PART 1: PLAN OF PART OF LOT 8 SOUTH OF COLBRONE STREET REGISTERED PLAN 71 CITY OF MARKHAM

TRUE CONSTRUCTION NORTH NORTH

PROPOSED 1—STOREY ADDITION

EXISTING SHED —— TO BE REMOVED

EXISTING STEPS TO BE REMOVED

LOT

P.I.N. 03025-0556 (1)

SOUTH

REGISTERED

REAR YARD ———— SETBACK 7.62 M

NORTH

(25 FT)

LOT

(SHADED)(12.77 SQ.M)

7.63m

7.07m

7.12m

7.78m

PROPOSED 2-STOREY ADDITION

(HATCHED) (61.86 SQ.M)

LOT

NEW DECK

P.I.N. 03025-0557

COLBORNE

PLAN

N75*44'00"E(JC&Set) 9.13 (JC&Set) N73*34'40"E (JC&M)

LOT

OF

P.I.N. 03025-0539

AREAWAY \

ADDITION (SHADED) (5.97 SQ.M)

10.07 (JC&M) 0.11 N 0.34 W

P.I.N. 03025-0538

JOHN

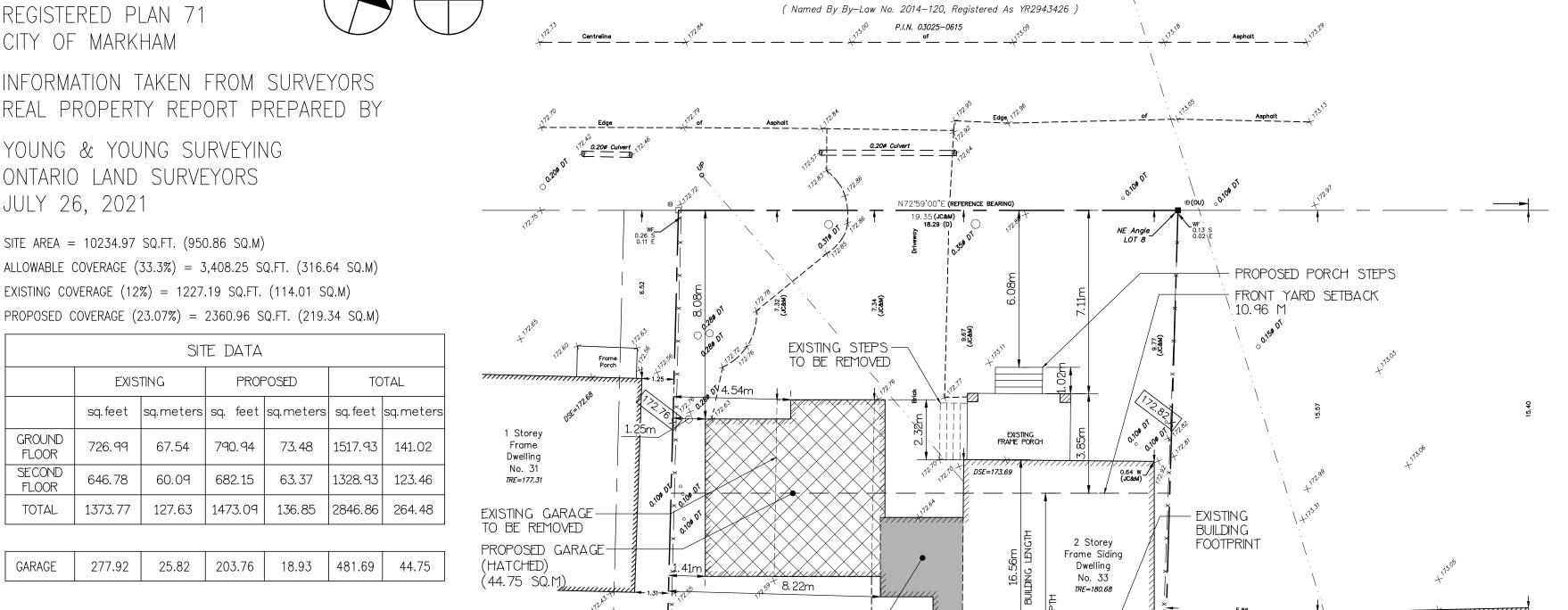
INFORMATION TAKEN FROM SURVEYORS REAL PROPERTY REPORT PREPARED BY

YOUNG & YOUNG SURVEYING ONTARIO LAND SURVEYORS JULY 26, 2021

SITE AREA = 10234.97 SQ.FT. (950.86 SQ.M) ALLOWABLE COVERAGE (33.3%) = 3,408.25 SQ.FT. (316.64 SQ.M)EXISTING COVERAGE (12%) = 1227.19 SQ.FT. (114.01 SQ.M)PROPOSED COVERAGE (23.07%) = 2360.96 SQ.FT. (219.34 SQ.M)

