

Memorandum to the City of Markham Committee of Adjustment

July 3, 2025

File: A/037/25
Address: 31 Bakerdale Road, Markham
Agent: Uptown Developments Inc
Hearing Date: Wednesday, July 16, 2025

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of the Residential Established Neighbourhood – Low Rise zone of By-law 2024-19, RES-ENLR, as amended, to permit:

- a) **By-law 2024-19, Section 6.3.2.2 (l):**
a minimum east interior side yard setback of 1.2 metres and a combined interior side yard setback of 3.92 metres, whereas the By-law requires a minimum interior side yard of 1.8 metres and a minimum combined interior yard setback of 5.05 metres;
- b) **By-law 2024-19, Section 4.8.3 (b):**
a deck to extend from the wall closest to the rear lot line a maximum of 4.72 metres, whereas the By-law permits a maximum of 3.7 metres; and
- c) **By-law 2024-19, Section 6.3.2.2 (e):**
a maximum main building distance of 17.64 metres from the established building line for the second storey, whereas the By-law permits a maximum of 14.5 metres for any storey above the first storey;

These variances relate to a proposed rear two-storey addition to the existing dwelling.

BACKGROUND

Property Description

The 1,503.09 m² (16,502 ft²) "Subject Lands" is located on the south side of Bakerdale Road, which is south of Highway 7 East and east of Conservation Avenue. The Subject Lands are developed with an existing 299.84 m² (3,227.5 ft²) two-storey detached dwelling and are in an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. Milne Creek, which is part of the Rouge River watershed abuts the south side of the property, traversing southeast to Milne Dam Conservation Park. The Subject Lands are therefore in Toronto Region Conservation Authorities (TRCA) Regulated Area.

Proposal

The "Proposed Development" comprises an addition to the existing dwelling that expands the basement and first-storey at the rear of the building and added space on the second storey. This will add approximately 167.5 m² (1,802.8 ft²) of Gross Floor Area (GFA) to the dwelling, resulting in a total GFA of 467.33 m² (5,030 ft²).

The Proposed Development also includes a new rear yard deck, to replace an existing deck. The Proposed Development is shown in Appendix 'A'

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Official Plan designates the subject property "Residential Low Rise", which provides for low rise housing forms including single detached dwellings.

Zoning By-Law BY-LAW 2024-19

The subject property is zoned RES-ENLR under By-law 2024-19, as amended, which permits detached dwellings. The Proposed Development does not conform to the minimum combined interior side yard, maximum building distance for the second storey and maximum deck extension. The existing east side yard is also non-compliant to the By-law. Consequently, the Owner has submitted this variance application.

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) March 7, 2025, to confirm the required variances for the Proposed Development.

COMMENTS

The Planning Act states that four tests must be met for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature.
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure.
- c) The general intent and purpose of the Zoning By-law must be maintained.
- d) The general intent and purpose of the Official Plan must be maintained.

Decrease in Minimum Combined Interior Side Yard

The Owner is requesting a minimum east interior side yard setback of 1.2 metres and a combined interior side yard setback of 3.92 metres, whereas the By-law requires a minimum interior side yard of 1.8 metres and a minimum combined interior yard setback of 5.05 metres. The eastern side yard setback is an existing condition that is non-conforming to the Zoning Bylaw, and is not being exacerbated by the Proposed Development. The minimum combined side yard setback requirement of 5.05 metres is determined as being 25% of the defined lot frontage. Staff have no objection to the proposed combined yard setback of 3.92 metres.

Increase in Maximum Deck Extension

The Owner is requesting a deck to extend from the wall closest to the rear lot line a maximum of 4.72 metres, whereas the By-law permits a maximum of 3.7 metres. This is an increase of approximately 1.0 m, which includes and accommodates the

landing and stairs from the deck accessing the rear yard. Staff have no concern with this requested variance and are satisfied that it meets the Planning Act criteria.

Increase in Maximum Main Building Distance

The Owner is requesting a maximum main building distance of 17.64 metres from the established building line for the second storey, whereas the By-law permits a maximum of 14.5 metres for any storey above the first storey. This is an increase of 2.14 metres on the second storey. The intent of regulating the maximum distance is to maintain a uniform streetscape by ensuring consistent building alignment, building depth and massing in relation to neighboring dwellings. Staff note that the subject land is slightly pie-shaped lot and therefore, the proposed increase in maximum building distance will not disrupt the established building line along the streetscap, and maintains an appropriate scale for the neighborhood. Staff have no concerns for this proposed variance.

