLIED ASBESTOS BE ENCOUNTER IN THE COURSE OF DEMOLITION, STOP WORK AND NOTIFY ARCHITECTS / ENGINEERS IMMEDIATELY. DO NOT PROCEED UNTIL WRITTEN INSTRUCTIONS HAVE BEEN RECEIVED FROM THE CONSULTANT
 - DURING DEMOLITION, TAKE MEASURES TO PREVENT DUST AND DIRT RISING AND MIGRATING TO OCCUPIED AREAS OR ADJACENT PROPERTIES


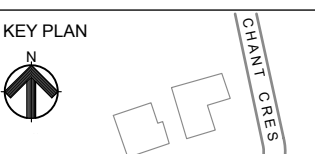
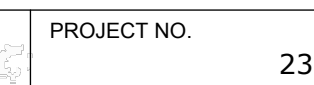
WALL LEGEND

- DEMO WALL
- ==== NEW WALL
- ===== EXISTING WALL

C-1
HSS COLUMN WITH NON-RATED FINISH
3mm ALUMINUM CLADDING ON
HSS COLUMN 5 x 5 x 1/4
(127.0 x 127.0 x 6.4)

1 GROUND DEMOLITION FLOOR PLAN
SCALE : 1/4" = 1'-0"
EXISTING FLOOR AREA : 1,288 ft2 (119.7m2)

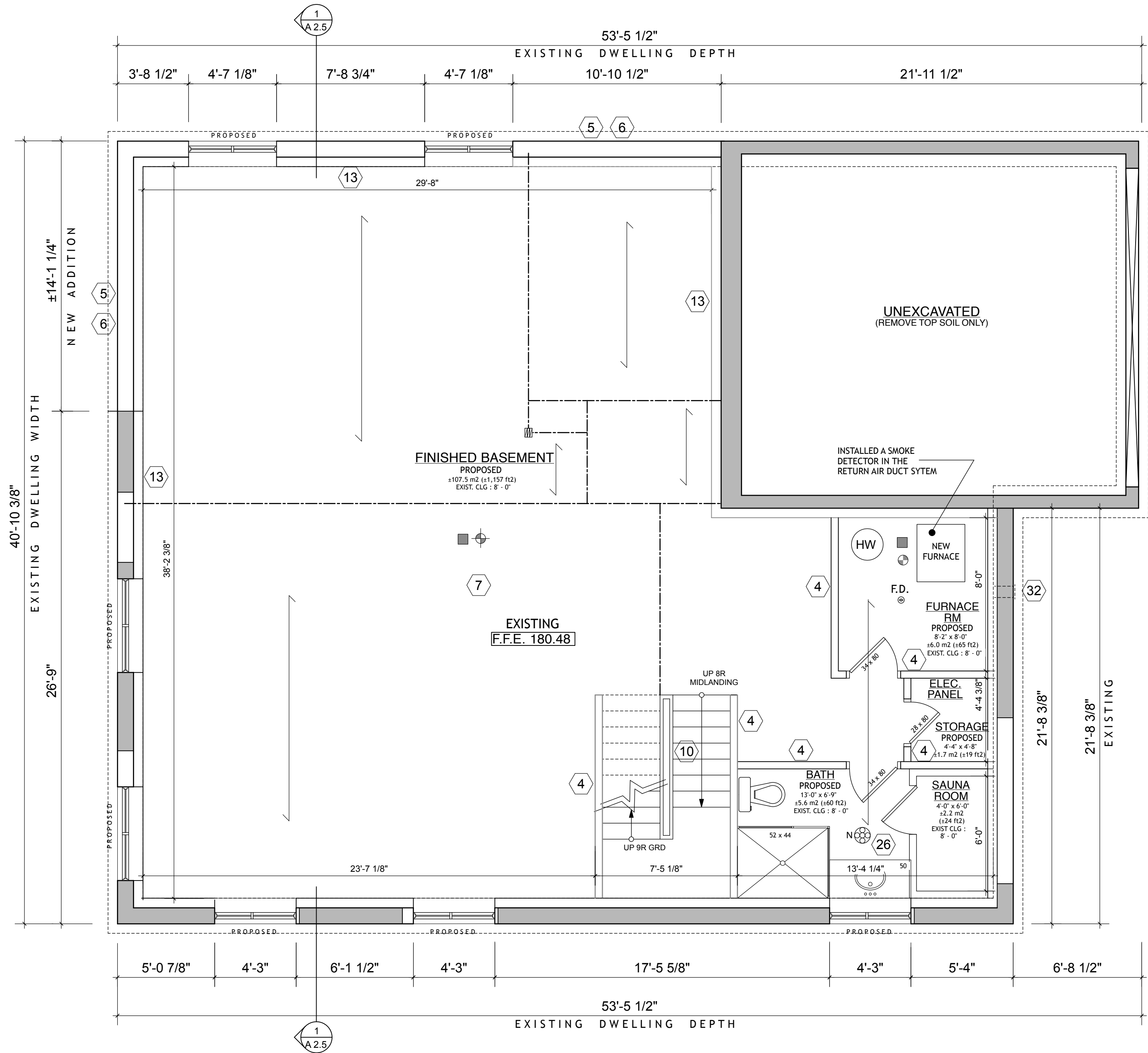


 <div><div>hj architects inc.</div><div>85 forest cove court</div><div>aurora, ontario</div><div>l4g 3g4</div><div>416.628.2168</div><div>416.887.6771</div><div>info@hjarch.ca</div></div>		REVISION / ISSUED TO:				GENERAL NOTES: <ul style="list-style-type: none">-Contractors to verify all site dimensions and report any discrepancies before commencing with work.-Dimensions shall take precedence over scale.-No variation of modification to work shall be implemented without prior written approval.-All plans, specifications and work is subject to Department of Labour, Fire Department and Building Department approval.-All previous issues of this drawing are superseded.