

PART 1:
PLAN OF PART OF LOT 8
SOUTH OF COLBORNE STREET
REGISTERED PLAN 71
CITY OF MARKHAM

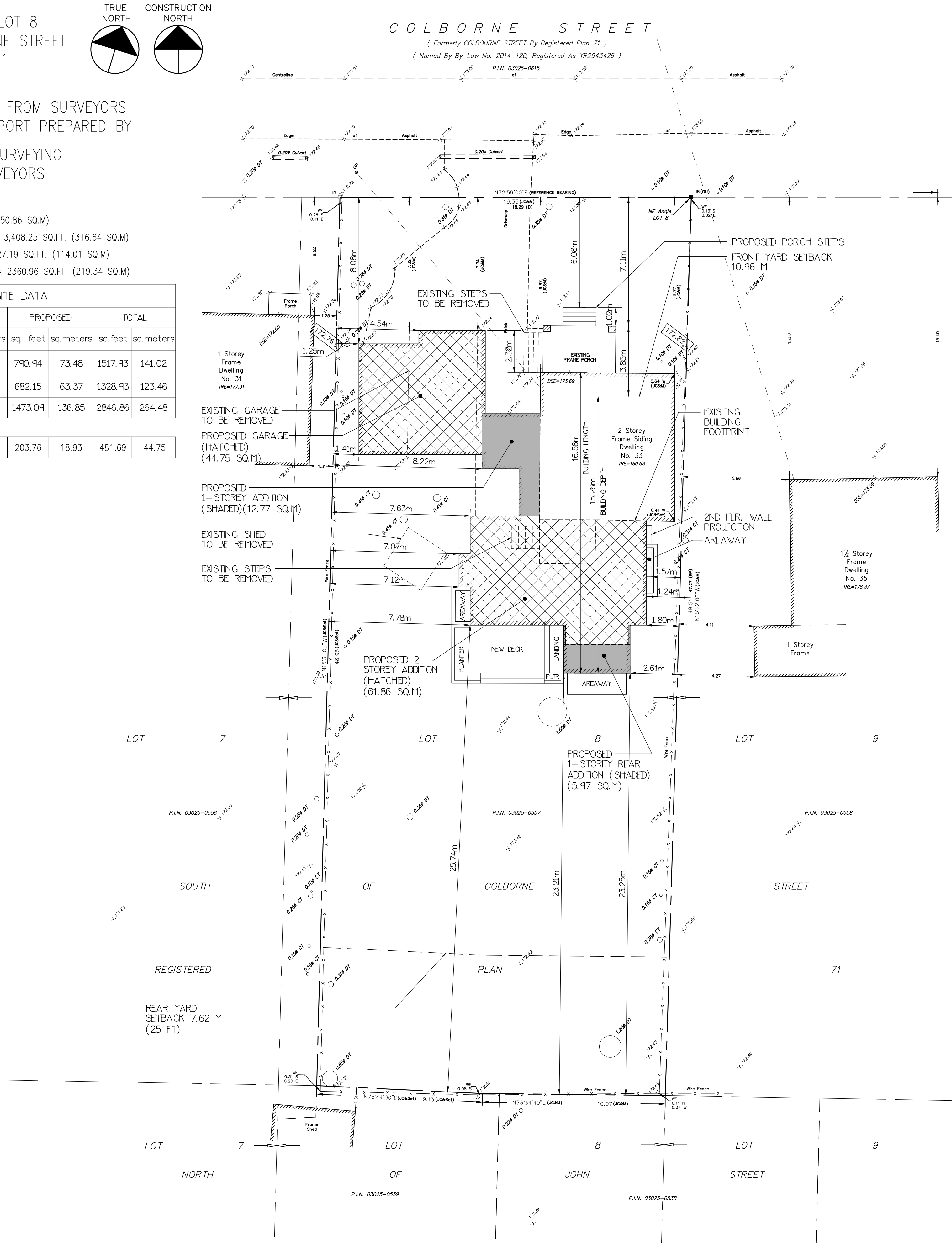
INFORMATION TAKEN FROM SURVEYORS
REAL PROPERTY REPORT PREPARED BY

YOUNG & YOUNG SURVEYING
ONTARIO LAND SURVEYORS
JULY 26, 2021

SITE AREA = 10234.97 SQ.FT. (950.86 SQ.M)
ALLOWABLE COVERAGE (33.3%) = 3,408.25 SQ.FT. (316.64 SQ.M)
EXISTING COVERAGE (12%) = 1227.19 SQ.FT. (114.01 SQ.M)
PROPOSED COVERAGE (23.07%) = 2360.96 SQ.FT. (219.34 SQ.M)

