

Memorandum to the City of Markham Committee of Adjustment

July 3, 2025

File: A/037/25
Address: 31 Bakerdale Road, Markham
Agent: Uptown Developments Inc
Hearing Date: Wednesday, July 16, 2025

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of the Residential Established Neighbourhood – Low Rise zone of By-law 2024-19, RES-ENLR, as amended, to permit:

- a) **By-law 2024-19, Section 6.3.2.2 (l):**
a minimum east interior side yard setback of 1.2 metres and a combined interior side yard setback of 3.92 metres, whereas the By-law requires a minimum interior side yard of 1.8 metres and a minimum combined interior yard setback of 5.05 metres;
- b) **By-law 2024-19, Section 4.8.3 (b):**
a deck to extend from the wall closest to the rear lot line a maximum of 4.72 metres, whereas the By-law permits a maximum of 3.7 metres; and
- c) **By-law 2024-19, Section 6.3.2.2 (e):**
a maximum main building distance of 17.64 metres from the established building line for the second storey, whereas the By-law permits a maximum of 14.5 metres for any storey above the first storey;

These variances relate to a proposed rear two-storey addition to the existing dwelling.

BACKGROUND

Property Description

The 1,503.09 m² (16,502 ft²) "Subject Lands" is located on the south side of Bakerdale Road, which is south of Highway 7 East and east of Conservation Avenue. The Subject Lands are developed with an existing 299.84 m² (3,227.5 ft²) two-storey detached dwelling and are in an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. Milne Creek, which is part of the Rouge River watershed abuts the south side of the property, traversing southeast to Milne Dam Conservation Park. The Subject Lands are therefore in Toronto Region Conservation Authorities (TRCA) Regulated Area.

Proposal

The "Proposed Development" comprises an addition to the existing dwelling that expands the basement and first-storey at the rear of the building and added space on the second storey. This will add approximately 167.5 m² (1,802.8 ft²) of Gross Floor Area (GFA) to the dwelling, resulting in a total GFA of 467.33 m² (5,030 ft²).

The Proposed Development also includes a new rear yard deck, to replace an existing deck. The Proposed Development is shown in Appendix 'A'

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Official Plan designates the subject property "Residential Low Rise", which provides for low rise housing forms including single detached dwellings.

Zoning By-Law BY-LAW 2024-19

The subject property is zoned RES-ENLR under By-law 2024-19, as amended, which permits detached dwellings. The Proposed Development does not conform to the minimum combined interior side yard, maximum building distance for the second storey and maximum deck extension. The existing east side yard is also non-compliant to the By-law. Consequently, the Owner has submitted this variance application.

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) March 7, 2025, to confirm the required variances for the Proposed Development.

COMMENTS

The Planning Act states that four tests must be met for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature.
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure.
- c) The general intent and purpose of the Zoning By-law must be maintained.
- d) The general intent and purpose of the Official Plan must be maintained.

Decrease in Minimum Combined Interior Side Yard

The Owner is requesting a minimum east interior side yard setback of 1.2 metres and a combined interior side yard setback of 3.92 metres, whereas the By-law requires a minimum interior side yard of 1.8 metres and a minimum combined interior yard setback of 5.05 metres. The eastern side yard setback is an existing condition that is non-conforming to the Zoning Bylaw, and is not being exacerbated by the Proposed Development. The minimum combined side yard setback requirement of 5.05 metres is determined as being 25% of the defined lot frontage. Staff have no objection to the proposed combined yard setback of 3.92 metres.

Increase in Maximum Deck Extension

The Owner is requesting a deck to extend from the wall closest to the rear lot line a maximum of 4.72 metres, whereas the By-law permits a maximum of 3.7 metres. This is an increase of approximately 1.0 m, which includes and accommodates the

landing and stairs from the deck accessing the rear yard. Staff have no concern with this requested variance and are satisfied that it meets the Planning Act criteria.

Increase in Maximum Main Building Distance

The Owner is requesting a maximum main building distance of 17.64 metres from the established building line for the second storey, whereas the By-law permits a maximum of 14.5 metres for any storey above the first storey. This is an increase of 2.14 metres on the second storey. The intent of regulating the maximum distance is to maintain a uniform streetscape by ensuring consistent building alignment, building depth and massing in relation to neighboring dwellings. Staff note that the subject land is slightly pie-shaped lot and therefore, the proposed increase in maximum building distance will not disrupt the established building line along the streetscap, and maintains an appropriate scale for the neighborhood. Staff have no concerns for this proposed variance.

EXTERNAL AGENCIES

TRCA Comments

A noted, the subject property is within the Toronto Region and Conservation Authority (TRCA)'s Regulated Area, and the TRCA has been circulated on this application. In comments dated, June 10, 2025, the TRCA confirmed no objection to the Proposed Development, subject to the condition that TRCA review fees are paid to the TRCA. This is secured as a condition found within Appendix 'B'. The TRCA comments are attached in Appendix 'C'.

PUBLIC INPUT SUMMARY

No written submissions were received as of July 3, 2025. Additional information received after the writing of the report will be provided by the Secretary-Treasurer at this meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance requests satisfy the criteria o the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "B" for conditions to be attached to any approval of this application.

PREPARED BY:



Stephen Corr, Senior Planner, Planning and Urban Design Department

REVIEWED BY:



Rectangular Snip

Stacia Muradali, Development Manager, East District

Appendix 'A' – Proposed Development Plans

Appendix 'B' – Recommended Approval Conditions

Appendix 'C' – TRCA comments



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

THIS PLAN IS NOT VALID
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In accordance with
Regulation 1026, Section 29(3).

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PLAN OF SURVEY WITH TOPOGRAPHIC
DETAIL OF:
**PART OF BLOCK A
REGISTERED PLAN No. M-1789
and PART LOT 10 CONCESSION 7
TOWN OF MARKHAM**
REGIONAL MUNICIPALITY OF YORK
SCALE 1 : 250 METRES

BEARING NOTES

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17 (81° WEST LONGITUDE), NAD83(CSR)(2010).

FOR BEARING COMPARISONS, THE FOLLOWING ROTATIONS WERE APPLIED:
P1,P2,P3 - 0°00'00" COUNTER-CLOCKWISE

DISTANCE NOTES - METRIC

DISTANCES AND COORDINATES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

CONTOURS

CONTOURS SHOWN HEREON ARE DRAWN AT 0.20 METRE INTERVALS.

ELEVATIONS

ELEVATIONS ARE GEODETIC AND REFERRED TO TOWN OF MARKHAM BENCHMARK M-32-003 AND HAVING A GEODETIC ELEVATION OF 182.290 METRES.

CAUTION

THE WORK AND DRAWINGS HEREIN WERE COMPLETED FOR THE EXCLUSIVE USE OF OUR CLIENT AND NO LIABILITY IS ASSUMED TO ANY THIRD PARTIES OR SUBSEQUENT OWNERS.

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SSIB DENOTES SHORT STANDARD IRON BAR
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- PB DENOTES PLASTIC BAR
- CC DENOTES CUT CROSS
- ∅ DENOTES ROUND
- WIT DENOTES WITNESS
- M DENOTES MEASURED
- P1 DENOTES PLAN 1R-2345
- P2 DENOTES PLAN 1R-2345
- P3 DENOTES PLAN 12R-34567
- 721 DENOTES J.L. SYLVESTER, OLS
- 1293 DENOTES SYLVESTER & BROWN LTD., OLS
- MTO DENOTES MINISTRY OF TRANSPORTATION ONTARIO
- AC DENOTES AIR CONDITIONER
- MH DENOTES MAINTENANCE HOLE ELEVATION AT CENTRE
- POLS DENOTES LIGHT STANDARD
- ☀ DENOTES CONIFEROUS TREE W/TRUNK DIAMETER
- ☀ DENOTES DECIDUOUS TREE W/TRUNK DIAMETER
- ☀ DENOTES SHRUB
- x123.45 DENOTES SPOT ELEVATION
- CTP DENOTES CONCRETE PAD
- CLF DENOTES CHAIN LINK FENCE
- DSE DENOTES DOOR SILL ELEVATION
- CRBW DENOTES CONCRETE BRICK RETAINING WALL
- GSE DENOTES GARAGE SILL ELEVATION

BUILDING TIES SHOWN HEREON ARE TO THE FOUNDATION UNLESS OTHERWISE NOTED.
ALL BEARINGS AND DISTANCES AGREE WITH CITED PLANS UNLESS OTHERWISE NOTED.

INTEGRATION DATA

OBSERVED REFERENCE POINTS DERIVED FROM GPS OBSERVATIONS USING A REAL TIME NETWORK AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83(CSR)(2010).

URBAN ACCURACY PER SEC. 14(2), O.REG. 216/10.

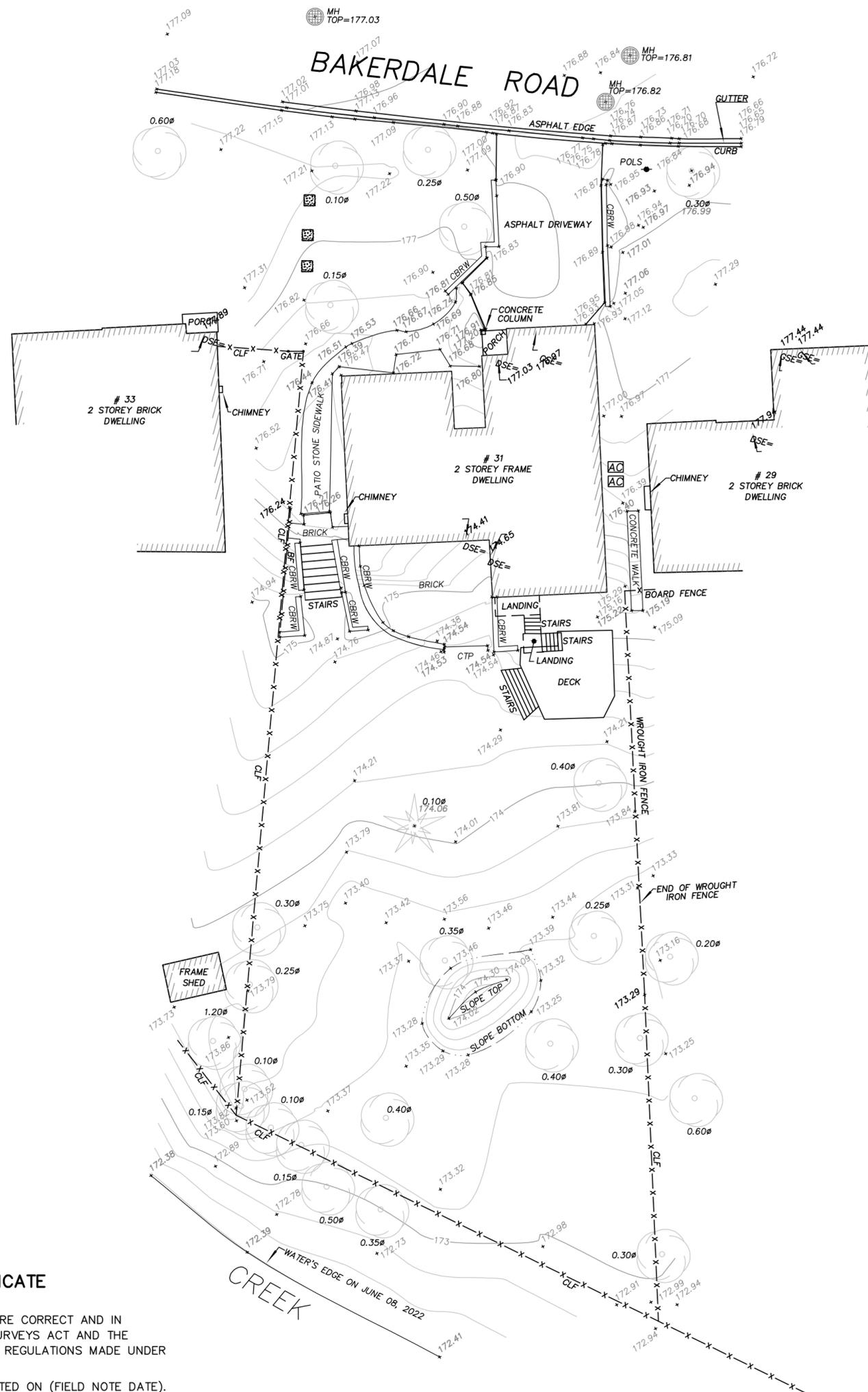
| POINT ID | NORTHING | EASTING |
|----------|----------|----------|
| A | #####.## | #####.## |
| B | #####.## | #####.## |

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN



IBWSURVEYORS.COM | 1.800.667.0696

PARTY CHIEF: AD DRAWN BY: DGC CHECKED BY: TE PLOT DATE: SEPT. 2, 2022
FILE NAME: A-034904-TOPO_v3 copies available at LandSurveyRecords.com



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON (FIELD NOTE DATE).

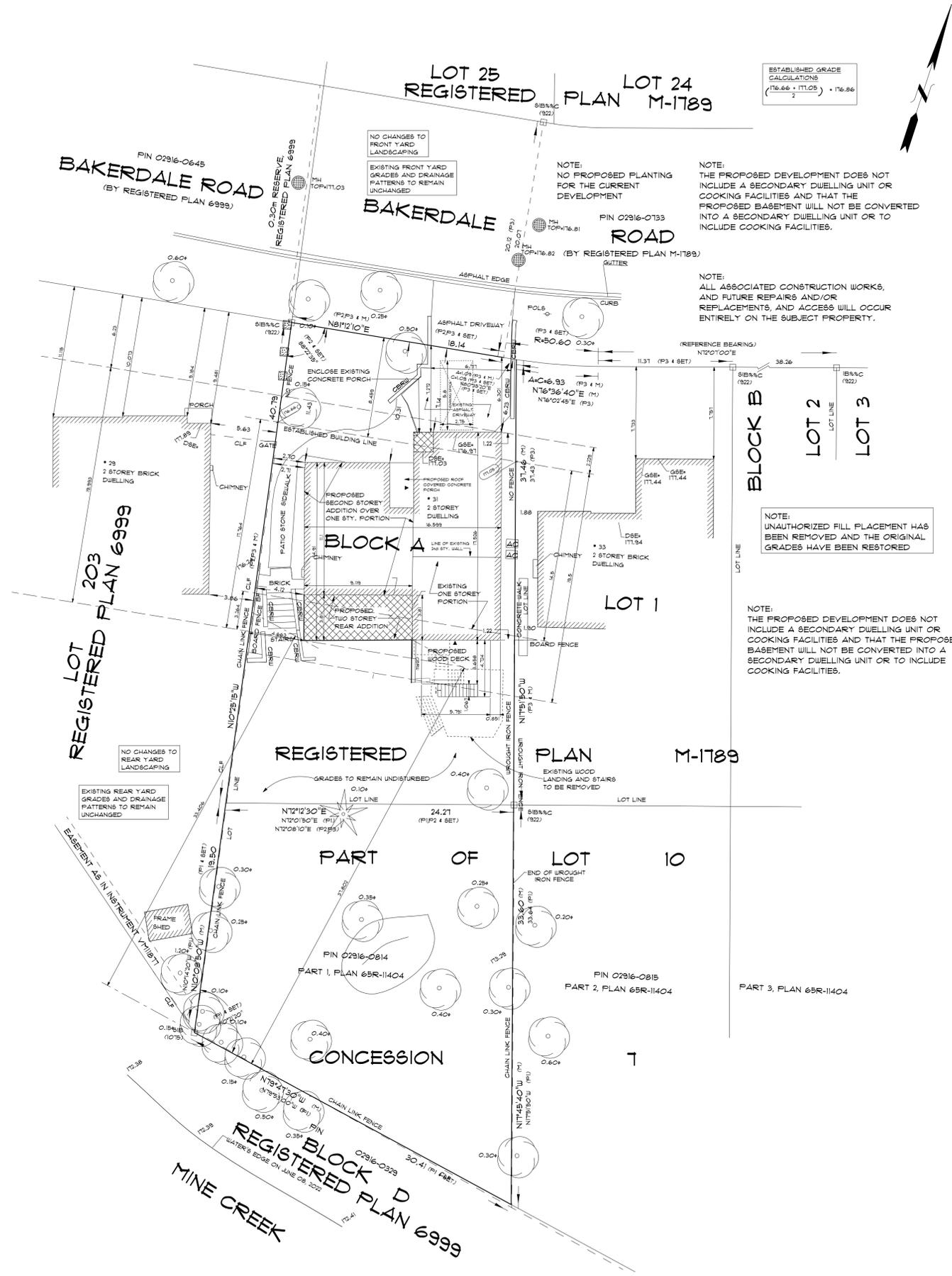
(SIGNATURE DATE)

DRAFT

DATE

***, O.L.S.

| Rev. | Date | Initials | Imported .txt file | Remarks | Rev. | Date | Initials | Imported .txt file | Remarks |
|------|------------|----------|--------------------|--------------------|------|-------------|----------|--------------------|---|
| 1 | 2022.06.27 | DC | + | DRAFT TOPO FOR POS | 3 | 2022.09.02 | SDC | + | UPDATED WITH BOOSTED POINTS, UPDATE LINENWORK, REGEN'D CONTOURS |
| 2 | 2022.06.29 | DC | + | EDITS PER FDR | 4 | yyyyyymm.dd | + | + | |
| | | | | | 5 | yyyyyymm.dd | + | + | |
| | | | | | 6 | yyyyyymm.dd | + | + | |



SITE PLAN
 of
PART OF BLOCK A
REGISTERED PLAN No. M-1789
 and **PART LOT 10 CONCESSION 1**
REG. PLAN 465
 TOWN OF MARKHAM
 REGIONAL MUNICIPALITY OF YORK
 ONTARIO
 SCALE 1:200

THIS SITE PLAN HAS BEEN PREPARED FOR ORIENTATION PURPOSES BASED ON FIELD MEASUREMENTS AND INFORMATION TAKEN FROM SURVEY BY ISU SURVEYORS PROJECT A-034804-TOPO-V3 AND IT DOES NOT REPRESENT LEGAL OR SURVEY DIMENSIONS. IF LEGAL OR SURVEY DIMENSIONS ARE REQUIRED, REFERENCE MUST BE MADE TO A LEGAL SURVEY OF THE SUBJECT PROPERTY.