EXTERNAL AGENCIES

TRCA Comments

A noted, the subject property is within the Toronto Region and Conservation Authority (TRCA)'s Regulated Area, and the TRCA has been circulated on this application. In comments dated, June 10, 2025, the TRCA confirmed no objection to the Proposed Development, subject to the condition that TRCA review fees are paid to the TRCA. This is secured as a condition found within Appendix 'B'. The TRCA comments are attached in Appendix 'C'.

PUBLIC INPUT SUMMARY

No written submissions were received as of July 3, 2025. Additional information received after the writing of the report will be provided by the Secretary-Treasurer at this meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance requests satisfy the criteria o the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "B" for conditions to be attached to any approval of this application.

PREPARED BY:



Stephen Corr, Senior Planner, Planning and Urban Design Department

REVIEWED BY:


✱ Rectangular Snip

Stacia Muradali, Development Manager, East District

Appendix 'A' – Proposed Development Plans

Appendix 'B' – Recommended Approval Conditions

Appendix 'C' – TRCA comments



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM


THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR.
In accordance with
Regulation 1026, Section 29(3).

COPYRIGHT © IBW SURVEYORS LTD. 2022
PLAN OF SURVEY WITH TOPOGRAPHIC
DETAIL OF:
**PART OF BLOCK A
REGISTERED PLAN No. M-1789
and PART LOT 10 CONCESSION 7
TOWN OF MARKHAM**
REGIONAL MUNICIPALITY OF YORK
SCALE 1 : 250 METRES

BEARING NOTES
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE
POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM
ZONE 17 (81° WEST LONGITUDE), NAD83(CSRS)(2010).
FOR BEARING COMPARISONS, THE FOLLOWING ROTATIONS WERE
APPLIED:
P1,P2,P3 - 0°00'00" COUNTER-CLOCKWISE

DISTANCE NOTES – METRIC
DISTANCES AND COORDINATES ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

CONTOURS
CONTOURS SHOWN HEREON ARE DRAWN AT 0.20 METRE
INTERVALS.

ELEVATIONS
ELEVATIONS ARE GEODETIC AND REFERRED TO TOWN OF
MARKHAM BENCHMARK M-32-003 AND HAVING A GEODETIC
ELEVATION OF 182.290 METRES.

CAUTION
THE WORK AND DRAWINGS HEREIN WERE COMPLETED FOR THE
EXCLUSIVE USE OF OUR CLIENT AND NO LIABILITY IS
ASSUMED TO ANY THIRD PARTIES OR SUBSEQUENT OWNERS.

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - PB DENOTES PLASTIC BAR
 - CC DENOTES CUT CROSS
 - Ø DENOTES ROUND
 - WIT DENOTES WITNESS
 - M DENOTES MEASURED
 - P1 DENOTES PLAN 1R-2345
 - P2 DENOTES PLAN 1R-2345
 - P3 DENOTES PLAN 12R-34567
 - 721 DENOTES J.L. SYLVESTER, OLS
 - 1293 DENOTES SYLVESTER & BROWN LTD., OLS
 - MTO DENOTES MINISTRY OF TRANSPORTATION ONTARIO
 - AC DENOTES AIR CONDITIONER
 - MH DENOTES MAINTENANCE HOLE ELEVATION AT CENTRE
 - POLS DENOTES LIGHT STANDARD
 - ✱ DENOTES CONIFEROUS TREE W/TRUNK DIAMETER
 - DENOTES DECIDUOUS TREE W/TRUNK DIAMETER
 - DENOTES SHRUB
 - ✱ DENOTES SPOT ELEVATION
 - CTP DENOTES CONCRETE PAD
 - CLF DENOTES CHAIN LINK FENCE
 - DSE DENOTES DOOR SILL ELEVATION
 - CRBW DENOTES CONCRETE BRICK RETAINING WALL
 - GSE DENOTES GARAGE SILL ELEVATION

BUILDING TIES SHOWN HEREON ARE TO THE FOUNDATION
UNLESS OTHERWISE NOTED.
ALL BEARINGS AND DISTANCES AGREE WITH CITED PLANS
UNLESS OTHERWISE NOTED.

INTEGRATION DATA

OBSERVED REFERENCE POINTS DERIVED FROM GPS OBSERVATIONS USING A REAL
TIME NETWORK AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE)
NAD83(CSRS)(2010).