SITE DATA						
	EXISTING		PROPOSED		TOTAL	
	sq.feet	sq.meters	sq. feet	sq.meters	sq.feet	sq.meters
GROUND FLOOR	726.99	67.54	790.94	73.48	1517.93	141.02
SECOND FLOOR	646.78	60.09	682.15	63.37	1328.93	123.46
TOTAL	1373.77	127.63	1473.09	136.85	2846.86	264.48





2ND FLR. WALL 5 PROJECTION

LOT

LOT

STREET

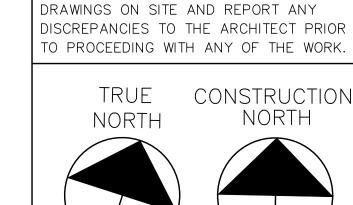
1½ Storey Frame Dwelling No. 35

TRE=178.37

1 Storey Frame

P.I.N. 03025-0558

STREET





05 MAY. 07/25 COA SUBMISSION

04 APR. 08/25 HERITAGE REVIEW

03 APR. 07/25 ZONING REVIEW

02 FEB 3 /25 ZONING REVIEW 01 NOV.19/24 ZONING REVIEW

The architect noted above has exercised

responsible control with respect to design

activities of this project.
The architect's seal number is the

DRAWINGS MUST NOT BE SCALED.

CONTRACTOR MUST CHECK AND VERIFY

ALL DIMENSIONS, SPECIFICATIONS AND

architect's BCDN

REF.	DATE
DEVI	CIUNIC

SPRAGGE + COMPANY ARCHITECTS LTD.