LEGEND
 ▲ DENOTES ENTRY POINTS

SITE STATISTICS

| | |
|----------|-------------------------------|
| LOT AREA | 16502.00 sq.ft. 1533.09 sq.m. |
|----------|-------------------------------|

COVERAGE

| | |
|---|-----------------------------|
| EXISTING DWELLING (DOES NOT INCLUDE REAR WOOD DECK) | 246.80 sq.ft. 22.53 sq.m. |
| PROPOSED ADDITION | 374.00 sq.ft. 34.75 sq.m. |
| TOTAL COVERAGE (16.5%) | 2790.80 sq.ft. 259.27 sq.m. |

EXISTING GROSS FLOOR AREA

| | |
|-----------------------|-----------------------------|
| EXISTING FIRST FLOOR | 2386.10 sq.ft. 221.68 sq.m. |
| EXISTING SECOND FLOOR | 841.40 sq.ft. 78.11 sq.m. |
| TOTAL EXISTING G.F.A. | 3227.50 sq.ft. 299.84 sq.m. |

PROPOSED GROSS FLOOR AREA

| | |
|---|-----------------------------|
| PROPOSED FIRST FLOOR | 404.70 sq.ft. 37.60 sq.m. |
| PROPOSED SECOND FLOOR | 1398.10 sq.ft. 128.89 sq.m. |
| TOTAL PROPOSED G.F.A. | 1802.80 sq.ft. 167.49 sq.m. |
| TOTAL G.F.A. (INCLUDES EXISTING AND PROPOSED) | 5030.30 sq.ft. 467.33 sq.m. |

BEARING NOTES
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 P1,P2,P3 - 0°00'00" COUNTER-CLOCKWISE

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QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C. 1.2.4.1 OF THE BUILDING CODE

DESIGNER: KAROLINAH ARCHITECTURE
 REG. NO.: 12000

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C. 1.2.4.1 OF THE BUILDING CODE

REGISTERED PROFESSIONAL ENGINEER
 REG. NO.: 12000

| No. | Description | Date |
|-----|--------------------------------|------------|
| 1 | CLIENT APPROVAL | 08/08/2022 |
| 2 | REVISED AS PER CLIENT REQUEST | 08/18/2022 |
| 3 | P.ENG REVIEW | 10/31/2022 |
| 4 | HVAC DESIGN | 11/22/2022 |
| 5 | BUILDING PERMIT APPLICATION | 01/06/2023 |
| 6 | REVISED AS PER T.R.C.A. NOTICE | 03/13/2023 |
| 7 | REAR WOOD DECK ADDED | 05/23/2023 |
| 8 | ZONING REVIEW | 05/29/2023 |
| 9 | REVISED AS PER T.R.C.A. NOTICE | 08/16/2023 |
| 10 | REVISED AS PER T.R.C.A. NOTICE | 03/07/2024 |
| 11 | REVISED AS PER T.R.C.A. NOTICE | 06/04/2024 |
| 12 | REVISED AS PER ZONING NOTICE | 02/04/2025 |
| 13 | REVISED AS PER ZONING NOTICE | 02/26/2025 |
| 14 | COMMITTEE OF ADJUSTMENT | 04/01/2025 |

Uptown Architecture

53 Woodstream Blvd Unit 3,
 L7B 1C8, ON, Canada
 1-844-878-6966 | info@uptown.ca
 www.uptown.ca

Project Title & Description: **Arch D**
 PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION

Project Address:
 31 BAKERDALE ROAD
 MARKHAM, ONTARIO
 L3P1J3

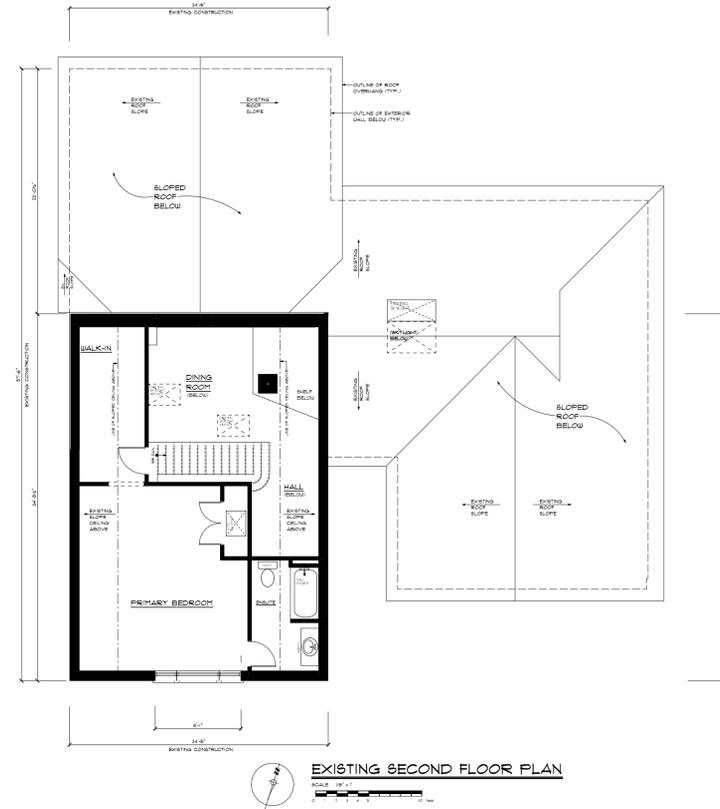
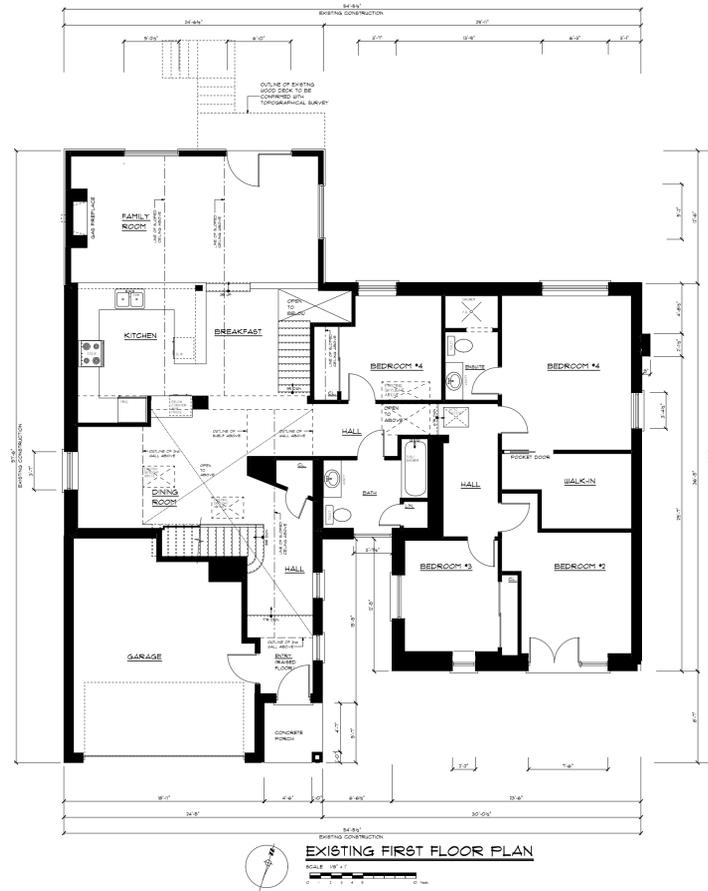
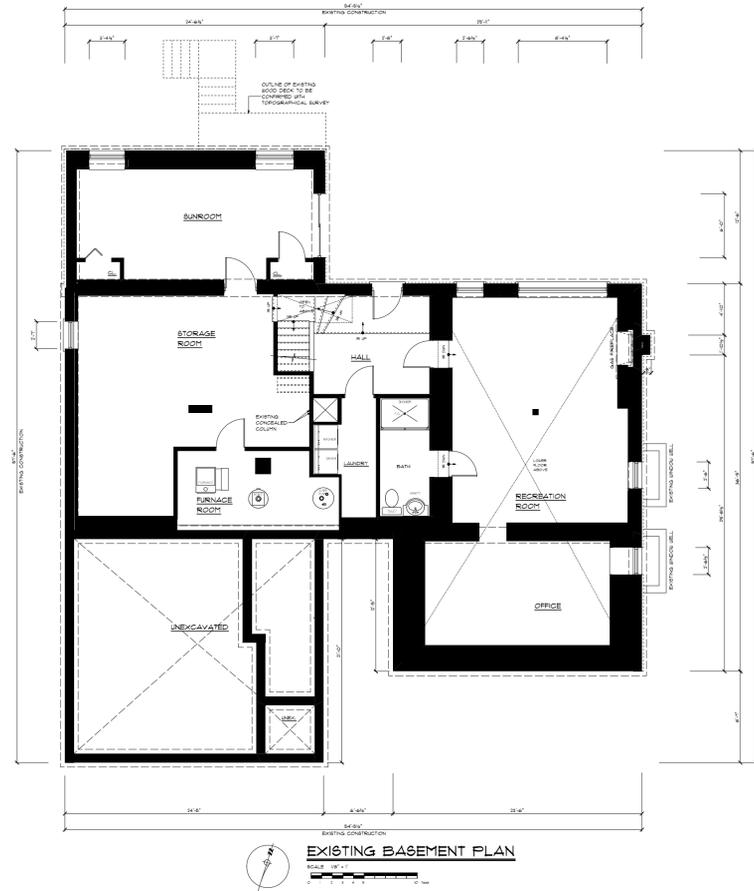
Project Number: **2022-015**

Client Name: **KAROLINAH**

SITE PLAN

AS1.0 Drawn By: **F.T.**

Scale: **AS SHOWN** Checked By: **G.F.**



*EXISTING FLOOR PLANS
ARE FOR REFERENCE ONLY*

| | |
|---|------------------------------|
| THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER | |
| QUALIFICATION INFORMATION REQUIRED UNLESS DESIGNER IS EMPLOYED UNDER DIVISION C. 12.4.3 OF THE BUILDING CODE | |
| CONSULTANT: <i>[Signature]</i> | LICENSE NO.: <i>[Number]</i> |
| REGISTRATION INFORMATION REQUIRED UNLESS DESIGNER IS EMPLOYED UNDER DIVISION C. 12.4.3 OF THE BUILDING CODE | |
| LICENSE NO.: <i>[Number]</i> | EXPIRES: <i>[Date]</i> |

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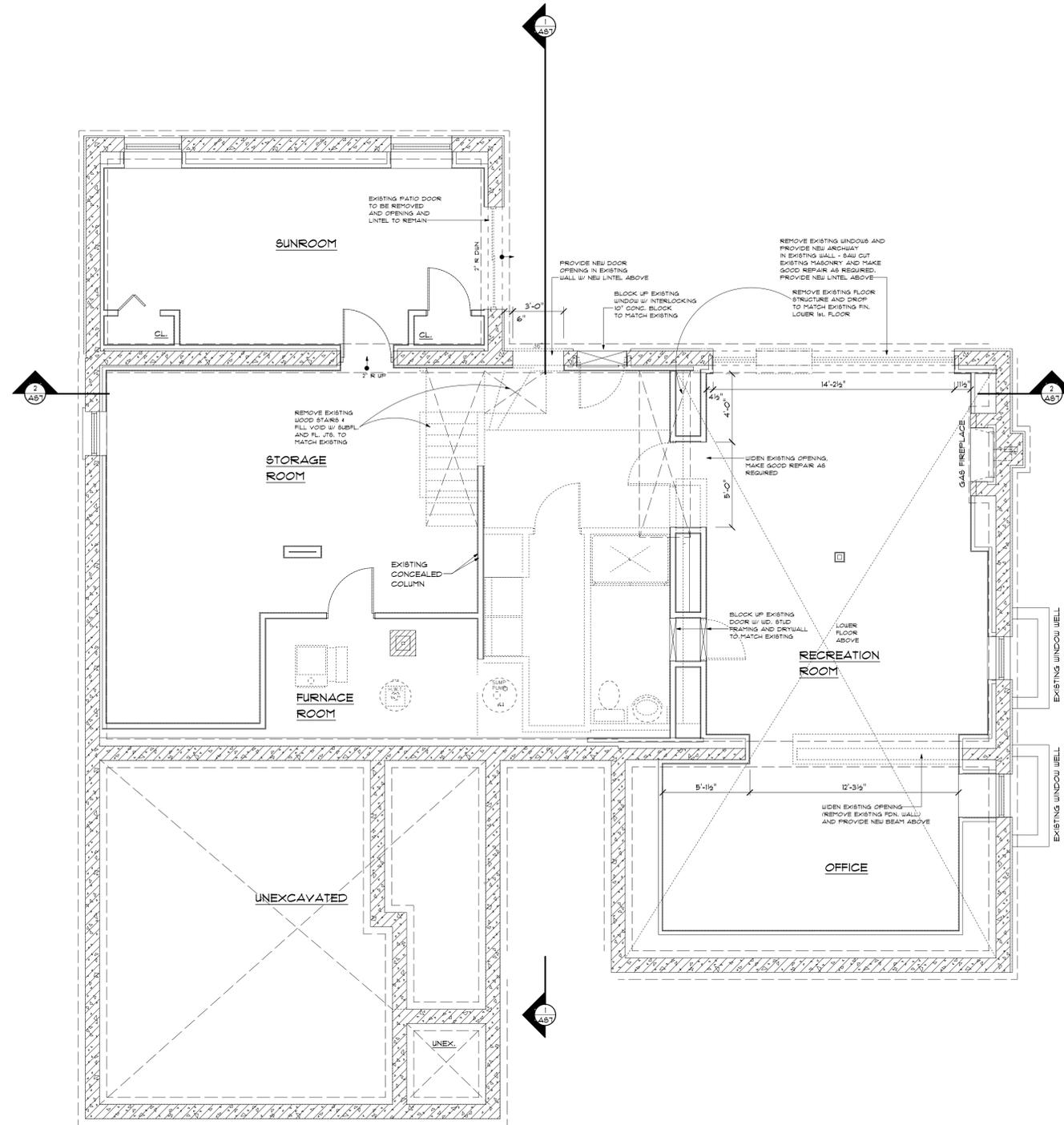
Project Address:
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 MARKHAM, ONTARIO
 L3P1J3

Project Number: **2022-015**

Client Name: **KAROLINAH**

EXISTING FLOOR PLANS

| | |
|------------------------|-------------------------|
| AS1.1 | Drawn By: F.T. |
| Scale: AS SHOWN | Checked By: G.F. |



BASEMENT DEMOLITION PLAN

SCALE 1/4" = 1'
0 1 2 3 4 5 10 Feet

| | |
|---|---|
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| QUALIFICATION INFORMATION REQUIRED UNLESS DESIGNER IS EMPLOYED UNDER DIVISION C. 12.4.3 OF THE BUILDING CODE | |
| DESIGNER: KAROLINA TRACIA REG. NO.: 13010P EXP. DATE: 2024 | DESIGNER: KAROLINA TRACIA REG. NO.: 13010P EXP. DATE: 2024 |
| REGISTRATION INFORMATION REQUIRED UNLESS DESIGNER IS EMPLOYED UNDER DIVISION C. 12.4.3 OF THE BUILDING CODE | |
| PROJECT DEVELOPER: UPTOWN DEVELOPMENTS REG. NO.: 13000K EXP. DATE: 2024 | PROJECT DEVELOPER: UPTOWN DEVELOPMENTS REG. NO.: 13000K EXP. DATE: 2024 |

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Project Address:
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number: 2022-015

Client Name: KAROLINAH

BASEMENT DEMOLITION PLAN

AS2 Drawn By: F.T.

Scale: AS SHOWN Checked By: G.F.

GENERAL

- DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE - LATEST EDITION AND CAN/CSA S43.1.
- ALL DIMENSIONS MUST BE VERIFIED AND CONFIRMED ON SITE BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DESIGN LIVE LOADS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
- THESE NOTES SHALL APPLY UNLESS SPECIFICALLY NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO CHECK DRAWINGS AND FIELD CONDITIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER/ENGINEER PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR TO CHECK SURFACES AND STRUCTURES UPON WHICH NEW WORK WILL BE DONE AND NOTIFY THE DESIGNER/ENGINEER IMMEDIATELY IF SURFACES ARE NOT SOUND OR SUITABLE FOR PLANNING, INTENDED, AND/OR PROPOSED WORK.
- CONTRACTOR TO PROTECT ALL EXISTING SURFACES DURING CONSTRUCTION, DAMAGE TO EXISTING SURFACES IS TO BE RECTIFIED BY THE CONTRACTOR.
- PROVIDE 4" DIAMETER SEEING TILE WITH FILTER CLOTH AND SURROUND WITH 4" OR 6" CLEAR STONE AROUND PERIMETER FOUNDATION WALL.
- DESIGN LOADS SHOULD NOT BE EXCEEDED DURING CONSTRUCTION.