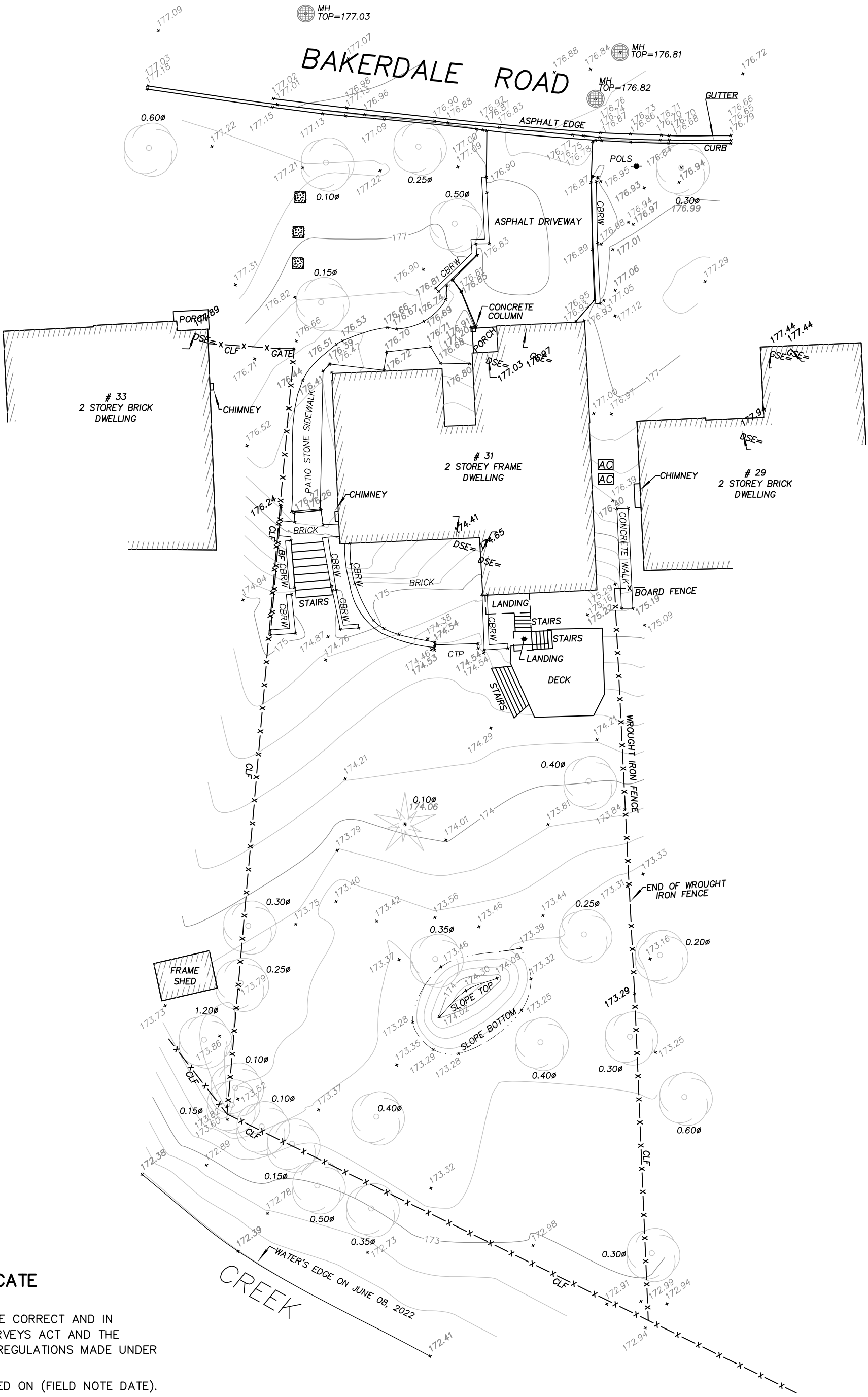
URBAN ACCURACY PER SEC. 14(2), O.REG. 216/10.		
POINT ID	NORTHING	EASTING
A	#####.##	#####.##
B	#####.##	#####.##

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN



IBWSURVEYORS.COM | 1.800.667.0696

PARTY CHIEF: AD | DRAWN BY: DGC | CHECKED BY: TE | PLOT DATE: SEPT. 2, 2022
FILE NAME: A-034904-TOPO_v3 | copies available at LandSurveyRecords.com



SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON (FIELD NOTE DATE).