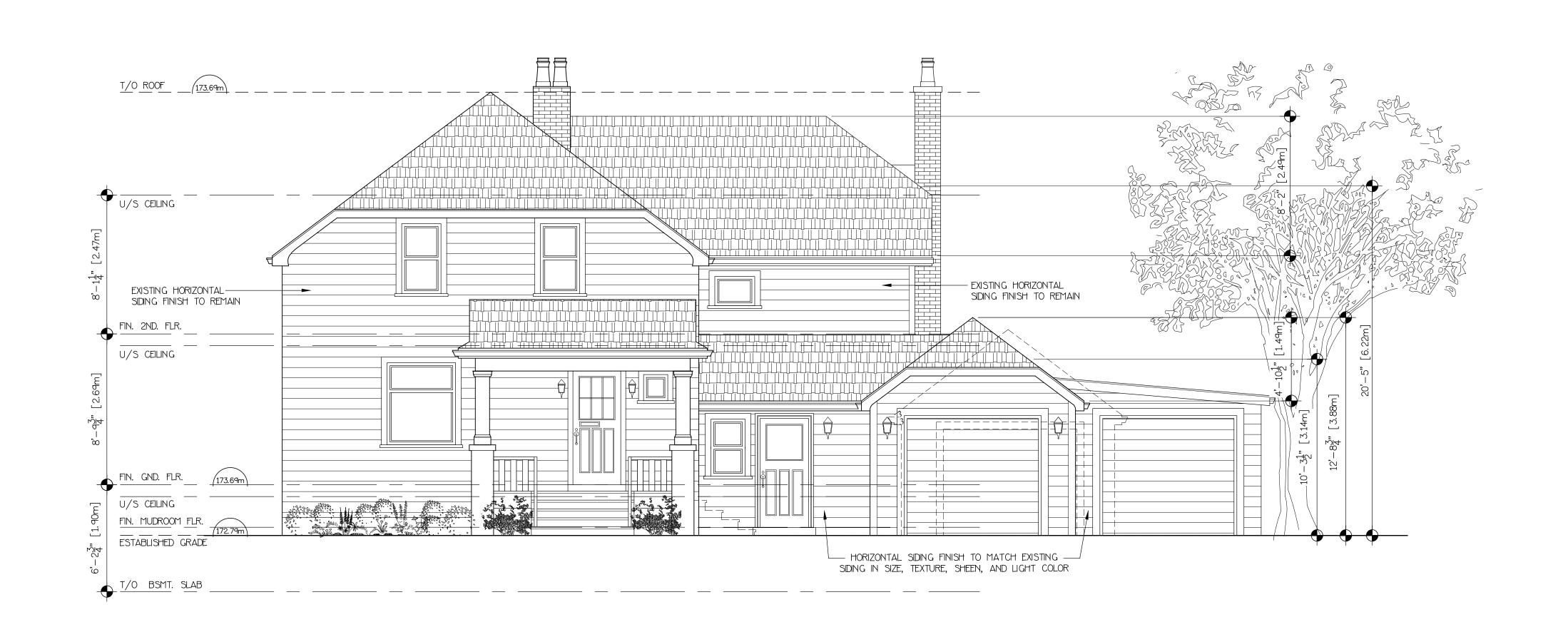
DESCRIPTION

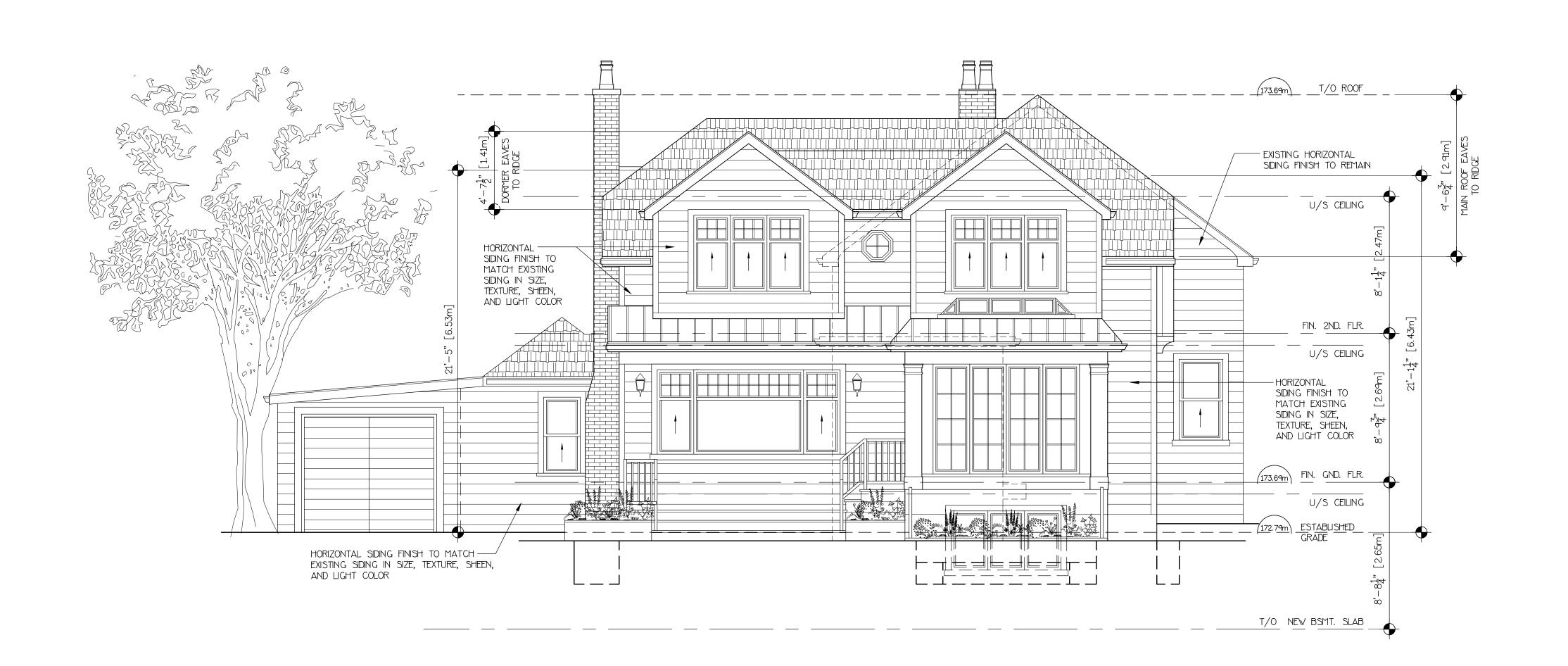
156 DUNCAN MILL ROAD SUITE 17a TORONTO, ONTARIO PHONE:(416) 955-1441 FAX:(416) 955-1442

PROPOSED ADDITION/RENOVATION ADAMOVSKY RESIDENCE 33 COLBORNE STREET THORNHILL, ONTARIO

PROPOSED SITE PLAN

drawn: V.C.B	CHECKED:
DATE: NOV. 2024	
SCALE: 1:125 METRIC	
ISSUED:	SHEET NO.: A·O1







The architect noted above has exercised responsible control with respect to design activities of this project.
The architect's seal number is the architect's BCDN

DRAWINGS MUST <u>NOT</u> BE SCALED.