SITE DATA						
	EXISTING		PROPOSED		TOTAL	
	sq.feet	sq.meters	sq. feet	sq.meters	sq.feet	sq.meters
GROUND FLOOR	726.99	67.54	790.94	73.48	1517.93	141.02
SECOND FLOOR	646.78	60.09	682.15	63.37	1328.93	123.46
TOTAL	1373.77	127.63	1473.09	136.85	2846.86	264.48

GARAGE	277.92	25.82	203.76	18.93	481.69	44.75
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ONTARIO ASSOCIATION
of
ARCHITECTS
Thomas L. Spragge
THOMAS L. SPRAGGE
LICENSE
2733

The architect noted above has exercised responsible control with respect to design activities of this project. The architect's seal number is the architect's BCDN

DRAWINGS MUST NOT BE SCALED.
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.

TRUE NORTH CONSTRUCTION NORTH

05	MAY. 07/25	COA SUBMISSION	
04	APR. 08/25	HERITAGE REVIEW	
03	APR. 07/25	ZONING REVIEW	
02	FEB 3 /25	ZONING REVIEW	
01	NOV.19/24	ZONING REVIEW	

REF.	DATE	DESCRIPTION	CH'D
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REVISIONS

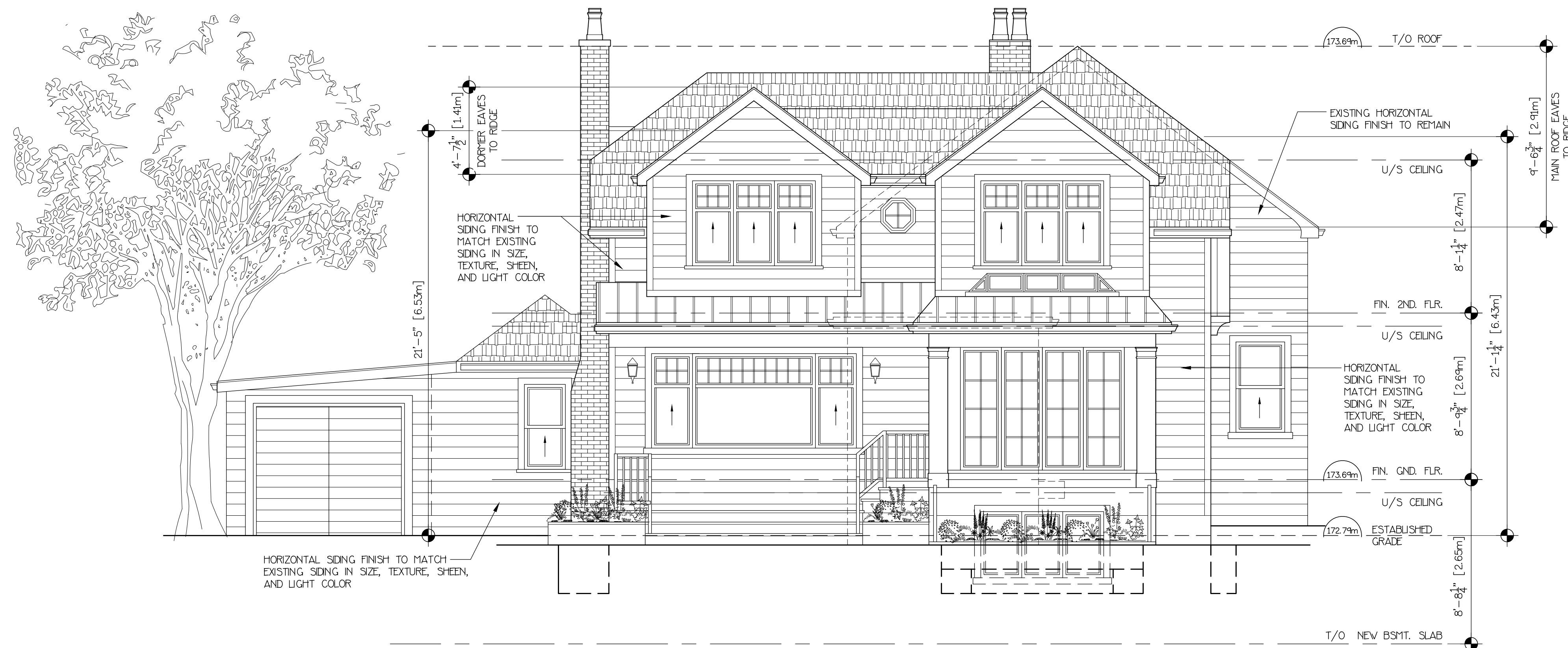
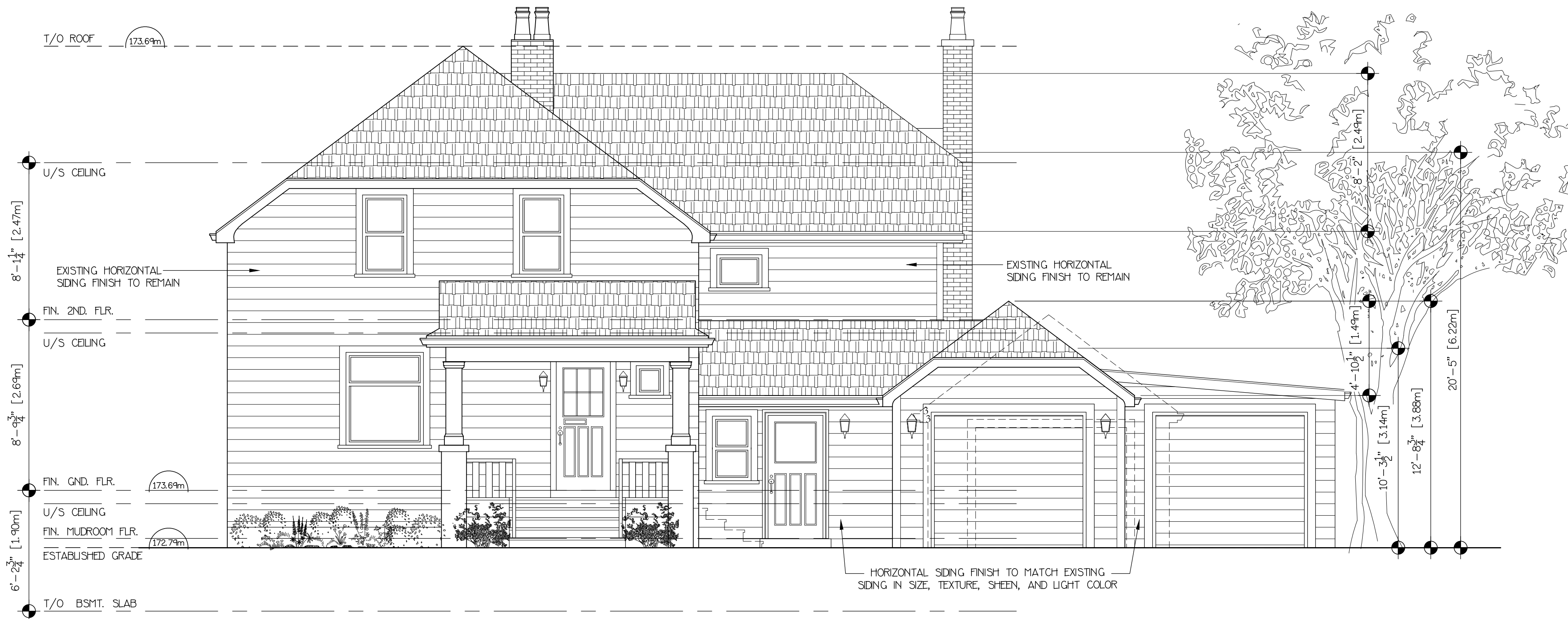
SPRAGGE + COMPANY
ARCHITECTS LTD.