SOIL

- ALL FOUNDATIONS TO BE PLACED ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 PSF.
- ALL LOOSE AND ORGANIC MATERIAL IS TO BE REMOVED FROM THE FOUNDATION AREA.
- ALL FOOTINGS ARE TO BE PROTECTED WITH A MINIMUM 4" FROST DEPTH CONCRETE.
- ALL CONCRETE TO POSSESS A MINIMUM OF 28 DAY STRENGTH OF 4000 PSI (28.0 MPa) WATER/CEMENT RATIO OF 0.40, MINIMUM SLUMP OF 3" AND 5 TO 1% AIR ENTRAINMENT.
- CONCRETE MATERIALS TO CONFORM TO CSA A23.1.
- ALL REINFORCING STEEL TO POSSESS A MINIMUM STRENGTH OF 60000 PSI (420 MPa).

STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL CONFORM TO G40.21 GRADE 300U (A40) OR 300T (A47) WITH ONE SHOP COAT AND FIELD TOUCHUP OF PRIME COATING TO CAN/CSA S13.1, 168 SECTIONS SHALL BE G40.21 GRADE 300U (A40) CLASS 40 U SECTIONS TO BE G40.21 GRADE 300U.
- DESIGN FABRICATION AND DIRECTION OF STEEL MEMBERS, CONNECTIONS, SHALL CONFORM TO CSA S16.1, LATEST EDITION WITH ALL SUPPLEMENTS.
- CONNECTIONS SHALL BE DESIGNED FOR THE LOADINGS SHOWN ON DRAWINGS.
- ALL BOLTS SHALL BE ASTM A325 OR BETTER HIGH STRENGTH BOLTS. ANCHOR BOLTS MAY BE ASTM A307.
- ALL BEAMS ARE TO BE WELDED TO SUPPORTING MEMBERS OR BEARING PLATES.
- ALL WELDS SHALL CONFORM TO CSA S16.1-1984 OR LATEST EDITION.
- SHOP DRAWINGS ARE TO BE SUBMITTED FOR REVIEW BEFORE PROCEEDING WITH FABRICATION, DRAWINGS OF COMPONENTS DESIGNED BY THE FABRICATOR SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.

LUMBER

- ALL STRUCTURAL LUMBER TO BE #1 S&P OR BETTER UNLESS NOTED OTHERWISE.
- ROOF TRUSSES DRAWINGS TO BE STAMPED BY TRUSS MANUFACTURER, RELATED BRACINGS SHALL BE BY THE TRUSS MANUFACTURER.

STRUCTURAL NOTE

- SOIL CAPACITY 3000 P.S.F. (86.2) TO BE CONFIRMED & REPOSE ANGLE 35 DEGREES.
- STRUCTURAL DESIGN IS BASED ON EXISTING CONCRETE BLOCK FDN. - AS PER WALL LEGEND.
- VERIFY ON UNDISTURBED SOIL WITH MINIMUM BEARING CAPACITY OF 3000 P.S.F.
- GENERAL CONTRACTOR RESPONSIBLE FOR CORRECTING AND REPORTING ANY DISCREPANCIES TO THE DESIGNER/ENGINEER PRIOR TO COMMENCING ANY WORK.
- ALL L.V.L. BEAMS TO BE GRADE 2.0E 3000 P.S.F.
- ALL L.V.L. BEAMS AND JOISTS TO BE NEEDED AS PER MANUFACTURERS SPECIFICATION.
- ALL HANGERS AND CONNECTIONS TO BE DESIGNED BY CONTRACTOR.
- ALL WOOD POSTS & STEEL COLUMNS TO BE TIED TO ALL FLOOR STRUCTURE WITHIN THEIR HEIGHTS.
- ALL EXISTING STRUCTURE FRAMING, DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE BY THE CONTRACTOR BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCY FROM THE CONDITIONS ON THESE DRAWINGS IS TO BE IMMEDIATELY REPORTED TO THE STRUCTURAL ENGINEER FOR VALUATION.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS EARLY TO COMMITMENT TO WORK.
- ALL NECESSARY SOIL BORING AND SHORING OF EXISTING AND NEW PART OF STRUCTURE TO BE DESIGN AND APPROVED BY CONTRACTOR.
- PROVIDE 3" TOP BEARING OF ALL WOOD BEAMS ON MASONRY WALLS TYP.
- EXCAVATION FOR THE PROPOSED WORK SHOULD NOT UNDERMINE THE FOUNDATION OF ADJOINING BUILDING OR CAUSE DAMAGE TO UTILITIES, ROADS AND SIDE WALKS. CBC 2.3.1.1.5) AND 9.2.1.4.
- ALL STEEL COLUMNS SHOULD BE EXTENDED TO THE TOP OF EXISTING MASONRY WALL. FILL 3" TOP COURSES SOLID AT BEARING.

NOTES

THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE 2018 ONTARIO BUILDING CODE UNLESS SPECIFICALLY ALTERED BY THE MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND VARIATIONS HERETO SPECIFICALLY IN PART 9 OF THE BUILDING CODE.

- ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO. 2 CONSTRUCTION GRADE UNLESS SPECIFICALLY ALTERNED BY THE MUNICIPALITY HAVING JURISDICTION. SIZES ARE DETERMINED FROM THE SPAN TABLES OF THE 2018 ONTARIO BUILDING CODE.
- ALL WINDOWS TO BE DOUBLE GLAZED OR THERMOPLANE.
- ALL LUMBER TO BE SUPPORTED MIN. 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES.
- REMOVE ALL WOOD DEBRIS OR VEGETABLE MATTER FROM BACKFILL.

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED BEFORE CONSTRUCTION BY AN APPROVED GRADING AND SERVICES ENGINEER.

FOUNDATION WALLS TO BE CONSTRUCTED TO MIN. OF 6" ABOVE APPROVED GRADE AT HOUSE.

PROPOSED GRADE LINES AS INDICATED ON HOUSE WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS.

ALL GRADING AND SITE SERVICES TO MEET THE REQUIREMENTS AND APPROVAL OF THE MUNICIPALITY HAVING JURISDICTION AND UPTOWN DEVELOPMENTS WILL BE NOT HELD RESPONSIBLE FOR ERRORS OR OMISSIONS AS A RESULT OF, OR FAILURE OF THE BUILDER TO OBSERVE THESE APPROVALS.

CONSTRUCTION NOTES:

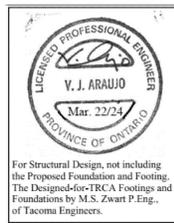
- ALL MEMBERS SHALL BE SO FRAMED, FASTENED, TIED, BRACED AND ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY AND STABILITY PER CBC 9.23.2.1.
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK.
- ALL LOADS MUST BE SUPPORTED AND TRANSFERRED TO FOUNDATION OR ADEQUATE SUPPORT. O.B.C. 9.23.4.2, 9.17.8.15, 9.20.8.3, 9.23.8.1, 9.23.10.1, AND 9.23.9.8.
- PROVIDE POSTS UNDER ALL BEAMS/GIRDER TRUSSES, ETC. POSTS ARE TO RUN CONTINUOUS TO THE FOUNDATION OR EQUIVALENT SUPPORT. CBC 9.20.8.3, 9.23.8.1, 9.23.10.1.
- FILL 2 TOP COURSES OF ALL NEW BLOCKS WALL SOLID WITH 20 MPA GROUT.
- PROVIDE 8x12"x8"-2x12"x14" LONG ANCHORS IN GROUTED VOIDS AT EACH STEEL BEAM BEARING TYPICAL.

WOOD FRAMING:

WOOD FRAMING MEMBERS IN CONTACT WITH MASONRY OR CONCRETE SHALL BE TREATED TO PREVENT DECAY. O.B.C. 2018 9.23.2.2, OR SEPARATED FROM THE CONCRETE BY MIN. 0.08MM POLYETHYLENE FILM OR TYPE B ROLL ROOFING. O.B.C. 2018 9.23.2.3.

STRUCTURAL WOOD ELEMENTS SHALL BE PRESSURE-TREATED FOR TERMITES AND DECAY PROTECTION WHERE THE VERTICAL CLEARANCE BETWEEN THE WOOD ELEMENTS AND THE FINISHED GROUND LEVEL IS LESS THAN 150MM O.B.C. 2018 9.3.2.3.

WHERE WOOD IS REQUIRED TO BE TREATED TO RESIST TERMITES OR DECAY, IT SHALL BE IN ACCORDANCE WITH TABLE 2 "USE CATEGORIES FOR SPECIFIC PRODUCTS, USES AND EXPOSURES" OF CAN/CSA-C80.01.



For Structural Design, not including the Proposed Foundation and Footing. The Designated-TRCA Footings and Foundations by M.S. Zwart P. Eng., of Tacoma Engineers.

FLOOD PROOFING DESIGN:

1. THE CONSERVATION HALTON SITE-SPECIFIC REQUIREMENTS INDICATE THAT THE REGULATORY FLOOD ELEVATION IS 174.79m WITH A 0.3m FREEBOARD AND AN ASSOCIATED MAXIMUM OVERBANK VELOCITY OF 140.3m/s THE FREEBOARD ELEVATION IS 175.09m.

DRY FLOOD PROOFING DESIGN:

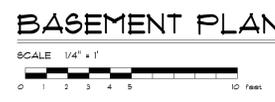
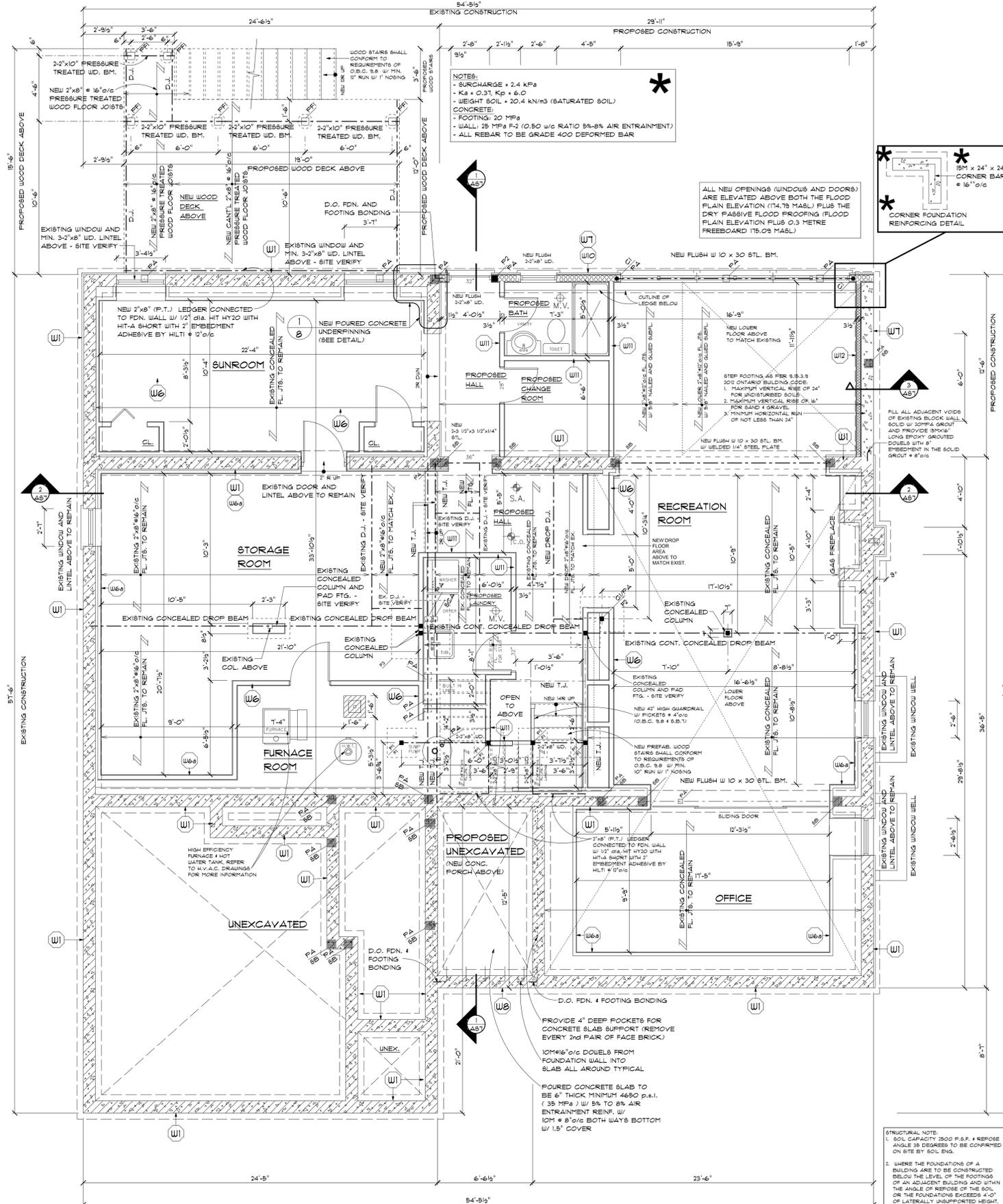
- THE BASEMENT OF THE ADDITION WAS DESIGNED FOR DRY-FLOODPROOFING.
- THE FOUNDATION DESIGN ASSUMES THAT THE REGULAR WATER TABLE IS LOCATED BELOW THE BASEMENT SLAB. CONTACT TACOMA ENGINEERS FOR A REDESIGN OF THE FOUNDATIONS IF THE SITE CONDITIONS DIFFER.
- A CONCRETE CURB PROTECTS THE MAIN FLOOR STRUCTURE FROM FLOODWATERS.
- WATERPROOFING DESIGN OF THE FOUNDATION WALLS AND BASE SLAB IS BY OTHERS. STANDARD DAMPROOFING DOES NOT MEET FLOODPROOFING GUIDE LINE REQUIREMENTS.

WET FLOOD PROOFING DESIGN:

1. THE WOOD DECK WAS DESIGNED FOR WET-FLOODPROOFING.

FLOOD PROOFING CONSTRUCTION NOTES:

- USE ONLY PRESERVATIVE-TREATED LUMBER AND PLYWOOD BELOW THE FLOOD ELEVATION PLUS 0.3m FREEBOARD 175.09m.
- NO ELECTRICAL SERVICES ARE TO BE INSTALLED BELOW THE FLOOR ELEVATION PLUS 0.3m FREEBOARD 175.09m.
- ALL FASTENERS AND METAL HARDWARE (INCLUDING FOUNDATION ANCHOR RODS) TO BE GALVANIZED OR STAINLESS STEEL BELOW THE FLOOD ELEVATION PLUS 0.3m FREEBOARD 175.09m.
- HOUSE STRUCTURE HAS BEEN REVIEWED FOR THE REGULATORY FLOOD ELEVATION OF 90.66m WITH MAXIMUM OVERBANK VELOCITY OF 140.3m/s.



ELECTRICAL NOTE:
ALL NEW ELECTRICAL AND MECHANICAL FEATURES WILL BE ELEVATED ABOVE THE FLOOR PLAIN ELEVATION PLUS 0.3 METRES FREEBOARD 175.09 METRES ABOVE SEA LEVEL.