-All prints of drawings and specifications are the property of hj architects inc. and must be returned upon project completion.	OWNER <div>Martin & Tiffany Ng</div> <div>60 chant crescent</div> <div>unionville, ontario</div> <div>l3r 1y8</div>	MECHANICAL <div>ENERSIM ENGINEERING</div> <div>8080 guelph line, unit #1508</div> <div>campbellville, ontario</div> <div>l0p 1b0</div>		PROJECT NO. <div>23 - 023</div>	DRAWN BY: <div>JY</div>	CHECKED BY: <div>JY</div>	APPROVED: <div>JY</div>		
		NO.		DATE.	BY.		ARCHITECTURAL <div>hj architects inc.</div> <div>85 forest cove court</div> <div>aurora, ontario</div> <div>l4g 3g4</div>	ELECTRICAL		PROJECT NAME <div>SINGLE-DETACHED DWELLING</div> <div>(ADDITION TO EXISTING BUILDING)</div> <div>60 CHANT CRESCENT,</div> <div>UNIONVILLE ON, L3R 1Y8</div>	SCALE <div>1 / 4" = 1' - 0"</div>				
		1.		ISSUED TO C OF A APPLICATION	06/26/24						JY	STRUCTURAL <div>OPTIMUM STRUCTURAL CORP</div> <div>39 kirk drive,</div> <div>thornhill, ontario</div> <div>l3t 3k8</div>	INTERIOR	DRAWING TITLE <div>EXISTING GROUND FLOOR PLAN</div>	DRAWING NUMBER <div>A1.2</div>
		2.		REISSUED TO C OF A APPLICATION	05/08/25						JY				

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Appendix C

File: 24.167749.000.00.MNV
Date: 5/9/2025
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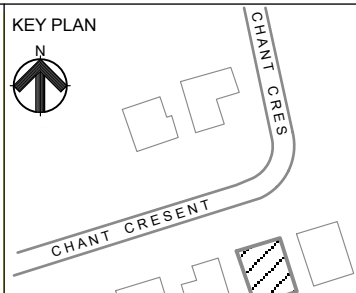
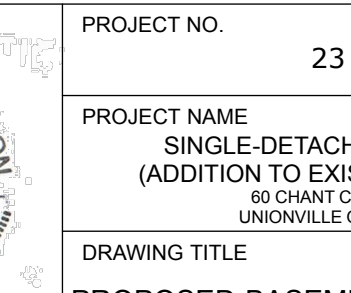