CONTRACTOR MUST CHECK AND VERIFY
ALL DIMENSIONS, SPECIFICATIONS AND
DRAWINGS ON SITE AND REPORT ANY
DISCREPANCIES TO THE ARCHITECT PRIOR
TO PROCEEDING WITH ANY OF THE WORK.

	010110		
REF.	DATE	DESCRIPTION	CH'D
01	NOV.19/24	ZONING REVIEW	
02	FEB.03/25	ZONING REVIEW	
03	APR.07/25	ZONING REVIEW	
04	APR.08/25	HERITAGE REVIEW	
05	MAY.07/25	COA SUBMISSION	

REVISIONS

SPRAGGE + COMPANY ARCHITECTS LTD.

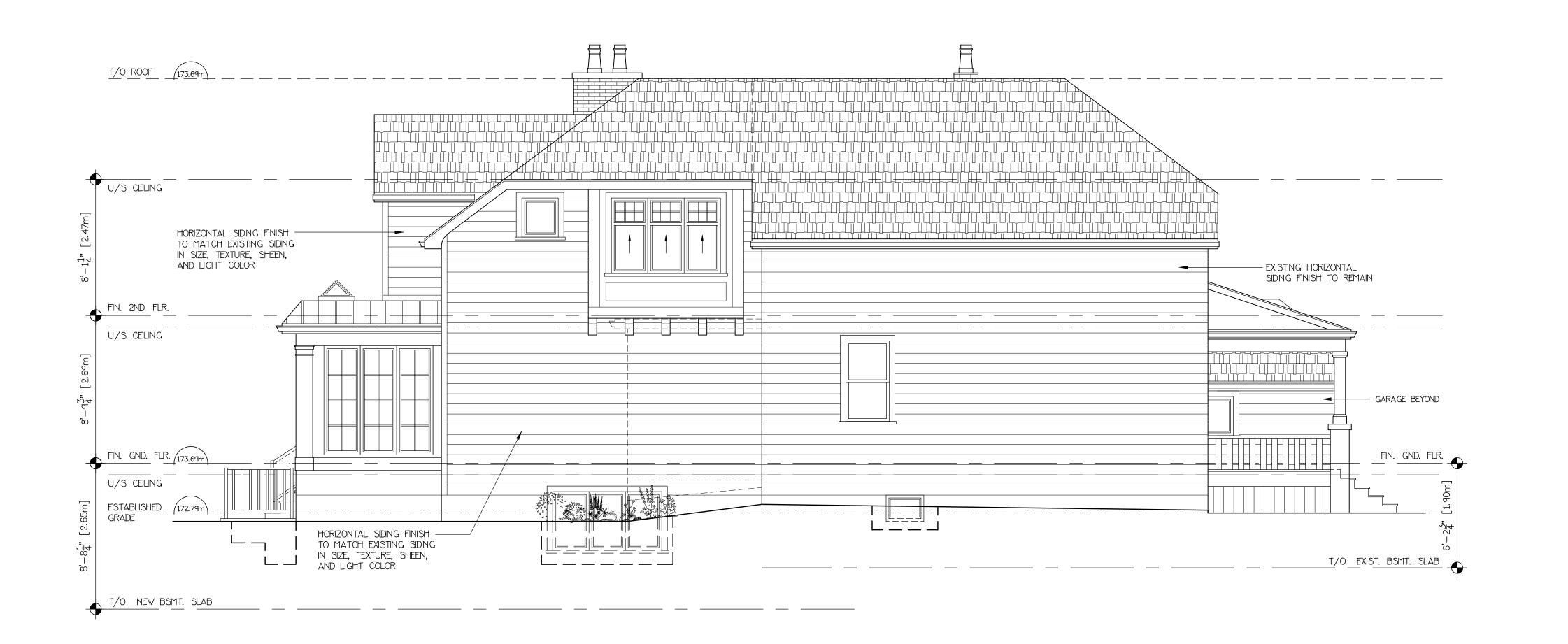
156 DUNCAN MILL ROAD SUITE 17a TORONTO, ONTARIO PHONE:(416) 955-1441 FAX:(416) 955-1442