WALL LEGEND

- W1 EXISTING FOUNDATION WALL (TO REMAIN): 10" CONC. BLOCK FDN. WALL ON CONT. CONCRETE 2x8" THICK CONC. FTG. SITE VERIFY
- W2 EXISTING SOLID MASONRY WALL (TO REMAIN): 4" BRICK/4" CONC. BLOCK COMPOSITE WALL W/ INTERIOR WOOD SHROFFING AND GYPSUM LASTER FINISH
- W3 EXISTING BRICK VENEER WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED 4" FACE BRICK/STONE, 1" AIR SPACE, EXTERIOR TYPE SHEATHING 2x8" 16" O/C WOOD STUDS, 1/2" DRYWALL FINISH
- W4 EXISTING BRICK VENEER WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED 4" FACE BRICK/STONE, 1" AIR SPACE, EXTERIOR TYPE SHEATHING 2x8" 16" O/C WOOD STUDS, R-9 INSULATION, 4 CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH
- W5 EXISTING EXTERIOR FRAME WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED STUCCO FINISH, EXTERIOR TYPE SHEATHING, 2x8" 16" O/C WOOD STUDS, R-9 INSULATION, 4 CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH
- W6 EXISTING INTERIOR PARTITION (TO REMAIN): DRYWALL FINISH (BOTH SIDES) 2x4" 16" O/C UD. STUDS
- W6a EXISTING INTERIOR STRAPPING (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED GYPSUM/PLASTER FINISH, EXISTING UD. STRAPPING @ 16" O/C
- W7 NEW FOUNDATION WALL: 10" (20MPa) REINFORCED CONCRETE WALL REINFORCED W/ 18M VERT. @ 12" O/C CENTERED 18M WALL, 4 18M HORIZONTAL @ 16" O/C AND 18M 18M x 36" BENT DOUBLES @ 10" O/C ON 24" WIDE X 1/2" THICK (20MPa) FOUNDED CONCRETE STRIP FOOTING REINFORCED W/ 3-18M CONTINUOUS BARS
- W8 NEW FOUNDATION WALL: 10" CONC. BLOCK FOUNDATION WALL ON 22"x8" FOUR. CONCRETE FOOTING, REIN. W/ 2-18M CONT. REBARS
- W9 NEW BRICK VENEER WALL: 4" FACE BRICK/STONE, 1" AIR SPACE 0.03 THICK X 1/8" WIDE METAL TIES @ 32" O/C HORIZ. 16" O/C VERT. SHEATHING PAPER LAYERS TO OVERLAP, 1/2" FLUID EXT. TYPE SHEATH OR 1/8" OSB EXT. SHEATH, 2x8" 16" O/C WOOD STUDS, R-9-5c1 INSULATION, 4 CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH (TAPED & SANDED), DOUBLE TOP PLATES, SOLE PLATE @ BOTTOM
- W10 NEW EXTERIOR FRAME WALL: FINISH AS PER ELEVATIONS, SHEATHING PAPER LAYERS TO OVERLAP, 1/2" FLUID EXT. TYPE SHEATH OR 1/8" OSB EXT. SHEATH, 2x8" 16" O/C WOOD STUDS, R-9-5c1 INSULATION, 4 CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH (TAPED & SANDED) TYPICAL FOR 3 1/2" PART.
- W11 NEW INTERIOR PARTITION: 2x4" 16" O/C 8FR. WOOD STUDS W/ FINISH AS PER ELEVATIONS, (TAPED & SANDED) TYPICAL FOR 3 1/2" PART.
- W12 NEW FIRST FLOOR INTERIOR STRAPPING: 2x4" 16" O/C WOOD STRAPPING (SET BACK 1" FROM SOLID MASONRY WALL), MIN. R20 G1 OR R12+G1 INSULATION WITH MINIMUM 1" OF INSULATION BEHIND STUDS, 1/2" DRYWALL INTERIOR FINISH

LEGEND

- S.A. SMOKE ALARMS AS PER 9.10.19 2012 O.B.C.
- M.V. MECHANICAL VENTILATION
- C.O. CARBON MONOXIDE AS PER 9.33.4 2012 O.B.C.
- F.D. FLOOR DRAIN
- 3-2"x4" WOOD POST
- 3-2"x6" WOOD POST
- 4-2"x8" WOOD POST
- POST ABOVE
- POINT LOAD ABOVE
- STEEL COLUMN ABOVE
- 8"x10"x12" ST. PLATE PLUS 2-1/2" DIAM. ANCH. BOLTS (TYP.)
- 3 1/2" DIA. X 0.188 HSS W/ WELDED 6"x6"x3/8" TOP PLATE BOTTOM PLATE 8"x12"x8" PLUS 2-1/2" DIA. ANCHOR BOLTS
- DENOTES 24"x24"x10" THICK FOUR. CONC. (20 MPa) PAD FTG.
- DENOTES 36"x36" OFF SET DIMENSIONS 1/4" THICK FOUR. CONC. (20 MPa) PAD FTG., C/W 18M @ 8" O/C DOUBLES @ 16" LONG, SOLID IMBED TO EXISTING FOOTING @ EACH
- CHECK/CONFIRM AND OR REPLACE W/ 48"x48"x18" THICK FOUNDED CONCRETE FOOTING R/W 18M @ 8" O/C BOTTOM BARS BOTH WAYS
- 6"x6" WOOD POST (PRESSURE TREATED) ANCHORED W/ METAL SHOW AND 2-1/2" ANCHOR BOLTS TO 12" CONCRETE PIER FOOTING, MIN. 6" ABOVE GRADE AND 4'-0" BELOW GRADE



QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

REQUIREMENTS UNDER DESIGN & SUPERVISION DIVISION C - 3.2.4.1 OF THE BUILDING CODE

REGISTRATION INFORMATION

REQUIREMENTS UNDER DESIGN & SUPERVISION DIVISION C - 3.2.4.1 OF THE BUILDING CODE

| No. | Description | Date |
|-----|--------------------------------|------------|
| 1 | CLIENT APPROVAL | 08/08/2022 |
| 2 | REVISED AS PER CLIENT REQUEST | 08/18/2022 |
| 3 | P.ENG REVIEW | 10/31/2022 |
| 4 | HVAC DESIGN | 11/22/2022 |
| 5 | BUILDING PERMIT APPLICATION | 01/06/2023 |
| 6 | REVISED AS PER T.R.C.A. NOTICE | 03/13/2023 |
| 7 | REAR WOOD DECK ADDED | 05/23/2023 |
| 8 | ZONING REVIEW | 05/29/2023 |
| 9 | REVISED AS PER T.R.C.A. NOTICE | 08/16/2023 |
| 10 | REVISED AS PER T.R.C.A. NOTICE | 03/07/2024 |
| 11 | REVISED AS PER T.R.C.A. NOTICE | 06/04/2024 |
| 12 | REVISED AS PER ZONING NOTICE | 02/04/2025 |
| 13 | REVISED AS PER ZONING NOTICE | 02/26/2025 |
| 14 | COMMITTEE OF ADJUSTMENT | 04/01/2025 |

Uptown Architecture

53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description: **Arch D**
PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION

Project Address: 31 BAKERDALE ROAD MARKHAM, ONTARIO L3P1J3

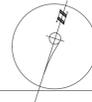
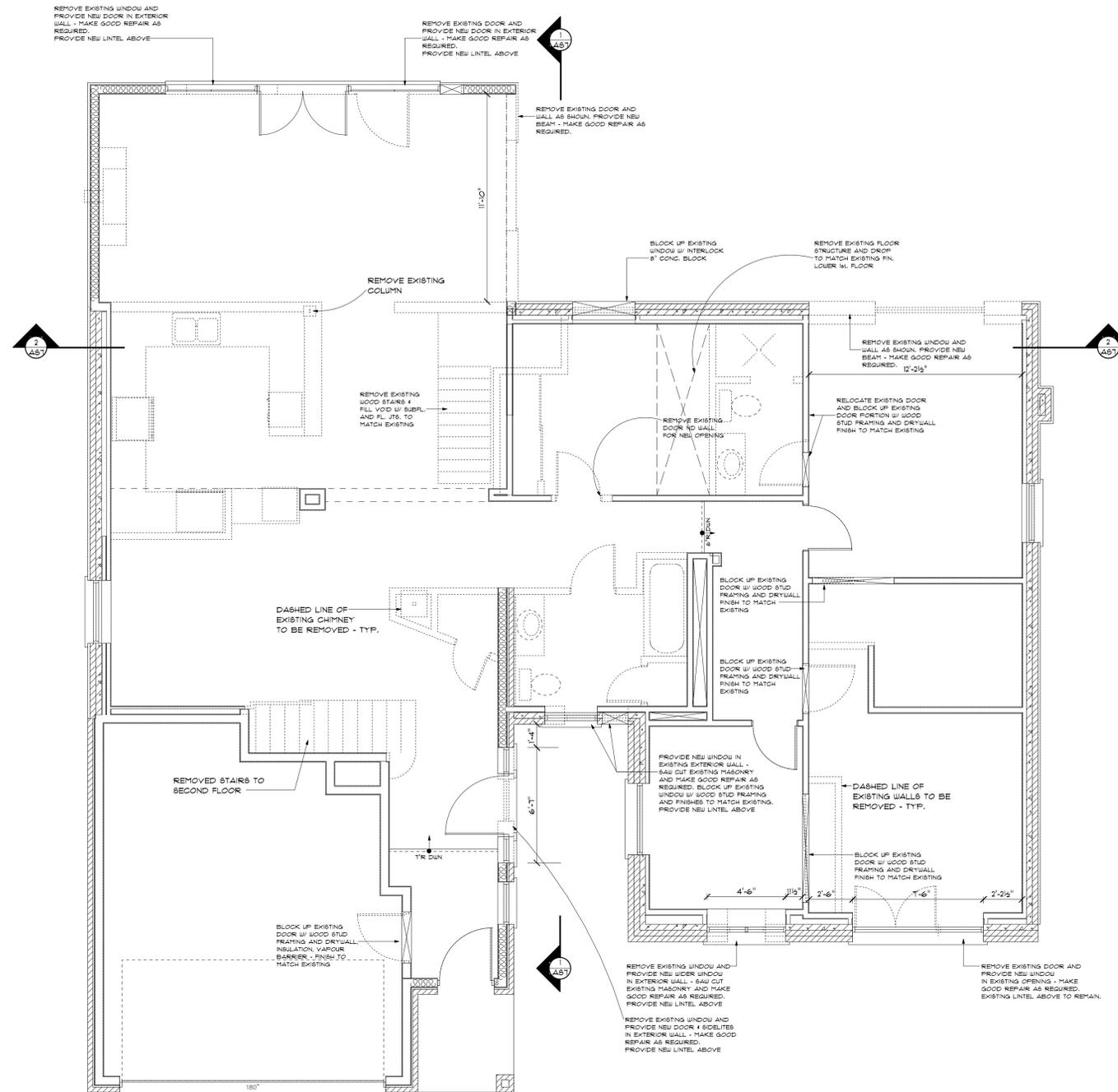
Project Number: **2022-015**

Client Name: **KAROLINAH**

PROPOSED BASEMENT PLAN

AS2.1 Drawn By: **F.T.**

Scale: **AS SHOWN** Checked By: **G.F.**



FIRST FLOOR DEMOLITION PLAN

SCALE 1/4" = 1'
0 1 2 3 4 5 10 Feet

| | |
|---|-----------------------|
| THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER | |
| QUALIFICATION INFORMATION REQUIRED UNLESS DESIGNER IS EMPLOYED UNDER DIVISION C. 1.2.4.3 OF THE BUILDING CODE | |
| DESIGNER: KAROLINA FRAGA REG. NO.: 13010P EXP. DATE: 2024 | PROJECT NO.: 2022-015 |
| REGISTRATION INFORMATION REQUIRED UNLESS DESIGNER IS EMPLOYED UNDER DIVISION C. 1.2.4.3 OF THE BUILDING CODE | |
| LICENSED DEVELOPER: REG. NO.: 13000K | PROJECT NO.: 2022-015 |

| No. | Description | Date |
|-----|--------------------------------|------------|
| 1 | CLIENT APPROVAL | 08/08/2022 |
| 2 | REVISED AS PER CLIENT REQUEST | 08/18/2022 |
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Project Title & Description: **Arch D**
 PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION

Project Address:
 31 BAKERDALE ROAD
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 L3P1J3

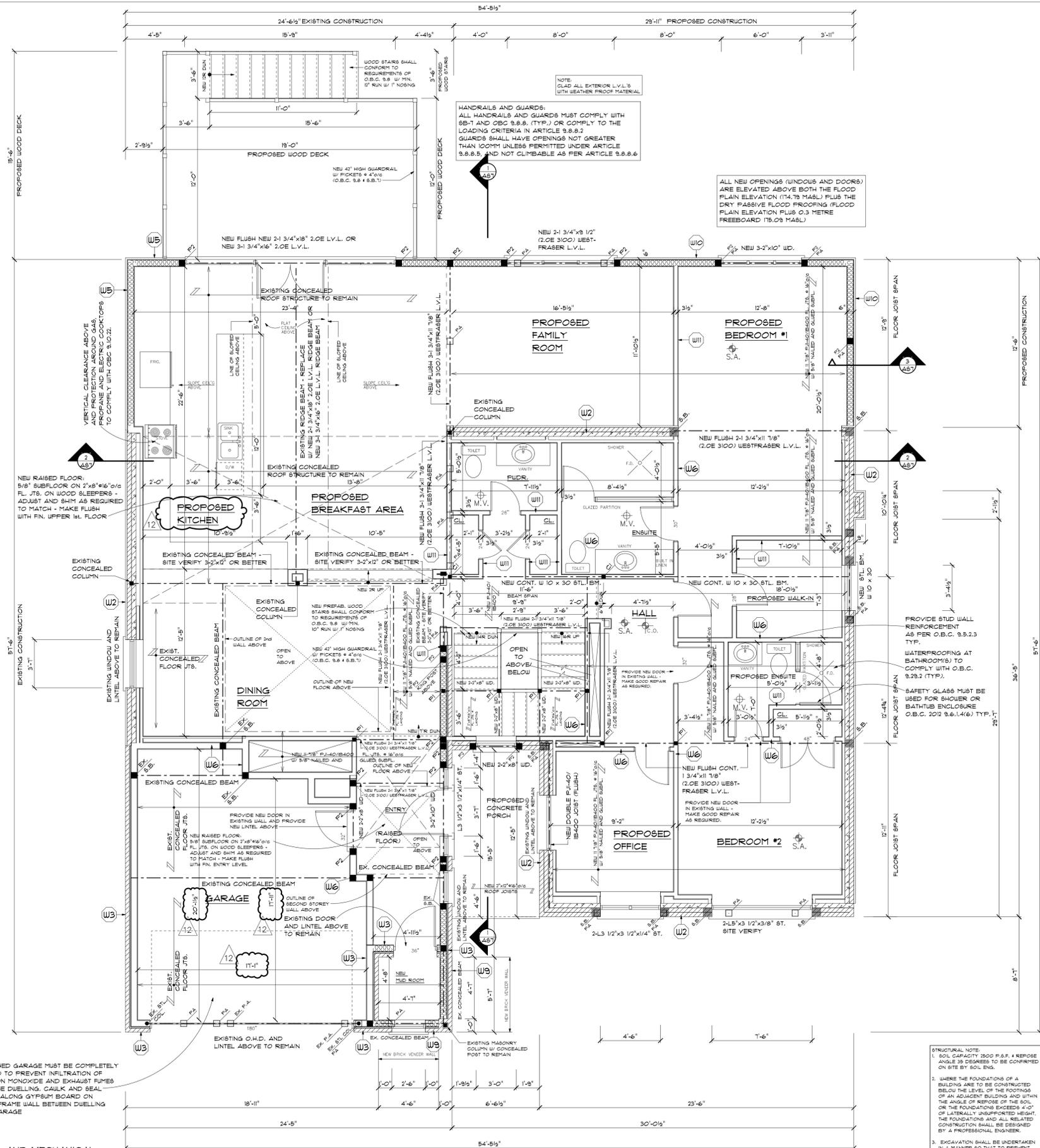
Project Number: 2022-015

Client Name: KAROLINAH

FIRST FLOOR DEMOLITION PLAN

AS3 Drawn By: F.T.

Scale: AS SHOWN Checked By: G.F.



FIRST FLOOR PLAN

SCALE 1/4" = 1'

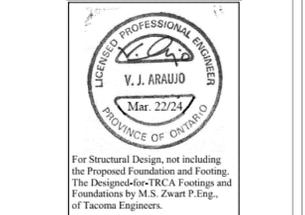
ELECTRICAL NOTE:
ALL NEW ELECTRICAL AND MECHANICAL FEATURES WILL BE ELEVATED ABOVE THE FLOOD PLAIN ELEVATION PLUS 0.3 METRES FREEBOARD 175.09 METRES ABOVE SEA LEVEL.

ALL FLOORS TO BE USED IN CONJUNCTION AS A SINGLE FAMILY DWELLING - THE PROPOSED DEVELOPMENT DOES NOT INCLUDE A SECONDARY DWELLING UNIT OR COOKING FACILITIES AND THAT THE PROPOSED BASEMENT WILL NOT BE CONVERTED INTO A SECONDARY DWELLING UNIT OR TO INCLUDE COOKING FACILITIES.