- WALL LEGEND**
- DEMO WALL
 - == NEW WALL
 - == EXISTING WALL
 - EXG EXISTING DOOR TO REMAIN

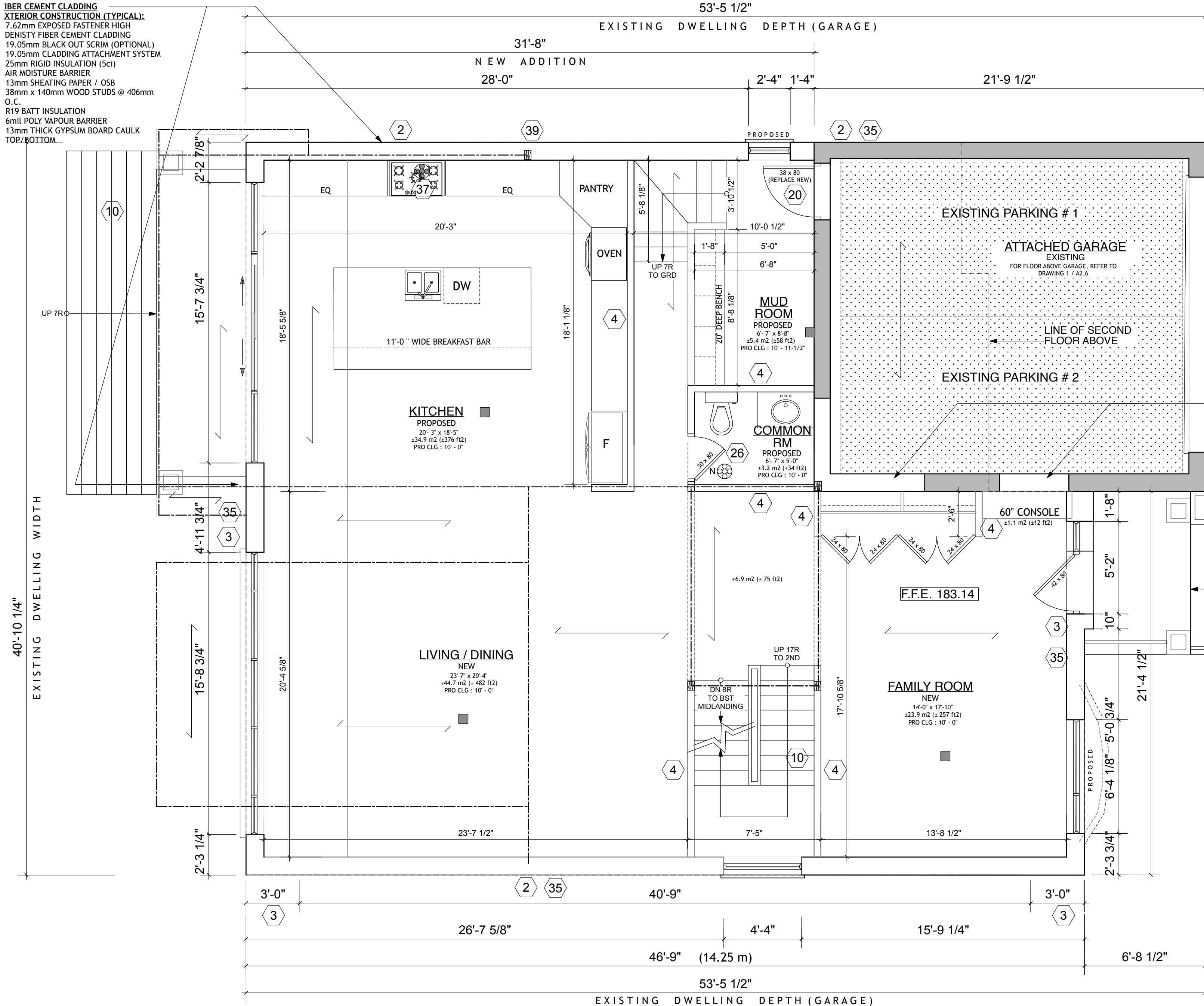
- CEILING LEGEND**
- JOIST (FLOOR OR CEILING) DIRECTION

- GENERAL NOTES:**
- SUPPLY AIR GRILL SHALL BE LOCATED ADJACENT TO THE EXTERIOR WALLS. SUCH OUTLETS SHALL BE LOCATED SO AS TO BATHE AT LEAST ONE EXTERIOR WALL OR WINDOW WITH WARM AIR IN CONFORMANCE WITH OBC.
 - SUPPLY & RETURN AIR GRILLES IN HABITABLE FINISHED BASEMENT SHALL BE LOCATED ON LOW WALLS WITH 6" ABOVE FINISHED FLOOR LEVEL.

1 PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1' - 0"
ADDITIONAL FLOOR AREA : 457 ft² (42.4 m²)
NEW TOTAL FLOOR AREA : 1,695 ft² (157.5 m²)
FOR STRUCTURAL DETAILS, REFER TO DWGS S1 - S7

 <div>hj architects inc. 85 forest cove court aurora, ontario l4g 3g4 416.628.2168 416.887.6771 info@hjarch.ca</div>		REVISION / ISSUED TO:			GENERAL NOTES: -Contractors to verify all site dimensions and report any discrepancies before commencing with work. -Dimensions shall take precedence over scale. -No variation of modification to work shall be implemented without prior written approval. -All plans, specifications and work is subject to Department of Labour, Fire Department and Building Department approval. -All previous issues of this drawing are superseded. -All prints of drawings and specifications are the property of hj architects inc. and must be returned upon project completion.	OWNER <i>Martin & Tiffany Ng</i> 60 chant crescent unionville, ontario l3r 1y8	MECHANICAL <i>ENERSIM ENGINEERING</i> 8080 guelph line, unit #1508 campbellville, ontario l0p 1b0		PROJECT NO. <div>23 - 023</div>	DRAWN BY: JY	CHECKED BY: JY	APPROVED: JY
		NO.	DATE.	BY.					PROJECT NAME SINGLE-DETACHED DWELLING (ADDITION TO EXISTING BUILDING) 60 CHANT CRESCENT, UNIONVILLE ON, L3R 1Y8	SCALE 1 / 4" = 1' - 0"		
		1.	ISSUED TO C OF A APPLICATION	06/26/24	JY				DRAWING TITLE PROPOSED BASEMENT FLOOR PLAN	DRAWING NUMBER <div>A1.3</div> <div>Copyright (c) 2012 HJ ARCHITECTS INC.</div>		
		2.	REISSUED TO C OF A APPLICATION	05/08/25	JY							

IBER CEMENT CLADDING
XTERIOR CONSTRUCTION (TYPICAL):
7.62mm EXPOSED FASTENER HIGH
DENISTY FIBER CEMENT CLADDING
19.05mm BLACK OUT SCRIM (OPTIONAL)
19.05mm CLADDING ATTACHMENT SYSTEM
25mm RIGID INSULATION (5ci)
AIR MOISTURE BARRIER
13mm SHEATING PAPER / OSB
38mm x 140mm WOOD STUDS @ 406mm
O.C.
R19 BATT INSULATION
6mil POLY VAPOUR BARRIER
13mm THICK GYPSUM BOARD CAULK
TOP/BOTTOM



Appendix C

File: 24.167749.000.00.MNV
Date: 5/9/2025
MM/DD/YYYY

2 x 6 EXTERIOR FIRE SEPARATION:
(OBC SB-3 W4a)
(1 HOUR FRR REQUIRED 1 HOUR FRR
PROVIDED)
(50 STC REQUIRED, 51 STC PROVIDED)
- 19mm TYPE X DRYWALL TAPED & SANDED
- 6mil POLY VAPOUR BARRIER
- 38mm x 140mm WOOD STUDS @ 406mm
O.C. c/w R-24 ROXUL INSULATION
- RESILIENT CHANNELS @ 610 o.c.
- 2 LAYERS OF 19mm TYPE X DRYWALL TAPED &
SANDED