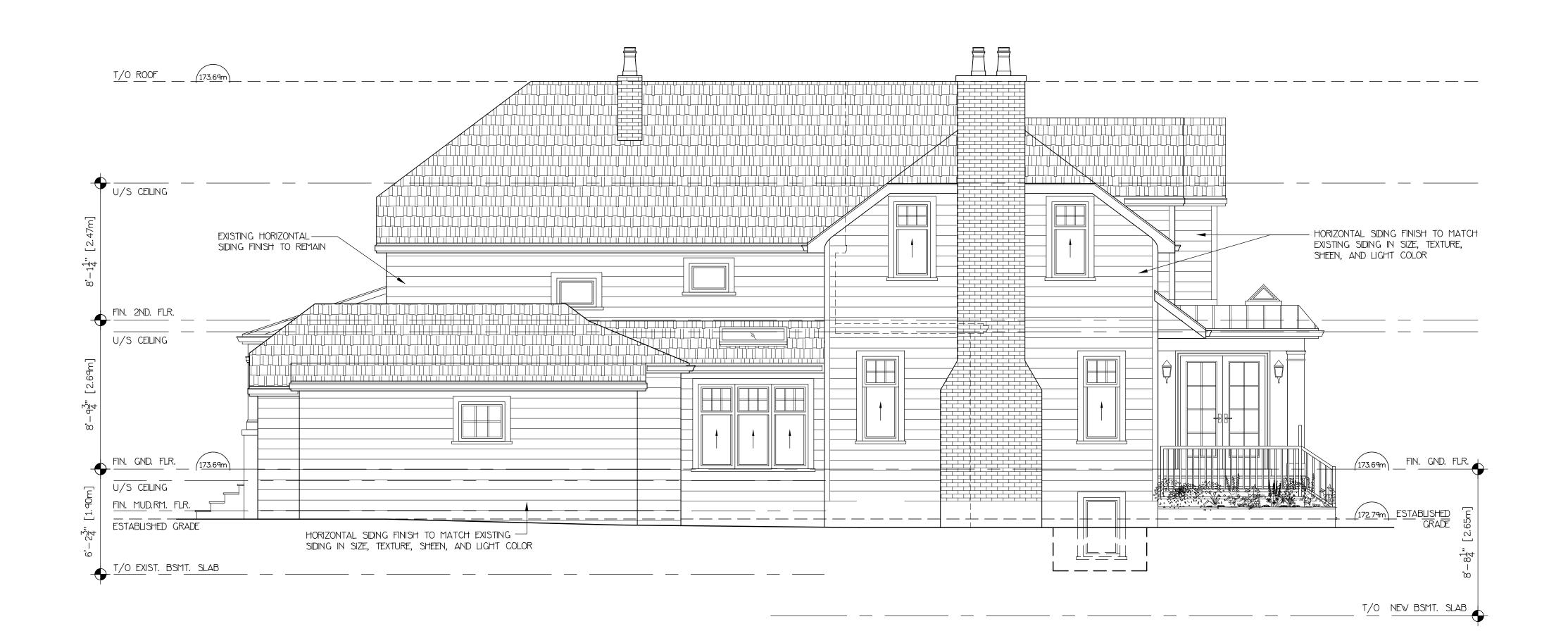
PROPOSED ADDITION/RENOVATION
ADAMOVSKY RESIDENCE

33 COLBORNE STREET
THORNHILL, ONTARIO

PROPOSED NORTH & SOUTH ELEVATIONS

DRAWN: V.C.B	CHECKED:
DATE: NOV. 2024	
SCALE: 1/4"=1'-0"	JOB NO.: 24 2282
ISSUED:	SHEET NO.: A 06







The architect noted above has exercised responsible control with respect to design activities of this project.
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ĺ	010110		
REF.	DATE	DESCRIPTION	CH'D
01	NOV.19/24	ZONING REVIEW	
02	FEB.03/25	ZONING REVIEW	
03	APR.07/25	ZONING REVIEW	
04	APR.08/25	HERITAGE REVIEW	
05	MAY.07/25	COA SUBMISSION	

REVISIONS

SPRAGGE + COMPANY ARCHITECTS LTD.

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PROPOSED ADDITION/RENOVATION ADAMOVSKY RESIDENCE 33 COLBORNE STREET THORNHILL, ONTARIO

PROPOSED EAST & WEST ELEVATIONS

drawn: V.C.B	CHECKED:
DATE: NOV. 2024	
SCALE: 1/4"=1'-0"	JOB NO.: 24 2282
ISSUED:	SHEET NO.: A 07