STRUCTURAL NOTE:
1. SOIL CAPACITY 2500 P.S.F. @ 4' REPOSE ANGLE 35 DEGREES TO BE CONFIRMED ON SITE BY SOIL ENG.
2. WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE FOUNDATIONS EXCEED 4'-0" OF LATERALLY UNSUPPORTED HEIGHT, THE FOUNDATIONS AND ALL RELATED CONSTRUCTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
3. EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO THAT TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY & STRUCTURES.
4. ALL NECESSARY SHORING TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR.

| WALL LEGEND | |
|-------------|--|
| | EXISTING FOUNDATION WALL (TO REMAIN): 10" CONC. BLOCK FDN. WALL ON CONT. FOUR 20#6 THICK CONC. FTG. SITE VERIFY |
| | EXTERIOR SOLID MASONRY WALL (TO REMAIN): 4" BRICK/4" CONC. BLOCK COMPOSITE WALL W/ INTERIOR WOOD STRAPPING AND GYPSUM PLASTER FINISH |
| | EXISTING BRICK VENEER WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED 4" FACE BRICK/STONE, 1" AIR SPACE, EXTERIOR TYPE SHEATHING 2"x6" @16" O/C WOOD STUDS, 1/2" DRYWALL FINISH |
| | EXISTING BRICK VENEER WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED 4" FACE BRICK/STONE, 1" AIR SPACE, EXTERIOR TYPE SHEATHING 2"x6" @16" O/C WOOD STUDS, R-19 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH |
| | EXISTING EXTERIOR FRAME WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED STUCCO FINISH, EXTERIOR TYPE SHEATHING, 2"x6" @16" O/C WOOD STUDS, R-19 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH |
| | EXISTING INTERIOR PARTITION (TO REMAIN): DRYWALL FINISH (BOTH SIDES) 2"x4" @16" O/C WD. STUDS |
| | EXISTING INTERIOR STRAPPING TO REMAIN: WALL ASSEMBLY CONCEALED/ASSUMED GYPSUM PLASTER, EXISTING WD. STRAPPING @ 16" O/C |
| | NEW FOUNDATION WALL: 10" (20MPa) REINFORCED CONCRETE WALL REINFORCED W/ 18M VERT. @ 12" O/C CENTERED IN WALL, 4 18M HORIZONTAL @ 16" O/C AND 18M x 20" x 36" V BENT DOUBLES @ 12" O/C ON 24" WIDE x 12" THICK (20MPa) FOURS CONCRETE STRIP FOOTING REINFORCED W/ 3-18M CONTINUOUS BARS |
| | NEW FOUNDATION WALL: 10" CONC. BLOCK FOUNDATION WALL ON 22"x8" FOUR. CONCRETE FOOTING, REINF. W/ 2-18M CONT. REBARS |
| | NEW BRICK VENEER WALL: 4" FACE BRICK/STONE, 1" AIR SPACE @ 23" THICK x 1/8" WIDE METAL TIES @ 32" O/C HORIZ. 16" O/C VERT., SHEATHING PAPER LAYERS TO OVERLAP, 1/2" FLUID EXT. TYPE SHEATH OR 1/8" OSB EXT. SHEATH, 2"x6" @16" O/C WOOD STUDS, R-19 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH (TAPED & SANDED), DOUBLE TOP PLATE @ BOTTOM |
| | NEW EXTERIOR FRAME WALL: FINISH AS PER ELEVATIONS, SHEATHING PAPER LAYERS TO OVERLAP, 1/2" FLUID EXT. TYPE SHEATH OR 1/8" OSB EXT. SHEATH, 2"x6" @16" O/C WOOD STUDS, R-19 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH (TAPED & SANDED), DOUBLE TOP PLATES, SOLE PLATE @ BOTTOM |
| | NEW INTERIOR PARTITION: 2"x4" @16" O/C 8FR. WOOD STUDS W/ NEW 1/2" DRYWALL FINISH, (TAPED & SANDED) TYPICAL FOR 3 1/2" PART. |
| | NEW FIRST FLOOR INTERIOR STRAPPING: 2"x4" @16" O/C WOOD STRAPPING (SET BACK 1" FROM SOLID MASONRY WALL), MIN. R20 G1 OR R12-10 G1 INSULATION WITH MINIMUM 1" OF INSULATION BEHIND STUDS, 1/2" DRYWALL INTERIOR FINISH |

| LEGEND | |
|--------|---|
| | SMOKE ALARMS AS PER 9.10.19 2012 O.B.C. |
| | MECHANICAL VENTILATION |
| | CARBON MONOXIDE AS PER 9.33.4 2012 O.B.C. |
| | FLOOR DRAIN |
| | 3-2"x4" WOOD POST |
| | 3-2"x6" WOOD POST |
| | 4-2"x6" WOOD POST |
| | POST ABOVE |
| | POINT LOAD ABOVE |
| | STEEL COLUMN ABOVE |
| | 8"x10"x12" ST. PLATE PLUS 2-1/2" DIA. ANCH. BOLTS (TYP.) |
| | 3 1/2" DIA. x 0.188 HSS W/ WELDED 6"x6"x3/8" TOP PLATE BOTTOM PLATE 8"x12"x8" PLUS 2-1/2" DIA. ANCHOR BOLTS |
| | DENOTES 24"x24"x10" THICK FOUR. CONC. (20 MPa) PAD FTG. |
| | DENOTES 36"x36" OFF SET DIMENSIONS x14" THICK FOUR. CONC. (20 MPa) PAD FTG., C/A 10M @ 8" O/C DWELLS x 16" LONG, SOLID IMBED TO EXISTING FOOTING @ EACH |
| | CHECK/CONFIRM AND OR REPLACE W/ 48"x48"x18" THICK FOURS CONCRETE FOOTING R/W 18M @ 6" O/C BOTTOM BARS BOTH WAYS |
| | 6"x6" WOOD POST (PRESSURE TREATED) ANCHORED W/ METAL SHOW AND 2-1/2" ANCHOR BOLTS TO 12" CONCRETE PIER FOOTING, MIN. 6" ABOVE GRADE AND 4-0" BELOW GRADE |



| QUALIFICATION INFORMATION | |
|----------------------------------|--------------|
| DESIGNER | V. J. ARAUJO |
| DATE | 08/18/2022 |
| REGISTRATION INFORMATION | |
| REGISTERED PROFESSIONAL ENGINEER | 12000 |
| PROVINCE OF ONTARIO | 000 |

| No. | Description | Date |
|-----|--------------------------------|------------|
| 1 | CLIENT APPROVAL | 08/08/2022 |
| 2 | REVISED AS PER CLIENT REQUEST | 08/18/2022 |
| 3 | P.ENG REVIEW | 10/31/2022 |
| 4 | HVAC DESIGN | 11/22/2022 |
| 5 | BUILDING PERMIT APPLICATION | 01/06/2023 |
| 6 | REVISED AS PER T.R.C.A. NOTICE | 03/13/2023 |
| 7 | REAR WOOD DECK ADDED | 05/23/2023 |
| 8 | ZONING REVIEW | 05/29/2023 |
| 9 | REVISED AS PER T.R.C.A. NOTICE | 08/16/2023 |
| 10 | REVISED AS PER T.R.C.A. NOTICE | 03/07/2024 |
| 11 | REVISED AS PER T.R.C.A. NOTICE | 06/04/2024 |
| 12 | REVISED AS PER ZONING NOTICE | 02/04/2025 |
| 13 | REVISED AS PER ZONING NOTICE | 02/26/2025 |
| 14 | COMMITTEE OF ADJUSTMENT | 04/01/2025 |

Uptown Architecture
53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description: **Arch D**
PROPOSED TWO STOREY
REAR ADDITION AND SECOND FLOOR
ADDITION OVER ONE STOREY PORTION

Project Address:
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number: **2022-015**

Client Name: **KAROLINAH**

PROPOSED FIRST FLOOR PLAN

| | |
|------------------------|-------------------------|
| AS3.1 | Drawn By: F.T. |
| Scale: AS SHOWN | Checked By: G.F. |

BATHROOM DESIGN REQUIREMENTS:
WALL ENCLOSING THE MAIN BATHROOM IN A DWELLING UNIT, SHALL HAVE REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF A GRAB-BAR ON THE WALL ADJACENT TO A WATER CLOSET AND A SHOWER AND BATHTUB. O.B.C. 2012, 9.5.2.3. STUD WALL REINFORCEMENT IS REQUIRED FOR A WATER CLOSET, A SHOWER AND A BATHROOM FOR THE MAIN BATHROOM IN A DWELLING UNIT. SEE O.B.C. 2012, VOL.2 APPENDIX, A-3.8.3.13.14 FOR THE REQUIRED GRAB BAR REINFORCEMENT LOCATIONS. SAFETY GLASS MUST BE USED FOR SHOWER OR BATHTUB ENCLOSURE(S). O.B.C. 2012, 9.6.1.4.16) TYP.

FIRE BLOCKING NOTES TYPICAL:
FIREBLOCK NOT REQUIRED IN WALL ASSEMBLY WITH ONE CONCEALED SPACE WITH WIDTH 039MM FIREBLOCKS ARE REQUIRED IN ALL CONCEALED SPACES BETWEEN INTERIOR AND EXTERIOR WALLS. ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN CEILINGS AND SOFFITS, AND THE TOP AND BOTTOM OF EACH RUN OF STAIRS WHERE THEY PASS THROUGH A FLOOR CONTAINING CONCEALED SPACE. FIREBLOCKS SHALL BE PROVIDED TO BLOCK OFF CONCEALED SPACES WITH WALL ASSEMBLIES (WHERE NO INSULATION IS INSTALLED) AT EACH FLOOR LEVEL AND CEILING LEVEL SO THAT THE DISTANCE BETWEEN FIREBLOCKS DOES NOT EXCEED 20M HORIZONTALLY AND 3M VERTICALLY. O.B.C. 2012, 9.10.16 FIREBLOCKS MATERIAL(S) SHALL REMAIN IN PLACE AND PREVENT THE PASSAGE OF FLAMES FOR NOT LESS THAN 30MIN. WHEN SUBJECT TO CANULC-8101 OR COMPLY WITH MATERIALS SPECIFIED IN O.B.C. 2012, 9.10.16.3(2) AND (3).

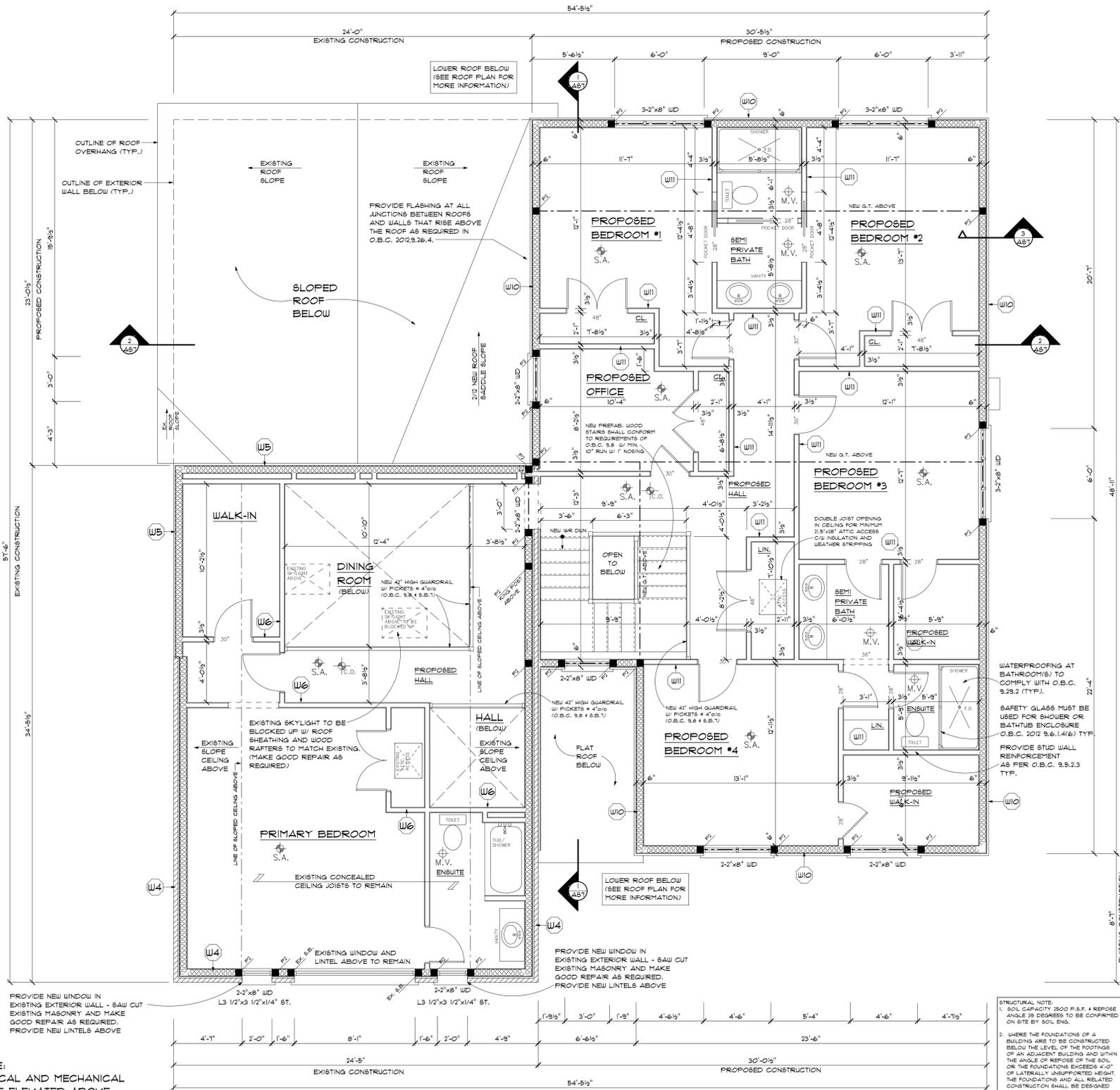
CONSTRUCTION NOTES:

1. ALL MEMBERS SHALL BE SO FRAMED, FASTENED, TIED, BRACED AND ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY AND STABILITY PER OBC 9.23.2.1.
2. PROVIDE ALL BRACING, SHORING AND NEEDING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK.
3. ALL LOADS MUST BE SUPPORTED AND TRANSFERRED TO FOUNDATION OR ADEQUATE SUPPORT. O.B.C. 9.23.4.2, 9.17.9.15, 9.20.8.3, 9.23.8.1, 9.23.10.1, AND 9.23.9.8.
4. PROVIDE POSTS UNDER ALL BEAMS/GIRDERS/TRUSSES, ETC. POSTS ARE TO RUN CONTINUOUS TO THE FOUNDATION OR EQUIVALENT SUPPORT. OBC 9.20.8.3, 9.23.8.1, 9.23.10.1.

SPRAY FOAM INSULATION

1. ROOF INSULATION CONFORMS TO CANULC 87001 THERMAL INSULATION SPRAY APPLIED RIGID POLYURETHANE FOAM MEDIUM DENSITY MATERIAL. SPECIFICATIONS, VERIFICATION THAT THE INSULATION CONFORMS TO THIS STANDARD IS TO BE SUBMITTED TO PLAN REVIEW.
2. INSULATION INSTALLERS ARE TO BE CERTIFIED BY THE MANUFACTURER. INSULATION IS TO BE INSTALLED IN ACCORDANCE WITH CANULC 87001 THERMAL INSULATION SPRAY APPLIED RIGID POLYURETHANE FOAM MEDIUM DENSITY. INSTALLER'S RESPONSIBILITIES SPECIFICATION.
3. UPON COMPLETION OF THE SPRAY FOAM INSTALLATION, THE CERTIFIED INSTALLER OR A PROFESSIONAL ENGINEER MUST SUBMIT TO THE INSPECTOR VERIFICATION THAT THE INSTALLATION OF THE SYSTEM HAS BEEN COMPLETED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS/STANDARDS.
4. DUE TO THE HAZARDOUS CONDITIONS RELATED TO OFF GASSING, NO INSPECTIONS SHALL BE CONDUCTED UNTIL 24 HOURS AFTER INSTALLATION.
5. CONTINUOUS 6 MIL POLY VAPOUR BARRIER IS TO BE INSTALLED ON THE WARM SIDE OF THE CEILING. POT LIGHTS ARE ACCEPTABLE IF THEY ARE SEALED UNITS LISTED BY ULC AND THE VAPOUR BARRIER IS INSTALLED AROUND THE LIGHT.

ELECTRICAL NOTE:
ALL NEW ELECTRICAL AND MECHANICAL FEATURES WILL BE ELEVATED ABOVE THE FLOOD PLAIN ELEVATION PLUS 0.3 METRES FREEBOARD (15.09 METRES ABOVE SEA LEVEL).

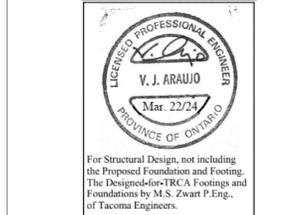


WALL LEGEND

- W1 EXISTING FOUNDATION WALL (TO REMAIN): 10" CONC. BLOCK FDN. WALL ON CONT. FOUR 20#6 THICK CONC. FTG. SITE VERIFY
- W2 EXTERIOR SOLID MASONRY WALL (TO REMAIN): 4" BRICK/4" CONC. BLOCK COMPOSITE WALL W/ INTERIOR WOOD STRAPPING AND GYF/PLASTER FINISH
- W3 EXISTING BRICK VENEER WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED 4" FACE BRICK/STONE, 1" AIR SPACE, EXTERIOR TYPE SHEATHING 2"x6" #16 @ 16" O/C WOOD STUDS, 1/2" DRYWALL FINISH
- W4 EXISTING BRICK VENEER WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED 4" FACE BRICK/STONE, 1" AIR SPACE, EXTERIOR TYPE SHEATHING 2"x6" #16 @ 16" O/C WOOD STUDS, R-19 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH
- W5 EXISTING EXTERIOR FRAME WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED STUCCO FINISH, EXTERIOR TYPE SHEATHING, 2"x6" #16 @ 16" O/C WOOD STUDS, R-19 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH
- W6 EXISTING INTERIOR PARTITION (TO REMAIN): DRYWALL FINISH (BOTH SIDES) 2"x4" #6 @ 16" O/C WOOD STUDS
- W7 EXISTING INTERIOR STRAPPING (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED GYF/PLASTER, EXISTING W.D. STRAPPING @ 16" O/C
- W8 NEW FOUNDATION WALL: 10" CONC. BLOCK FOUNDATION WALL ON 22"x8" FOUR. CONCRETE FOOTING, REINF. W/ 2-#1M CONT. REBARS
- W9 NEW BRICK VENEER WALL: 4" FACE BRICK/STONE, 1" AIR SPACE, 0.23 THICK x 1/8" WIDE METAL TIES @ 32" O/C HORIZ. 16" O/C VERT. SHEATHING PAPER LAYERS TO OVERLAP, 1/2" FLUID EXT. TYPE SHEATH OR 1/8" OSB EXT. SHEATH, 2"x6" #16 @ 16" O/C WOOD STUDS, R-19-501 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH (TAPED & SANDED), DOUBLE TOP PLATE & BOTTOM
- W10 NEW EXTERIOR FRAME WALL: FINISH AS PER ELEVATIONS, SHEATHING PAPER LAYERS TO OVERLAP, 1/2" FLUID EXT. TYPE SHEATH OR 1/8" OSB EXT. SHEATH, 2"x6" #16 @ 16" O/C WOOD STUDS, R-19-501 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH (TAPED & SANDED), DOUBLE TOP PLATES, SOLE PLATE @ BOTTOM
- W11 NEW INTERIOR PARTITION: 2"x4" #16 @ 16" O/C SFR. WOOD STUDS W/ NEW 1/2" DRYWALL FINISH (TAPED & SANDED) TYPICAL FOR 3 1/2" PART.
- W12 NEW FIRST FLOOR INTERIOR STRAPPING: 2"x4" #16 @ 16" O/C WOOD STRAPPING (SET BACK 1" FROM SOLID MASONRY WALL), MIN. R20 G1 OR R12+10 G1 INSULATION WITH MINIMUM 1" OF INSULATION BEHIND STUDS, 1/2" DRYWALL INTERIOR FINISH