WALL LEGEND

- DEMO WALL
- ===== NEW WALL
- ===== EXISTING WALL
- (EXG) EXISTING DOOR TO REMAIN

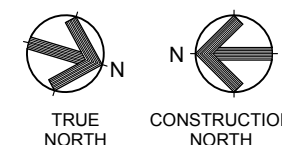
CEILING LEGEND

- JOIST (FLOOR OR CEILING)
DIRECTION

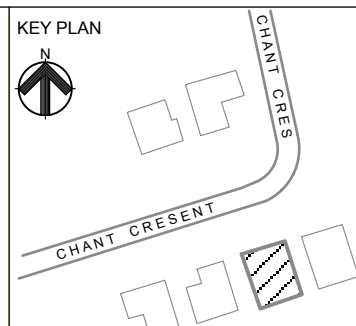
GENERAL NOTES:

- SUPPLY AIR GRILL SHALL BE LOCATED ADJACENT TO THE EXTERIOR WALLS. SUCH OUTLETS SHALL BE LOCATED SO AS TO BATHE AT LEAST ONE EXTERIOR WALL OR WINDOW WITH WARM AIR IN CONFORMANCE WITH OBC.
- SUPPLY & RETURN AIR GRILLES IN HABITABLE FINISHED BASEMENT SHALL BE LOCATED ON LOW WALLS WITH 6" ABOVE FINISHED FLOOR LEVEL.

1 PROPOSED GROUND FLOOR PLAN
SCALE: 1/4" = 1' - 0"
ADDITIONAL FLOOR AREA : 455.6 ft² (42.3 m²)
NEW TOTAL FLOOR AREA : 1,689 ft² (156.9 m²)
EXISTING GARAGE AREA : 352 ft² (32.7 m²)
FOR STRUCTURAL DETAILS, REFER TO
DWGS S1 - S7



hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4
416.628.2168
416.887.6771
info@hjarch.ca



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1.	ISSUED TO C OF A APPLICATION	06/26/24	JY
2.	REISSUED TO C OF A APPLICATION	05/08/25	JY

GENERAL NOTES:
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OWNER
Martin & Tiffany Ng
60 chant crescent
aurora, ontario
l3r 1y8

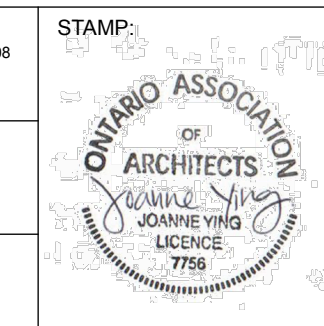
ARCHITECTURAL
hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4

STRUCTURAL
OPTIMUM STRUCTURAL CORP.
39 kirk drive,
thornhill, ontario
l3r 3k8

MECHANICAL
ENERSIM ENGINEERING
8080 guelph line, unit #1508
campbellville, ontario
l0p 1b0

ELECTRICAL

INTERIOR



PROJECT NO.
23 - 023

PROJECT NAME
**SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)**
60 CHANT CRESCENT,
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
PROPOSED GROUND FLOOR PLAN

DRAWN BY:
JY

CHECKED BY:
JY

APPROVED:
JY

SCALE
1 / 4" = 1' - 0"

DRAWING NUMBER
A1.4





FIBER CEMENT CLADDING
EXTERIOR CONSTRUCTION (TYPICAL):

- 7.62mm EXPOSED FASTENER HIGH DENSITY FIBER CEMENT CLADDING
- 19.05mm BLACK OUT SCRIM (OPTIONAL)
- 19.05mm CLADDING ATTACHMENT SYSTEM
- 25mm RIGID INSULATION (Sci)
- AIR MOISTURE BARRIER
- 13mm SHEATING PAPER / OSB
- 38mm x 140mm WOOD STUDS @ 406mm O.C.
- R19 BATT INSULATION
- 6mil POLY VAPOUR BARRIER
- 13mm THICK GYPSUM BOARD CAULK TOP/BOTTOM

Appendix C

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Date: 5/9/2025
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WALL LEGEND

 DEMO WALL
 NEW WALL
 EXISTING WALL
 EXISTING DOOR TO REMAIN


CEILING LEGEND


JOIST (FLOOR OR CEILING)
DIRECTION

GENERAL NOTES:

1. SUPPLY AIR GRILL SHALL BE LOCATED ADJACENT TO THE EXTERIOR WALLS. RETURN AIR GRILLES SHALL BE LOCATED SO AS TO BATHE AT LEAST ONE EXTERIOR WALL OR WINDOW WITH WARM AIR IN CONFORMANCE WITH OBC.
2. SUPPLY & RETURN AIR GRILLES IN HABITABLE FINISHED BASEMENT SHALL BE LOCATED ON LOW WALLS WITH 6" ABOVE FINISHED FLOOR LEVEL.

1 **PROPOSED SECOND FLOOR PLAN**
 SCALE : 1/4" = 1' - 0"
NEW FLOOR AREA : 1,795 ft2 (166.8 m2)
 FOR TRUSS DETAILS, REFER TO SHOP DRAWINGS
 FOR FLOOR JOIST DETAILS, REFER TO SHOP DRAWINGS

 **TRUE NORTH**

 **CONSTRUCTION NORTH**



hj architects inc.
 85 forest crove court
 aurora, ontario
 l4g 3g4
 416.628.2168
 416.887.6771
 info@hjarch.ca

[illegible]


GENERAL NOTES:

- Contractors to verify all site dimensions and report any discrepancies before commencing with work.
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- No variation of modification to work shall be implemented without prior written approval.
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- All previous issues of this drawing are superseded.
- All prints of drawings and specifications are the property of h1 architects inc. and must be returned upon project completion.