156 DUNCAN MILL ROAD
SUITE 17a
TORONTO, ONTARIO
PHONE:(416) 955-1441
FAX:(416) 955-1442

PROPOSED ADDITION/RENOVATION
ADAMOVSKY RESIDENCE
33 COLBORNE STREET
THORNHILL, ONTARIO

PROPOSED SITE PLAN

DRAWN: V.C.B. DATE: NOV. 2024	CHECKED:
SCALE: 1:125 METRIC	JOB NO.: 24-2282
ISSUED:	SHEET NO.: A-01



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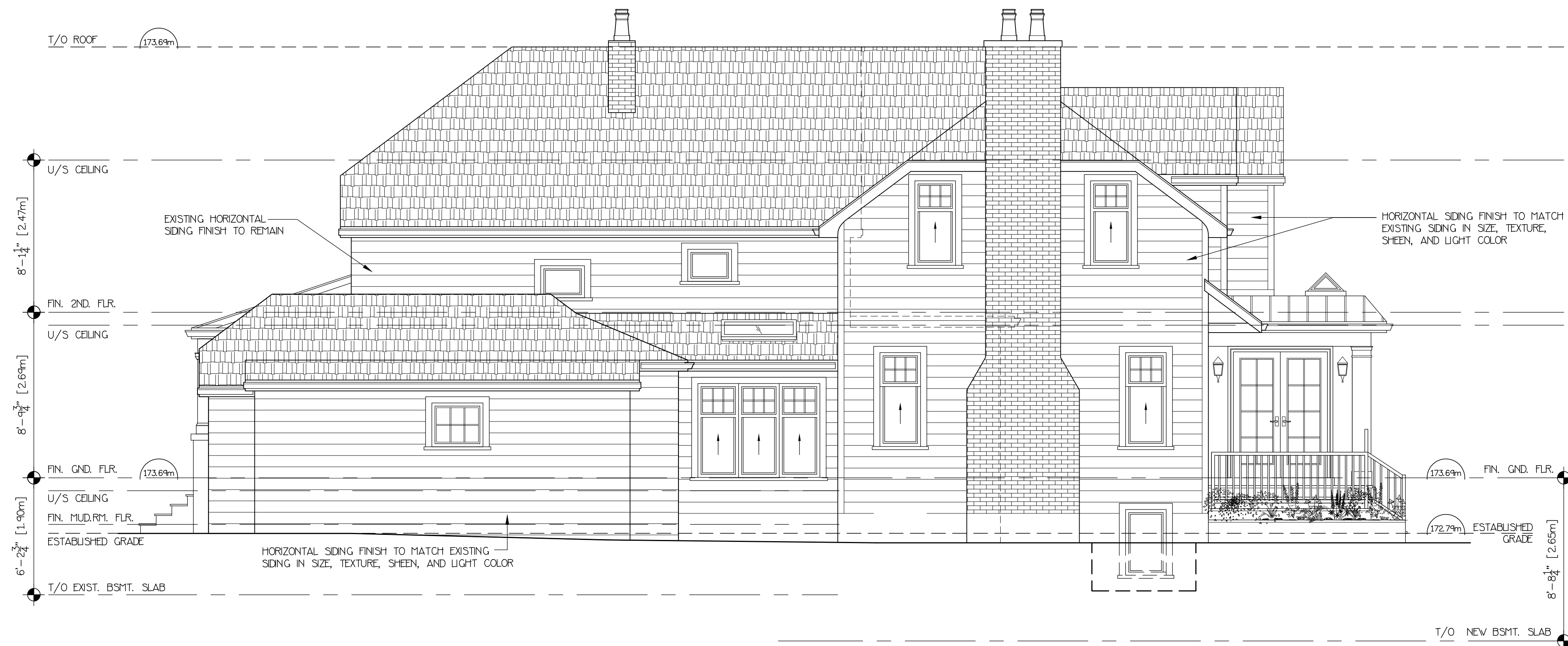
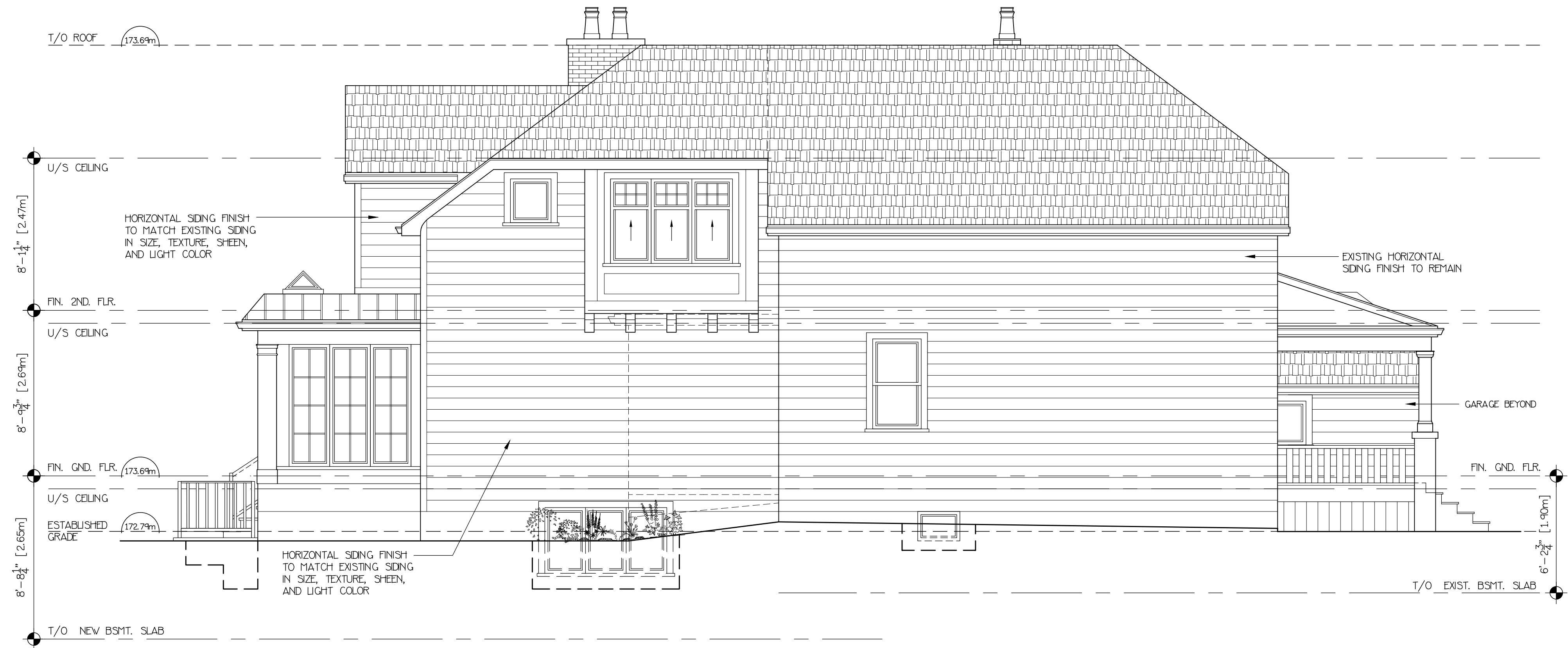
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PROPOSED ADDITION/RENOVATION
ADAMOVSKY RESIDENCE

33 COLBORNE STREET
THORNHILL, ONTARIO

**PROPOSED NORTH &
SOUTH ELEVATIONS**

DRAWN: V.C.B	CHECKED:
DATE: NOV. 2024	
SCALE: 1/4"=1'-0"	JOB NO.: 24 2282
ISSUED:	SHEET NO.: A 06



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01	NOV.19/24	ZONING REVIEW	
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PROPOSED ADDITION/RENOVATION
ADAMOVSKY RESIDENCE

33 COLBORNE STREET
THORNHILL, ONTARIO

PROPOSED EAST &
WEST ELEVATIONS

DRAWN: V.C.B	CHECKED:
DATE: NOV. 2024	
SCALE: 1/4"=1'-0"	JOB NO.: 24 2282
ISSUED:	SHEET NO.: A 07