LEGEND

- S.A. SMOKE ALARMS AS PER 9.10.19 2012 O.B.C.
- M.V. MECHANICAL VENTILATION
- C.O. CARBON MONOXIDE AS PER 9.33.4 2012 O.B.C.
- F.D. FLOOR DRAIN
- 3-2"x4" WOOD POST
- 3-2"x6" WOOD POST
- 4-2"x8" WOOD POST
- POST ABOVE
- POINT LOAD ABOVE
- STEEL COLUMN ABOVE
- 8"x10"x1/2" ST. FLATE PLUS 2-1/2" DIAM. ANCH. BOLTS (TYP.)
- 3 1/2" DIA. x 0.188 INES W/ WELDED 6"x6"x3/8" TOP PLATE BOTTOM PLATE 8"x12"x8" PLUS 2-1/2" DIA. ANCHOR BOLTS
- 3 1/2" DIA. x 0.188 INES W/ WELDED 6"x6"x3/8" TOP PLATE BOTTOM PLATE 8"x12"x8" PLUS 2-1/2" DIA. ANCHOR BOLTS
- 3 1/2" DIA. x 0.188 INES W/ WELDED 6"x6"x3/8" TOP PLATE BOTTOM PLATE 8"x12"x8" PLUS 2-1/2" DIA. ANCHOR BOLTS
- 6"x6" WOOD POST (PRESSURE TREATED) ANCHORED W/ METAL SHOW AND 2-1/2" ANCHOR BOLTS TO 12" CONCRETE PIER FOOTING, MIN. 6" ABOVE GRADE AND 4'-0" BELOW GRADE



QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGNER IS REGISTERED UNDER DIVISION C. 12.4.1 OF THE BUILDING CODE

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGNER IS REGISTERED UNDER DIVISION C. 12.4.1 OF THE BUILDING CODE

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| 13 | REVISED AS PER ZONING NOTICE | 02/26/2025 |
| 14 | COMMITTEE OF ADJUSTMENT | 04/01/2025 |

Uptown Architecture

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1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description: **Arch D**
PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION

Project Address:
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number: **2022-015**

Client Name: **KAROLINAH**

PROPOSED SECOND FLOOR PLAN

| | |
|------------------------|-------------------------|
| AS4.1 | Drawn By: F.T. |
| Scale: AS SHOWN | Checked By: G.F. |

STRUCTURAL NOTE:

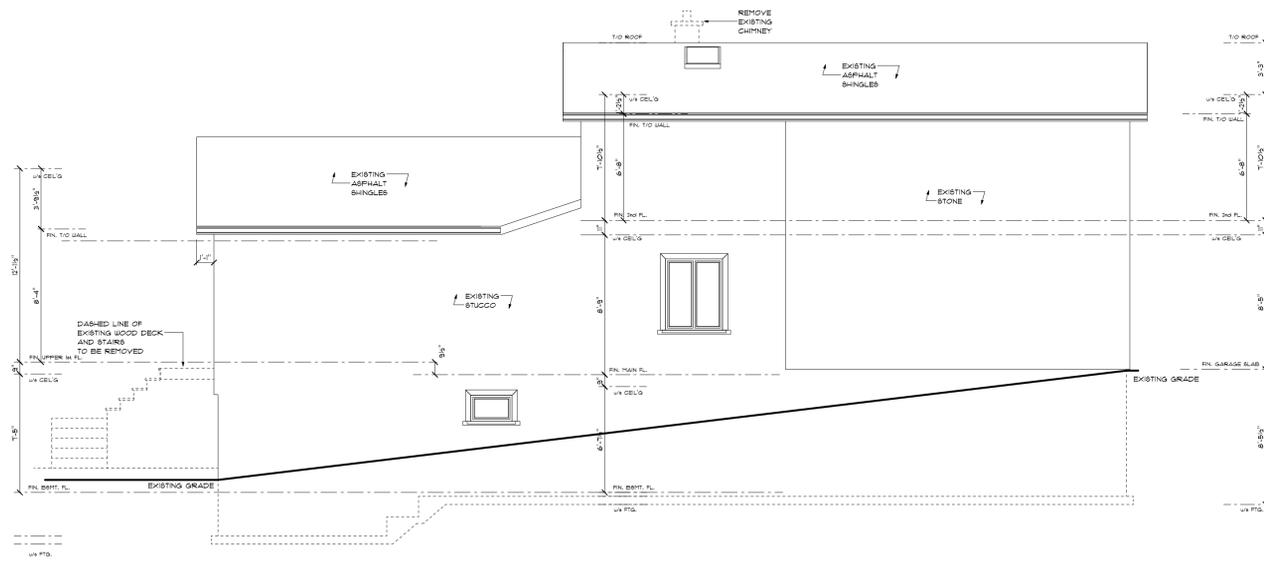
1. SOIL CAPACITY 2500 P.S.F. 4 REPOSE ANGLE 35 DEGREES TO BE CONFIRMED ON SITE BY SOIL ENG.
2. WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE FOUNDATIONS EXCEED 4'-0" OF LATERNALLY UNSUPPORTED HEIGHT, THE FOUNDATIONS AND ALL RELATED CONSTRUCTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
3. FOUNDATION SHALL BE UNDERTAKEN IN A MANNER SO THAT TO PREVENT ADJACENT PROPERTY DAMAGE TO ADJACENT STRUCTURES.
4. ALL NECESSARY SHORING TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR.

ALL FLOORS TO BE USED IN CONJUNCTION AS A SINGLE FAMILY DWELLING - THE PROPOSED DEVELOPMENT DOES NOT INCLUDE A SECONDARY DWELLING UNIT OR COOKING FACILITIES AND THAT THE PROPOSED BASEMENT WILL NOT BE CONVERTED INTO A SECONDARY DWELLING UNIT OR TO INCLUDE COOKING FACILITIES.

SECOND FLOOR PLAN

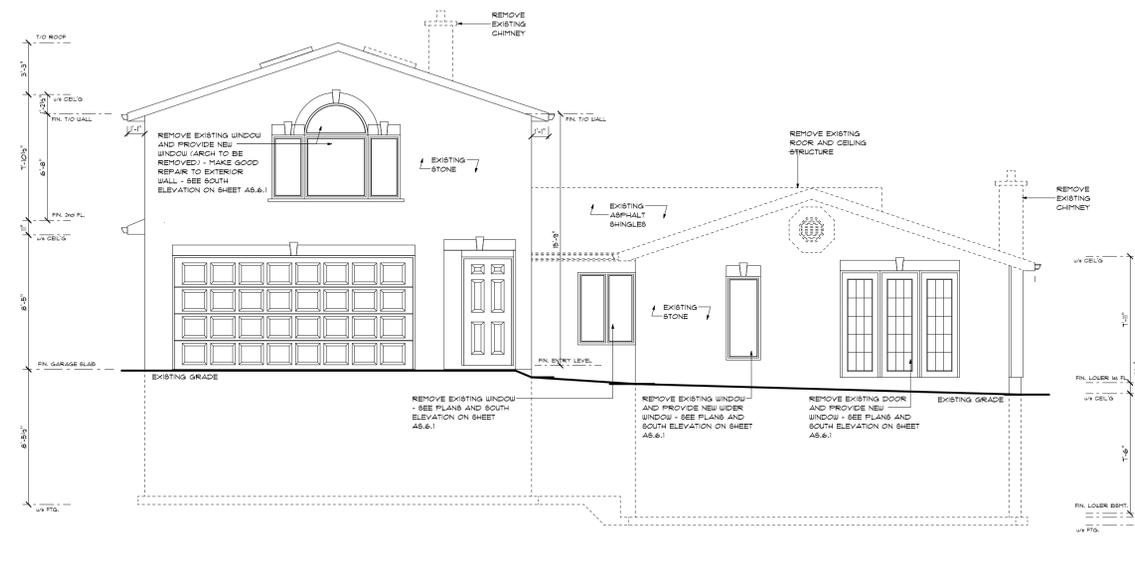
SCALE 1/4" = 1'

0 1 2 3 4 5 10 Feet



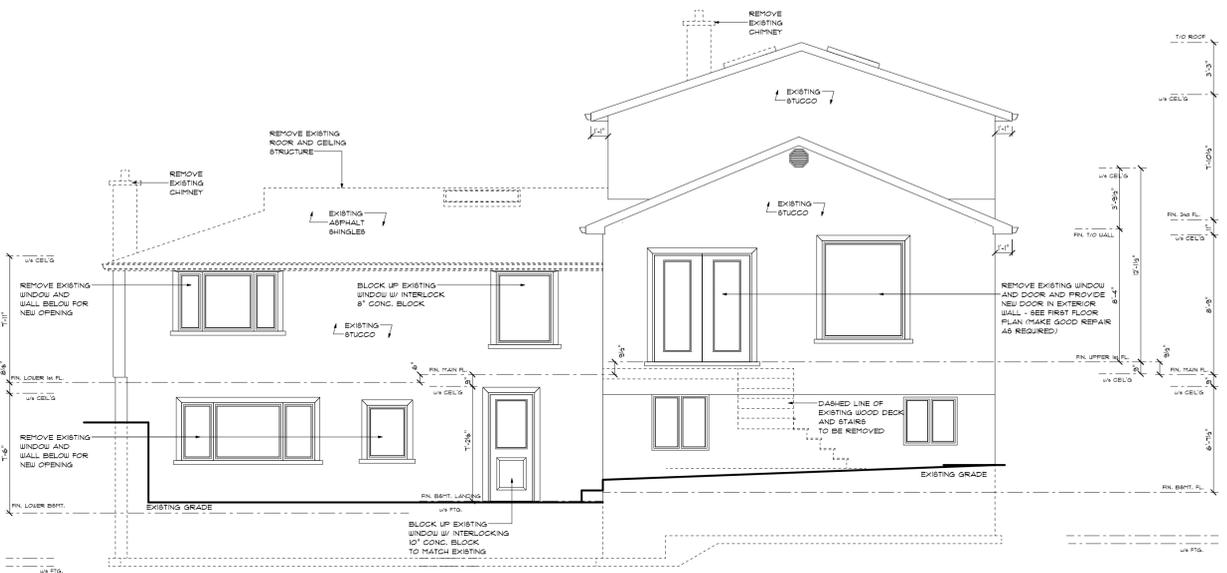
EAST ELEVATION

SCALE 3/16" = 1'-0"
0 1 2 3 4 5 10 Feet



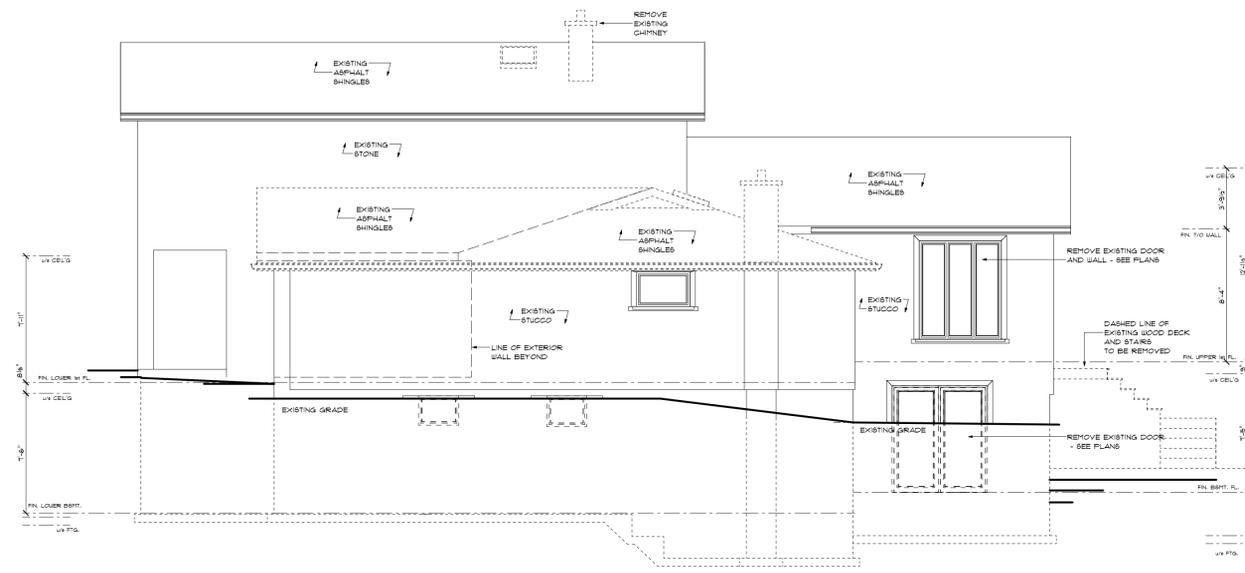
NORTH ELEVATION

SCALE 3/16" = 1'-0"
0 1 2 3 4 5 10 Feet



SOUTH ELEVATION

SCALE 3/16" = 1'-0"
0 1 2 3 4 5 10 Feet



WEST ELEVATION

SCALE 3/16" = 1'-0"
0 1 2 3 4 5 10 Feet

| | |
|---|-------------------|
| THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER | |
| QUALIFICATION INFORMATION REQUIRED UNLESS DESIGNER IS EMPLOYED UNDER DIVISION C. 12.4.3 OF THE BUILDING CODE | |
| CONSULTANT (NAME) _____ | LICENSE NO. _____ |
| DESIGNER (NAME) _____ | LICENSE NO. _____ |
| REGISTRATION INFORMATION REQUIRED UNLESS DESIGNER IS EMPLOYED UNDER DIVISION C. 12.4.3 OF THE BUILDING CODE | |
| LICENSE NO. _____ | LICENSE NO. _____ |
| DESIGNER (NAME) _____ | LICENSE NO. _____ |

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| 11 | REVISED AS PER T.R.C.A. NOTICE | 06/04/2024 |
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| 14 | COMMITTEE OF ADJUSTMENT | 04/01/2025 |



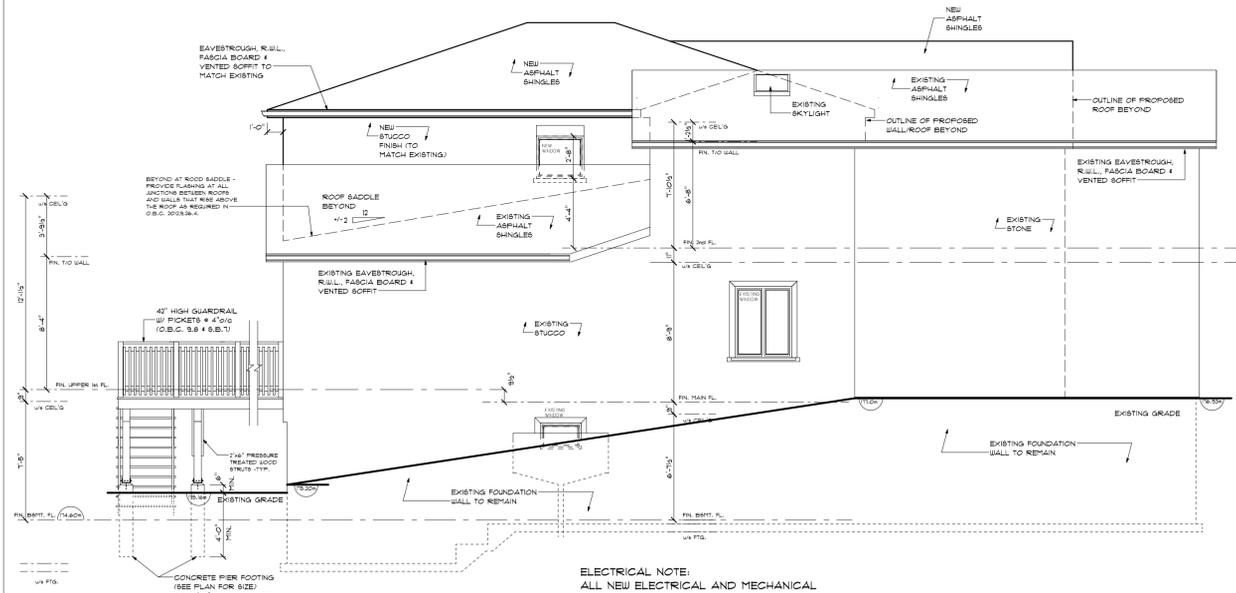
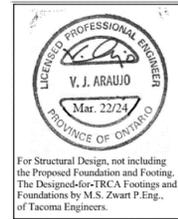
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Project Title & Description: **Arch D**
 PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION
 Project Address:
 31 BAKERDALE ROAD
 MARKHAM, ONTARIO
 L3P1J3