OWNER	<i>Martin & Tiffany Ng</i> 60 chant crescent unionville, ontario l3r 1y8
ARCHITECTURAL	<i>hj architects inc.</i> 85 forest cove court aurore, ontario l4g 3g4
STRUCTURAL	<i>OPTIMUM STRUCTURAL CORP.</i> 39 kirk drive, thornhill, ontario l3t 3k8

MECHANICAL	ENERSIM ENGINEERING 8080 guelph line, unit #1508 campbellville, ontario l0p 1b0
ELECTRICAL	
INTERIOR	

STAMP:



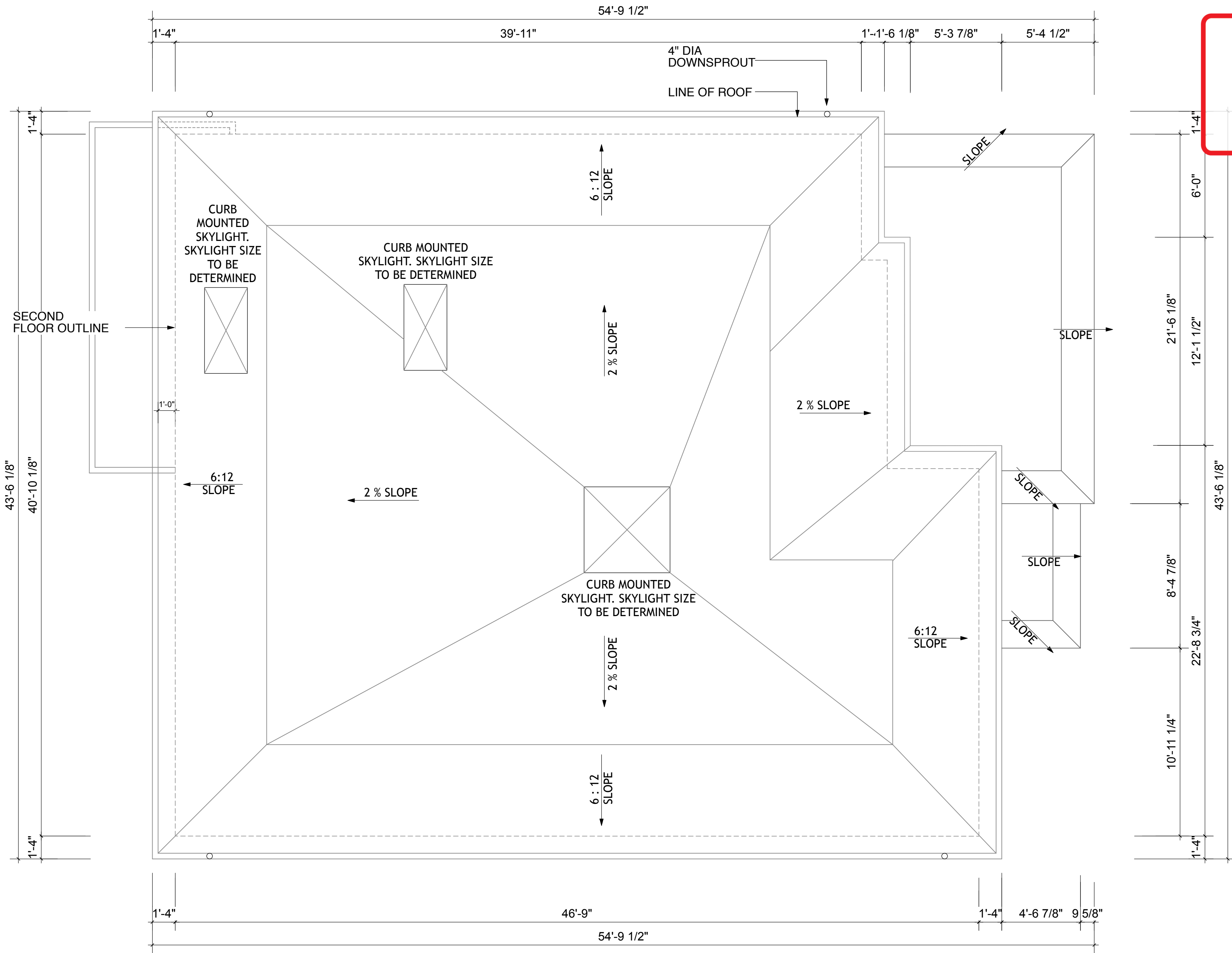
ONTARIO ASSOCIATION
OF
ARCHITECTS
Joanne Ying
JOANNE YING
LICENCE
7756

PROJECT NO.	23 - 023
PROJECT NAME	SINGLE-DETACHED DWELLING (ADDITION TO EXISTING BUILDING) 60 CHANT CRESCENT, UNIONVILLE ON, L3R 1Y8
DRAWING TITLE	PROPOSED 2nd FLOOR PLAN

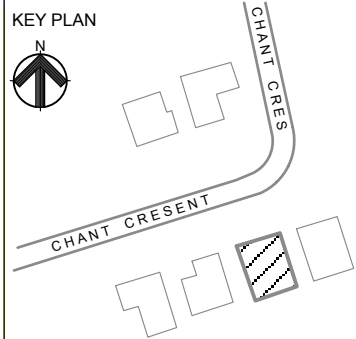
DRAWN BY: JY	CHECKED BY: JY	APPROVED: JY
SCALE 1 / 4" = 1' - 0"		
DRAWING NUMBER A1.5		
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Appendix C

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Date: 5/9/2025
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1 PROPOSED ROOF FLOOR PLAN
SCALE : 1 / 4" = 1' - 0"
FOR TRUSS DETAILS, REFER TO SHOP
DRAWINGS



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- All previous issues of this drawing are superseded.
- All prints of drawings and specifications are the property of hj architects inc. and must be returned upon project completion.

OWNER	Martin & Tiffany Ng 60 chant crescent unionville, ontario l3r 1y8
ARCHITECTURAL	hj architects inc. 85 forest crove court aurora, ontario l4g 3g4
STRUCTURAL	OPTIMUM STRUCTURAL CORP. 39 kirk drive, thornhill, ontario l3t 3k8

MECHANICAL	ENERSIM ENGINEERING 8080 guelph line, unit #1508 campbellville, ontario l0p 1b0
ELECTRICAL	
INTERIOR	



PROJECT NO.	23 - 023
PROJECT NAME	SINGLE-DETACHED DWELLING (ADDITION TO EXISTING BUILDING) 60 CHANT CRESCENT UNIONVILLE ON, L3R 1Y8
DRAWING TITLE	PROPOSED ROOF FLOOR PLAN

DRAWN BY:	JY	CHECKED BY:	JY	APPROVED:	JY
SCALE	1 / 4" = 1' - 0"				
DRAWING NUMBER	A1.6				

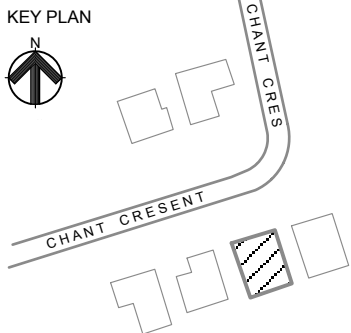
Appendix C

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Date: 5/9/2025
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1 NORTH (FRONT YARD) ELEVATION
SCALE: 1/4" = 1' - 0"
ELEVATION LABEL IS BASED ON THE CARDINAL
ORIENTATION (CONSTRUCTION NORTH)

hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4
416.628.2168
416.887.6771
info@hjarch.ca



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OWNER
Martin & Tiffany Ng
60 chant crescent
unionville, ontario
l3r 1y8

ARCHITECTURAL
hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4

STRUCTURAL
OPTIMUM STRUCTURAL CORP.
39 kirk drive,
thornhill, ontario
l3t 3k8

MECHANICAL
ENERSIM ENGINEERING
8080 guelph line, unit #1508
campbellville, ontario
l0p 1b0

ELECTRICAL

INTERIOR



PROJECT NO.
23 - 023

PROJECT NAME
**SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)**
60 CHANT CRESCENT
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
**NORTH ELEVATION
(CHANT CRESCENT)**

DRAWN BY: JY	CHECKED BY: JY	APPROVED: JY
SCALE AS NOTED		DRAWING NUMBER A2.1
DRAWING NUMBER		

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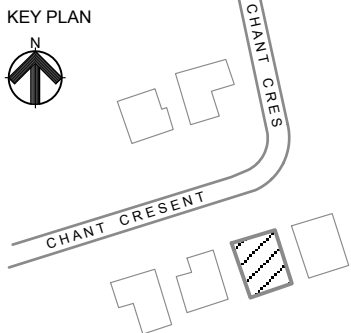
Appendix C

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Date: 5/9/2025
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1 SOUTH (REAR YARD) ELEVATION
SCALE: 1/4" = 1' - 0"
ELEVATION LABEL IS BASED ON THE CARDINAL
ORIENTATION (CONSTRUCTION NORTH)

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85 forest cove court
aurora, ontario
l4g 3g4
416.628.2168
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OWNER	Martin & Tiffany Ng 60 chant crescent unionville, ontario l3r 1y8
ARCHITECTURAL	hj architects inc. 85 forest cove court aurora, ontario l4g 3g4
STRUCTURAL	OPTIMUM STRUCTURAL CORP. 39 kirk drive, thornhill, ontario l3t 3k8

MECHANICAL	ENERSIM ENGINEERING 8080 guelph line, unit #1508 campbellville, ontario l0p 1b0
ELECTRICAL	
INTERIOR	