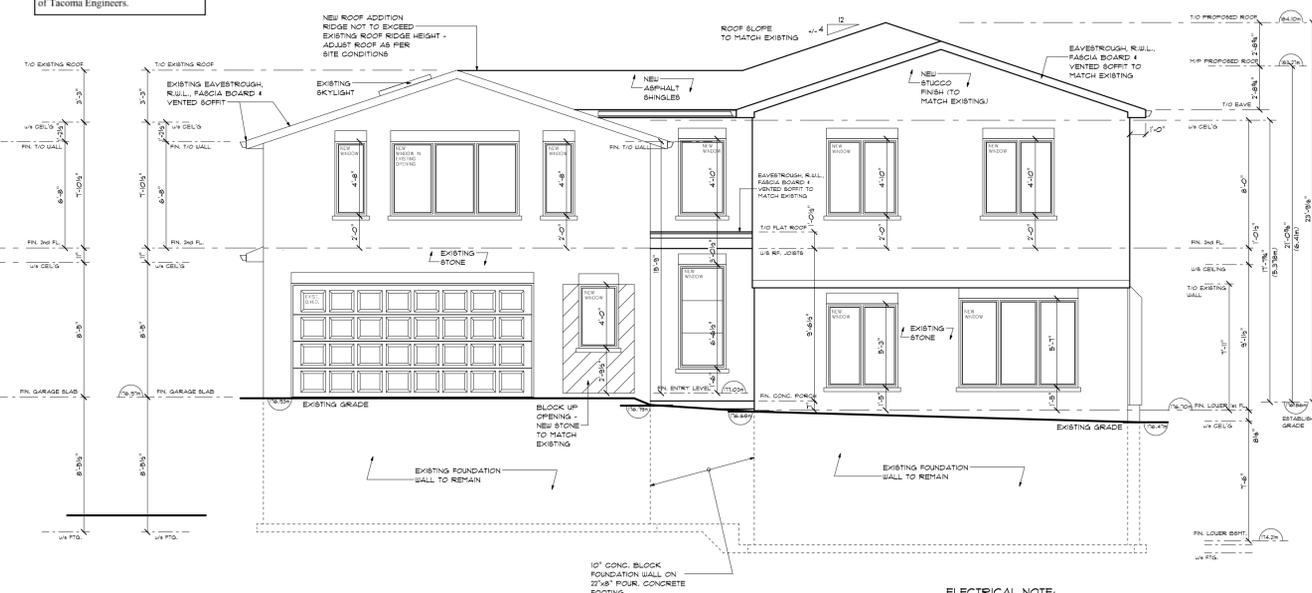
Project Number: **2022-015**
 Client Name: **KAROLINAH**

EXISTING/DEMO ELEVATIONS

| | |
|------------------------|-------------------------|
| AS6 | Drawn By: F.T. |
| Scale: AS SHOWN | Checked By: G.F. |



EAST ELEVATION
SCALE 3/16" = 1'-0"



NORTH ELEVATION
SCALE 3/16" = 1'-0"

ELECTRICAL NOTE:
ALL NEW ELECTRICAL AND MECHANICAL FEATURES WILL BE ELEVATED ABOVE THE FLOOD PLAIN ELEVATION PLUS 0.3 METRES FREEBOARD 175.03 METRES ABOVE SEA LEVEL.

ELECTRICAL NOTE:
ALL NEW ELECTRICAL AND MECHANICAL FEATURES WILL BE ELEVATED ABOVE THE FLOOD PLAIN ELEVATION PLUS 0.3 METRES FREEBOARD 175.03 METRES ABOVE SEA LEVEL.

GLASS AND DOORS:
UNLESS SPECIFIED BY ADJACENT GROUND LEVEL, ALL GLASS AND DOORS SHALL BE ELEVATED TO THE FINISHED GRADE AS SHOWN IN THESE ELEVATIONS. UNLESS OTHERWISE SPECIFIED, ALL GLASS SHALL BE 1/2\"/>

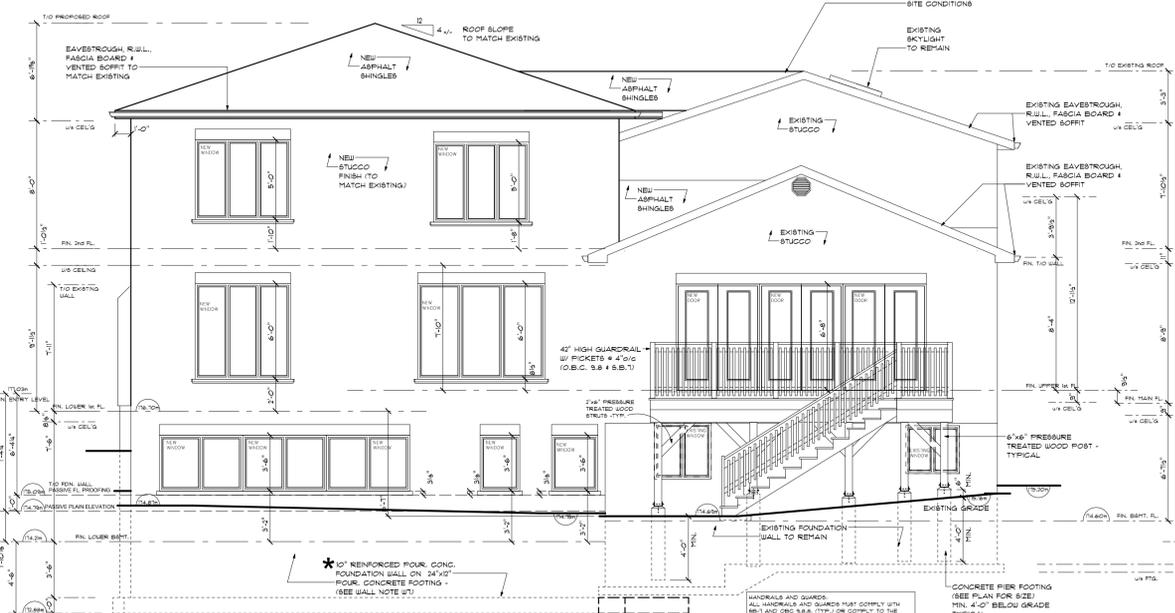
ENTRY DOORS:
MAIN ENTRANCE DOORS AND THEIR COMPONENTS SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO PROVIDE WEATHER PROTECTION. THEY SHALL BE ELEVATED TO THE FINISHED GRADE AS SHOWN IN THESE ELEVATIONS. UNLESS OTHERWISE SPECIFIED, ALL GLASS SHALL BE 1/2\"/>

ESTABLISHED GRADE CALCULATIONS
(176.66 + 11.03) = 176.66

ELECTRICAL NOTE:
ALL NEW ELECTRICAL AND MECHANICAL FEATURES WILL BE ELEVATED ABOVE THE FLOOD PLAIN ELEVATION PLUS 0.3 METRES FREEBOARD 175.03 METRES ABOVE SEA LEVEL.

ALL ROOFING MATERIAL SHALL CONFORM TO THE STANDARDS LISTED IN O.B.C. 202, 9.26.2, AND THE SLOPE APPLICATION LIMITS FOR THE ROOFING MATERIALS MUST COMPLY WITH TABLE 9.26.3.1.

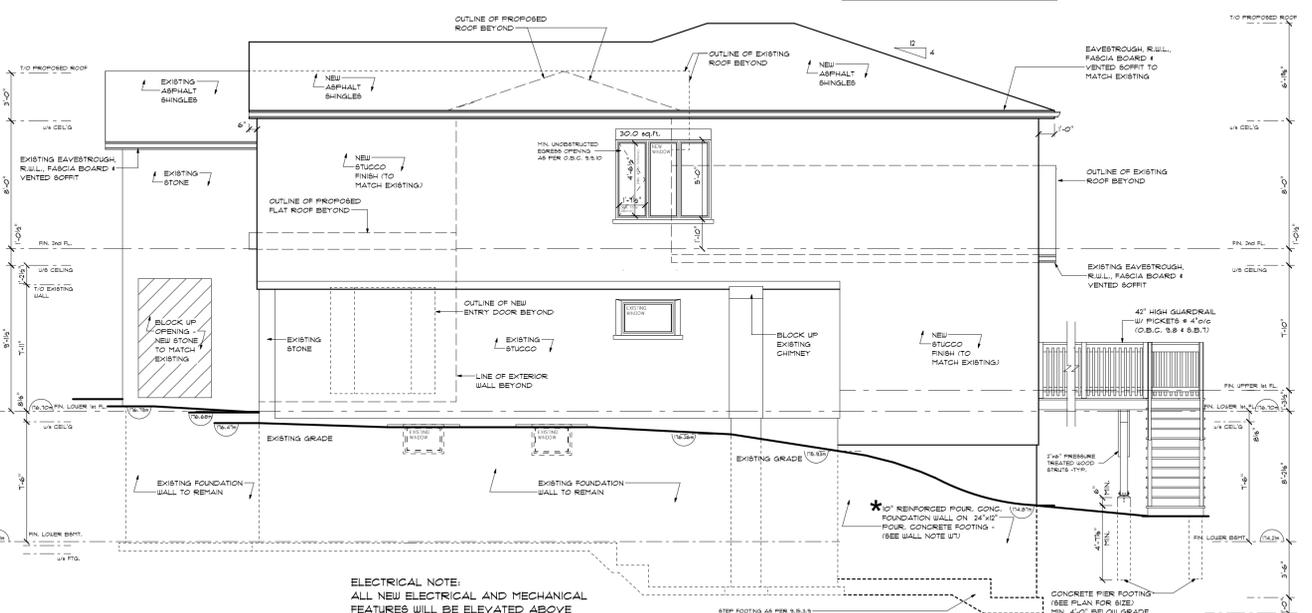
RESIDENTIAL UNRESTRICTED OPENING CALCULATION
LITING DISTANCE = 8.85' x WALL AREA = 380.00 sq ft
ALLOWABLE GLAZING = (10.0 x 1.0) x 1.0 = 10.0 sq ft
PROPOSED GLAZING = 30.0 sq ft
NOTE: NO UNRESTRICTED OPENINGS ARE PERMITTED FOR WALLS WITH 1.5x (H/L) OF THE LOT LINE AS PER 9.04.4 OF THE O.B.C.



SOUTH ELEVATION
SCALE 3/16" = 1'-0"

ELECTRICAL NOTE:
ALL NEW ELECTRICAL AND MECHANICAL FEATURES WILL BE ELEVATED ABOVE THE FLOOD PLAIN ELEVATION PLUS 0.3 METRES FREEBOARD 175.03 METRES ABOVE SEA LEVEL.

EVERY WALKING SURFACE SHALL BE PROTECTED BY A RAIL OR HANDRAIL GUARD WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE WALKING SURFACE AND ADJACENT SURFACE EXCEEDS 300MM (12\"/>



WEST ELEVATION
SCALE 3/16" = 1'-0"



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

| QUALIFICATION INFORMATION | |
|----------------------------------|------------------------|
| DESIGNER | V. J. ARAUJO |
| DATE | 2024-03-22 |
| REGISTRATION INFORMATION | |
| REGISTERED PROFESSIONAL ENGINEER | 100502999 |
| PROFESSION | STRUCTURAL ENGINEERING |
| ISSUE DATE | 2024-03-22 |
| EXPIRES | 2025-03-22 |

ITEMS DESIGNED AS REQUESTED.

| No. | Description | Date |
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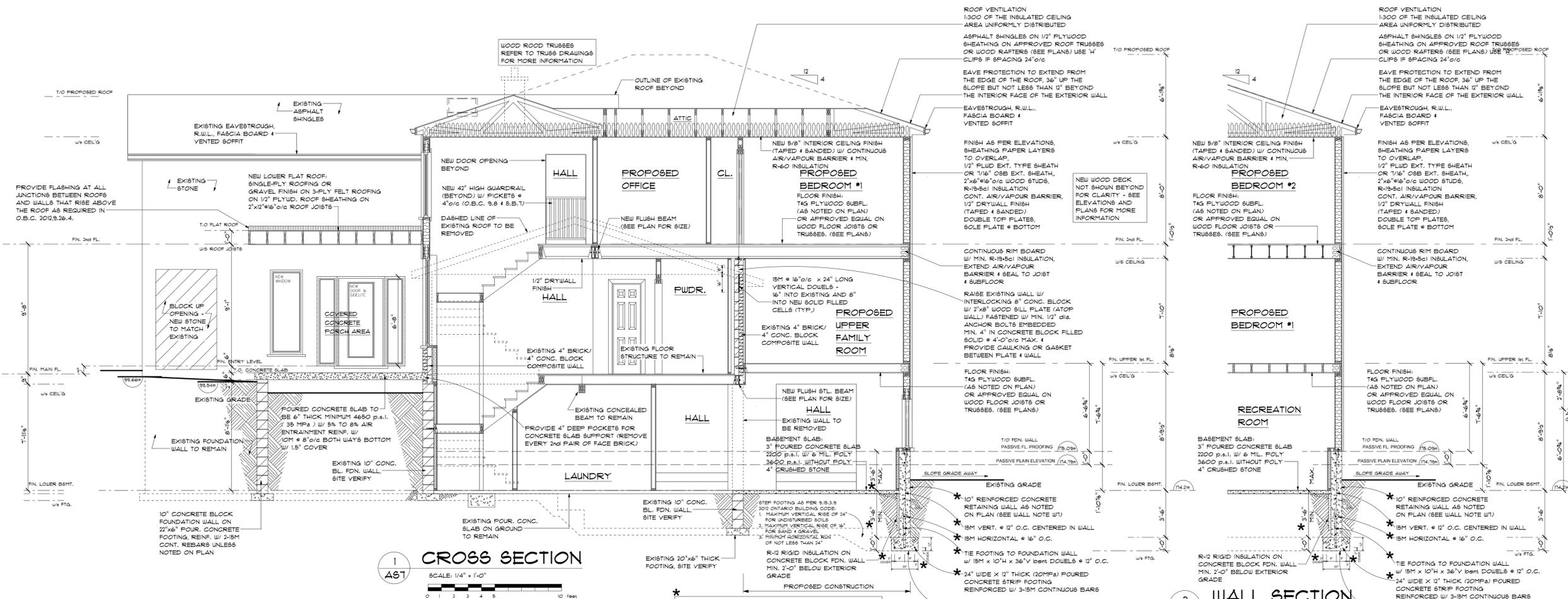
Project Title & Description: **Arch D**
PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORCH

Project Address:
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number: **2022-015**
Client Name: **KAROLINAH**

PROPOSED ELEVATIONS

AS6.1 Drawn By: **F.T.**
Scale: **AS SHOWN** Checked By: **G.F.**



1
AS7
CROSS SECTION
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5 10 Feet

ELECTRICAL NOTE:
ALL NEW ELECTRICAL AND MECHANICAL FEATURES WILL BE ELEVATED ABOVE THE FLOOD PLAIN ELEVATION PLUS 0.3 METRES FREEBOARD 115.03 METRES ABOVE SEA LEVEL.



For Structural Design, not including the Proposed Foundation and Footing, The Designer/for TRCA Footings and Foundations by M.S. Zwart P. Eng., of Tacoma Engineers.

- NOTES:**
- BURCHARGE = 2.4 KPa
 - K_s = 0.31 Kp + 6.0
 - WEIGHT SOIL = 20.4 kN/m³ (SATURATED SOIL)
 - CONCRETE: 20 MPa
 - FOOTING: 20 MPa
 - WALL: 25 MPa F2 (0.50 w/c ratio 5%-8% AIR ENTRAINMENT)
 - ALL REBAR TO BE GRADE 400 DEFORMED BAR

3
AS7
WALL SECTION
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5 10 Feet

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| 9 | REVISED AS PER T.R.C.A. NOTICE | 08/16/2023 |
| 10 | REVISED AS PER T.R.C.A. NOTICE | 03/07/2024 |
| 11 | REVISED AS PER T.R.C.A. NOTICE | 06/04/2024 |
| 12 | REVISED AS PER ZONING NOTICE | 02/04/2025 |
| 13 | REVISED AS PER ZONING NOTICE | 02/26/2025 |
| 14 | COMMITTEE OF ADJUSTMENT | 04/01/2025 |

Uptown Architecture
53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description: **Arch D**
PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION

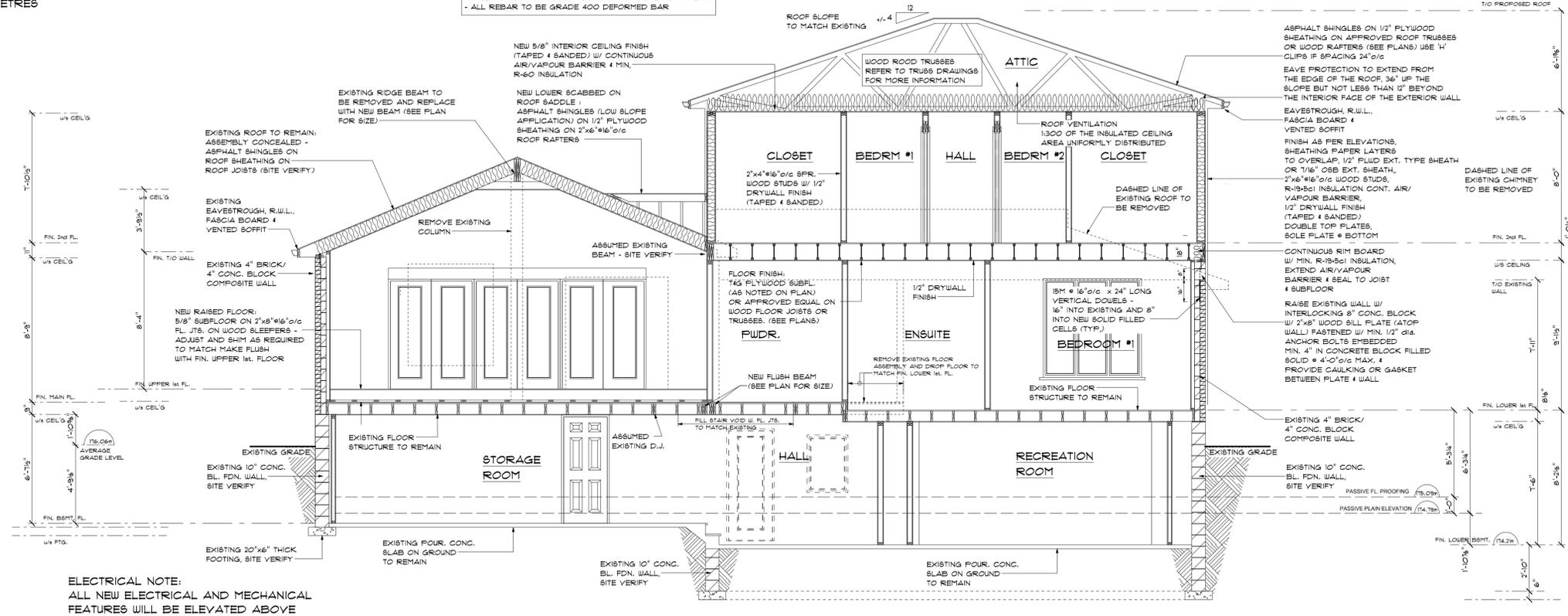
Project Address:
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number: **2022-015**

Client Name: **KAROLINAH**

CROSS SECTIONS

| | |
|--------------------------|----------------------------|
| AS7 | Drawn By: F.T. |
| Scale AS SHOWN | Checked By: G.F. |

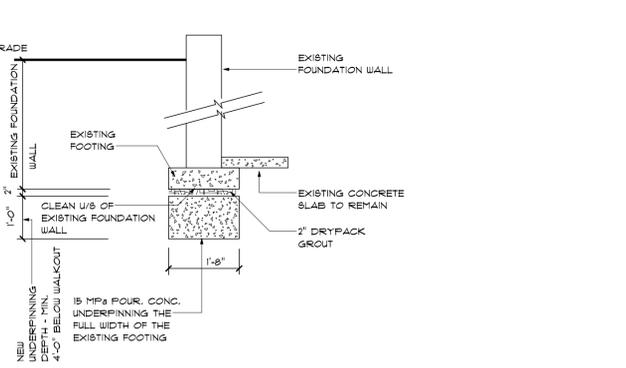
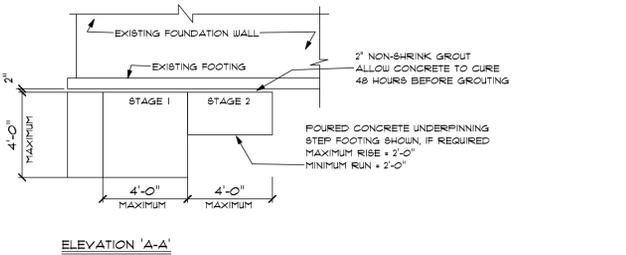
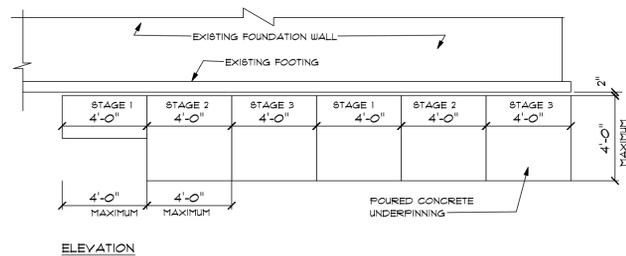
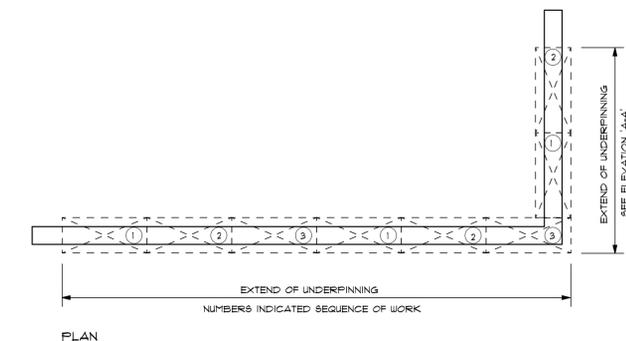


2
AS7
CROSS SECTION
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5 10 Feet

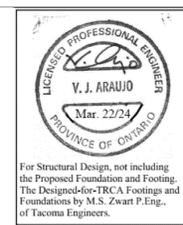
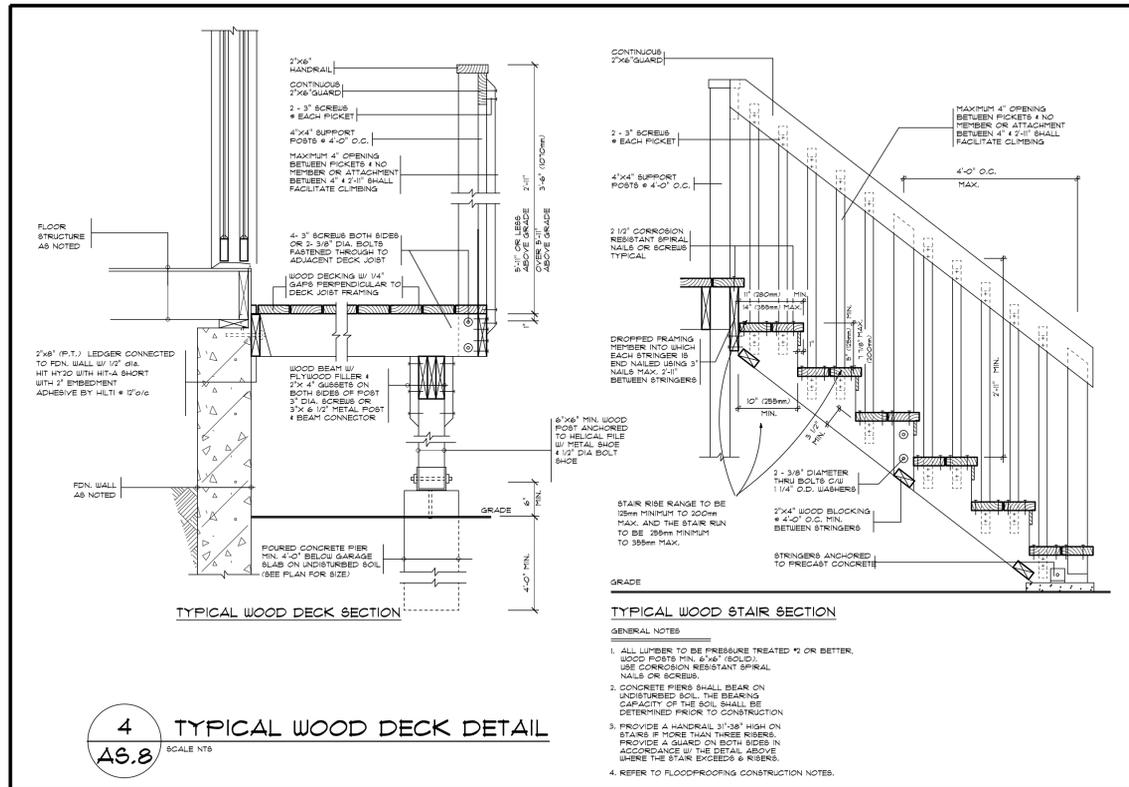
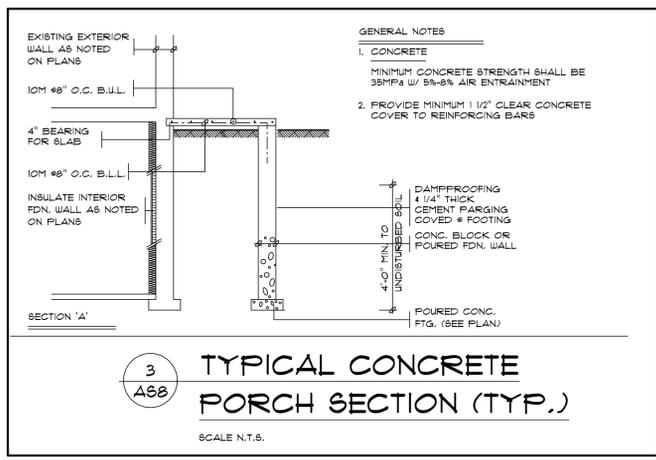
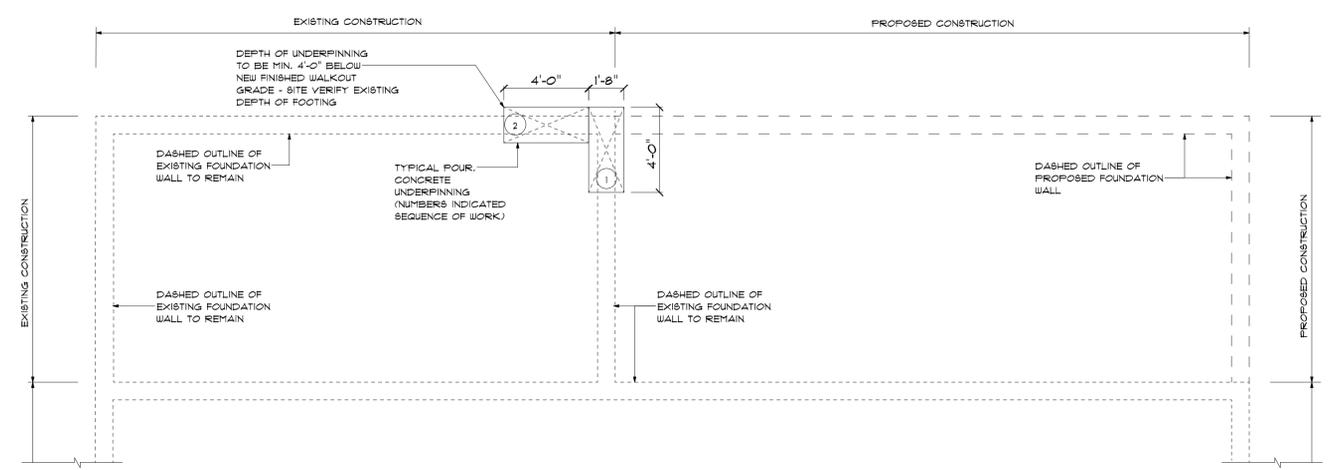
ELECTRICAL NOTE:
ALL NEW ELECTRICAL AND MECHANICAL FEATURES WILL BE ELEVATED ABOVE THE FLOOD PLAIN ELEVATION PLUS 0.3 METRES FREEBOARD 115.03 METRES ABOVE SEA LEVEL.

AVERAGE GRADE LEVEL CALCULATIONS

| | | | | | | | | | | | |
|-----------------------------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|--------|
| 116.33m | 116.73m | 116.68m | 116.47m | 116.26m | 115.93m | 114.87m | 114.75m | 114.63m | 115.16m | 115.20m | 111.0m |
| 116.06m AVERAGE GRADE LEVEL | | | | | | | | | | | |



- NOTES:**
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL OR THE UNDERPINNING EXCEEDS 4'-0" OF LATEROALLY UNSUPPORTED HEIGHT, THE UNDERPINNING AND ALL RELATED CONSTRUCTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
 - EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO THAT TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, STRUCTURES, UTILITIES, ROADS & SIDEWALKS, CONTACT LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION
 - MINIMUM CONCRETE STRENGTH FOR UNDERPINNING SHALL BE 15 MPa (2200 psi) AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE 32 MPa (4650 PSI) W/ 5%-8% AIR-ENTRAINMENT
 - CONCRETE SHALL BE CURED MINIMUM 48 HOURS BEFORE GROUTING THE SPACE BETWEEN THE TOP OF THE CONCRETE AND THE UNDERSIDE OF THE CONSTRUCTION ABOVE AND PROCEEDING TO THE NEXT STAGE.
 - SHORE AND BRACE WHERE NECESSARY TO ENSURE THE SAFETY AND STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.
 - WEEDING TILE IS TO DRAIN TO THE STORM SEWER, OR INSTALL A COVERED SUMP FIT WITH AN AUTOMATIC PUMP.



| QUALIFICATION INFORMATION | |
|----------------------------------|--------------|
| DESIGNER | V. J. ARAUJO |
| DATE | 08/08/2022 |
| REGISTRATION INFORMATION | |
| REGISTERED PROFESSIONAL ENGINEER | 12300 |
| PROVINCE | ON |

| No. | Description | Date |
|-----|--------------------------------|------------|
| 1 | CLIENT APPROVAL | 08/08/2022 |
| 2 | REVISED AS PER CLIENT REQUEST | 08/18/2022 |
| 3 | P.ENG REVIEW | 10/31/2022 |
| 4 | HVAC DESIGN | 11/22/2022 |
| 5 | BUILDING PERMIT APPLICATION | 01/06/2023 |
| 6 | REVISED AS PER T.R.C.A. NOTICE | 03/13/2023 |
| 7 | REAR WOOD DECK ADDED | 05/23/2023 |
| 8 | ZONING REVIEW | 05/29/2023 |
| 9 | REVISED AS PER T.R.C.A. NOTICE | 08/16/2023 |
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Project Title & Description: **Arch D**
PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION

Project Address:
31 BAKERDALE ROAD MARKHAM, ONTARIO L3P1J3

Project Number: **2022-015**

Client Name: **KAROLINAH**

UNDERPINNING PLAN & UNDERPINNING DETAIL

| | |
|------------------------|-------------------------|
| AS8 | Drawn By: F.T. |
| Scale: AS SHOWN | Checked By: G.F. |

APPENDIX "B"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/037/25

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction;
3. That the applicant satisfies the requirements of the TRCA, financial or otherwise, as indicated in their letter to the Secretary-Treasurer attached as Appendix 'C' to this Staff Report, to the satisfaction of the TRCA, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the TRCA.

CONDITIONS PREPARED BY:



Stephen Corr, Senior Planner II, Planning and Urban Design Department

June 10, 2025

TRCA File No. PAR-DPP-2025-00790
Ex Ref: CFN 68757

VIA E-Plan

Stephen Corr, Senior Planner
Planning and Urban Design Department
City of Markham
101 Town Centre Boulevard
Markham, ON L3R 9W3

Re: Minor Variance Application – A/037/25
31 Bakerdale Road
Part of Block A, Registered Plan No. M-1789, City of Markham
Nearest Intersection: Highway 7 and McCowan Road
Applicant: Uptown Developments Inc. c/o John Frasca
Owner: Karolinah Lukitto

Toronto and Region Conservation Authority (TRCA) staff provide the following comments in response to the referenced Committee of Adjustment application, received by TRCA on May 27, 2025. We provide the following in accordance with TRCA's commenting role under the Planning Act and regulatory role under the Conservation Authorities Act (CA Act). For additional information, please see [Ontario Regulation 686/21](#).

Purpose of the Application

TRCA staff understand that the purpose of this application is to request relief from the following requirements of By-law 2024-19, as amended, as it relates to a proposed two storey rear addition and a second-floor addition over a portion of the existing one storey dwelling:

- a) **By-law 2024-19, Section 6.3.2.2 (l)**: a minimum combined interior side yard setback of 3.92 metres, whereas the By-law requires a minimum of 4.53 metres;
- b) **By-law 2024-19, Section 4.8.3 (b)**: a deck to extend from the wall closest to the rear lot line a maximum of 4.72 metres, whereas the By-law permits a maximum of 3.7 metres and;
- c) **By-law 2024-19, Section 6.3.2.2 (e)**: a maximum main building distance of 17.64 metres from the establishing building line for the second storey, whereas the By-law permits a maximum of 14.5 metres for any storey above the first storey.

Background

On April 1, 2025, TRCA approved a related permit application (TRCA Permit No. 68757) to facilitate the construction of a two-storey rear addition, a second-floor addition over a portion of the existing one-storey dwelling and a wooden deck to the rear of the existing dwelling. The materials circulated in support of this Minor Variance application are consistent with what TRCA has approved as part of the permit application. As such, staff do not have any concerns with the requested variances.

TRCA Permit Requirements

The subject lands are partially within TRCA’s Regulated Area. This is due to the presence of a regulatory floodplain associated with a tributary of the Rouge River Watershed and its adjacent regulated allowance.

Due to the presence of natural hazards, the issuance of a TRCA permit pursuant to the Conservation Authorities Act is required prior to any development or site alteration within the regulated portion of the property.

TRCA Plan Review Fee

By copy of this letter, the applicant is advised that TRCA have implemented a fee schedule for its planning application review services in accordance with applicable provincial regulations. This Minor Variance Application is subject to a fee of \$950 (Minor Variance – Residential - Standard). The applicant is responsible for fee payment within 60 days of the committee hearing date. Please contact the Planner noted below for an electronic invoice to facilitate payment.

Recommendations

Based on the comments provided, TRCA staff have **no objection** to the approval Minor Variance Application A/037/25 subject to the **conditions** identified in Appendix A.

Should you have any questions or comments, please contact the undersigned.

Regards,



Rameez Sadafal, M.Sc.PI
Planner – York East Review Area
Development Planning and Permits | Development and Engineering Services
Telephone: (437) 800-2163
Email: rameez.sadafal@trca.ca

Attached: Appendix A: TRCA Conditions of Approval

Appendix A: TRCA Conditions of Approval

| # | TRCA Conditions |
|---|---|
| 1 | The applicant submits the TRCA plan review fee of \$950 within 60 days of the committee hearing date. |