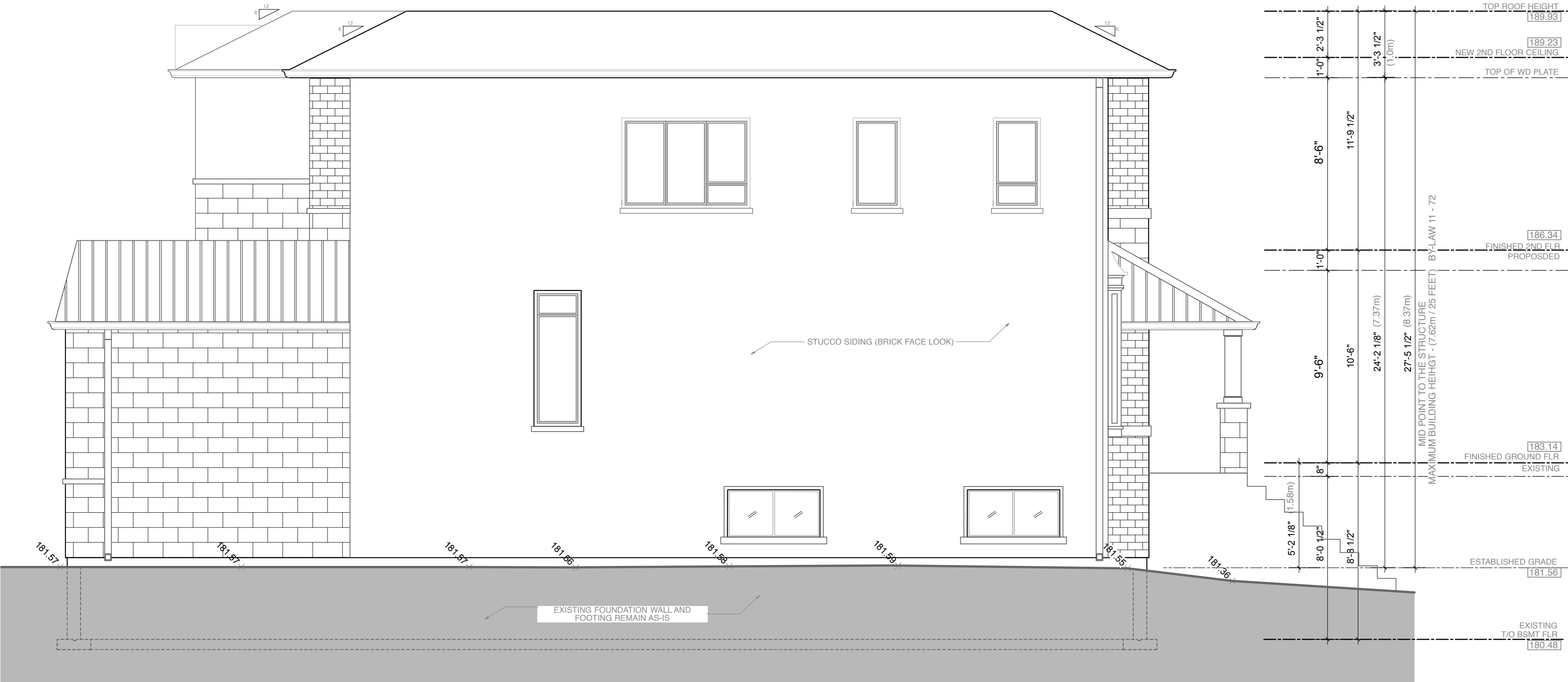
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PROJECT NAME	SINGLE-DETACHED DWELLING (ADDITION TO EXISTING BUILDING) 60 CHANT CRESCENT UNIONVILLE ON, L3R 1Y8
DRAWING TITLE	SOUTH ELEVATION (REAR YARD)

DRAWN BY:	JY	CHECKED BY:	JY	APPROVED:	JY
SCALE	AS NOTED				
DRAWING NUMBER	A2.2				

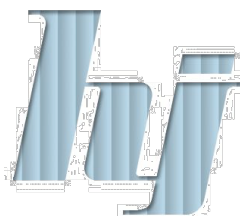
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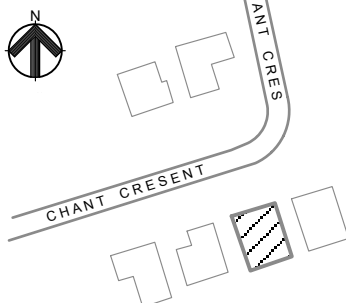


1 WEST (INTERIOR SIDE YARD) ELEVATION
SCALE : 1/4" = 1' - 0"
ELEVATION LABEL IS BASED ON THE CARDINAL ORIENTATION
(CONSTRUCTION NORTH)



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aurora, ontario
l4g 3g4
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KEY PLAN



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OWNER

Martin & Tiffany Ng
60 chant crescent
unionville, ontario
l3r 1y8

MECHANICAL

ENERSIM ENGINEERING
8080 guelph line, unit #1508
campbellville, ontario
l0p 1b0

ARCHITECTURAL

hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4

ELECTRICAL

STRUCTURAL

OPTIMUM STRUCTURAL CORP.
39 kirk drive,
thornhill, ontario
l3t 3k8

INTERIOR

STAMP:



PROJECT NO.

23 - 023

PROJECT NAME

**SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)**
60 CHANT CRESCENT
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE

INTERIOR SIDE ELEVATION

DRAWN BY:

JY

CHECKED BY:

JY

APPROVED:

JY

SCALE

AS NOTED

DRAWING NUMBER

A2.3

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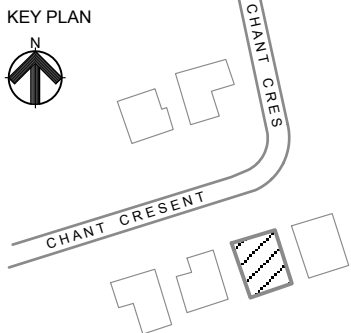


1 EAST (INTERIOR SIDE YARD) ELEVATION
SCALE: 1/4" = 1'-0"
ELEVATION LABEL IS BASED ON THE CARDINAL ORIENTATION
(CONSTRUCTION NORTH)



hj architects inc.
85 forest cove court
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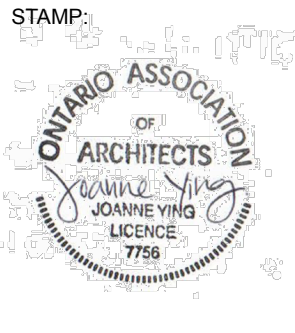


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OWNER	Martin & Tiffany Ng 60 chant crescent unionville, ontario l3r 1y8	MECHANICAL	ENERSIM ENGINEERING 8080 guelph line, unit #1508 campbellville, ontario l0p 1b0
ARCHITECTURAL	hj architects inc. 85 forest cove court aurora, ontario l4g 3g4	ELECTRICAL	
STRUCTURAL	OPTIMUM STRUCTURAL CORP. 39 kirk drive, thornhill, ontario l3t 3k8	INTERIOR	



PROJECT NO.	23 - 023
PROJECT NAME	SINGLE-DETACHED DWELLING (ADDITION TO EXISTING BUILDING) 60 CHANT CRESCENT UNIONVILLE ON, L3R 1Y8
DRAWING TITLE	INTERIOR SIDE ELEVATION

DRAWN BY:	JY	CHECKED BY:	JY	APPROVED:	JY
SCALE	AS NOTED				
DRAWING NUMBER	A2.4				

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Appendix C

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Appendix C

File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY



Appendix C

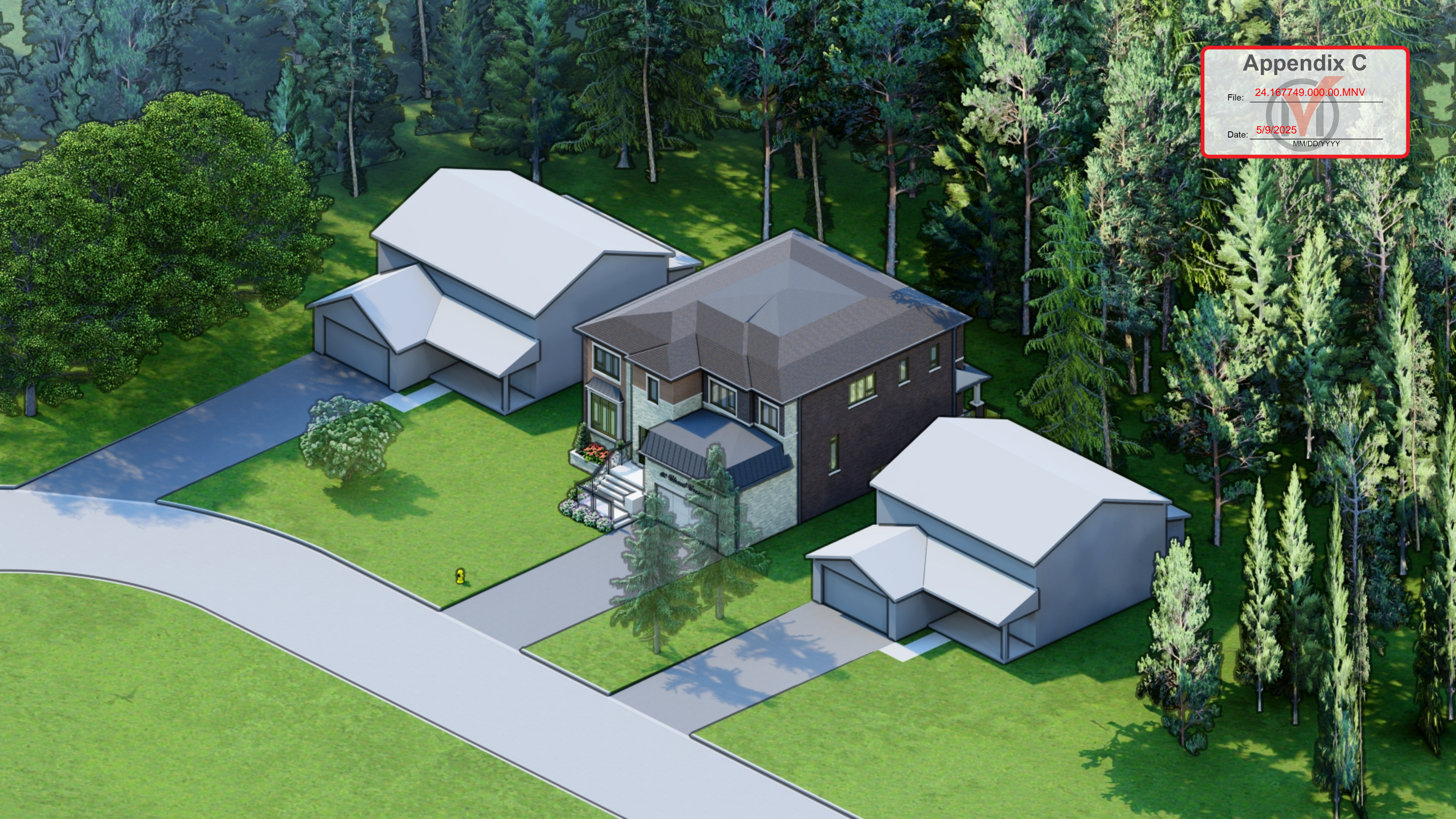
File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY

Appendix C

File: 24.167749.000.00.MNV

Date: 5/9/2025
MM/DD/YYYY



APPENDIX “D”

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/032/24

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix C’ to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or their designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a Qualified Tree Expert in accordance with the City’s Tree Assessment and Preservation Plan (TAPP) Requirements (2024) as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Tree Preservation By-law Administrator that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan.
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site, neighbouring properties, and street trees, in accordance with the City’s Streetscape Manual (2009) as amended and inspected by City Staff to the satisfaction of the Tree Preservation By-law Administrator; and
5. If required as per Tree Preservation review, tree securities and/or tree fees be paid to the City and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation By-law Administrator.
6. Submission of revised Plans that illustrate the screening of the front steps with planters or plantings, to the satisfaction of the Director of Planning and Urban Design or their designate.

CONDITIONS PREPARED BY:



Barton Leung, Senior Planner, Planning and Urban Design Department