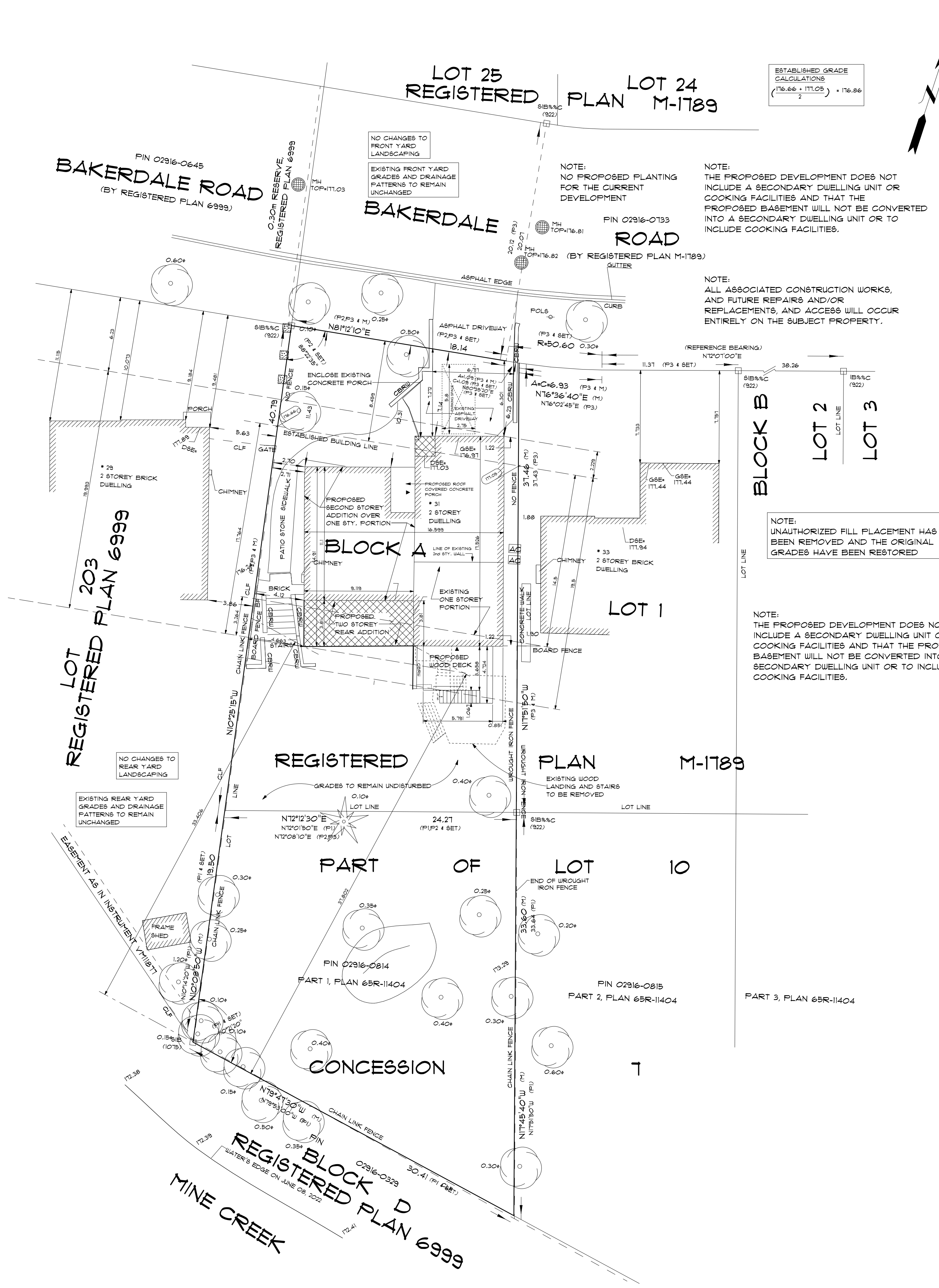
(SIGNATURE DATE)

DATE

DRAFT

***, O.L.S.

rev.	Date	Initials	Imported .txt file	Remarks	rev.	Date	Initials	Imported .txt file	Remarks
1	2022.06.27	DGC	+	DRAFT TOPO FOR POS	3	2022.09.02	SGC	+	UPDATED WITH BOOSTED POINTS. UPDATE LINWORK. REGEN'D CONTOURS
2	2022.06.29	DGC	+	EDITS PER FDR	4	yyyyyymm.dd	+	+	+
					6	yyyyyymm.dd	+	+	+



SITE PLAN
of
PART OF BLOCK A
REGISTERED PLAN No. M-1789
and PART LOT 10 CONCESSION 1
REG. PLAN 465
TOWN OF MARKHAM
REGIONAL MUNICIPALITY OF YORK
ONTARIO
SCALE 1:200

THIS SITE PLAN HAS BEEN PREPARED FOR ORIENTATION PURPOSES BASED ON FIELD MEASUREMENTS AND INFORMATION TAKEN FROM SURVEY BY ISU SURVEYORS PROJECT A-034804-TOPO-V3 AND IT DOES NOT REPRESENT LEGAL OR SURVEY DIMENSIONS. IF LEGAL OR SURVEY DIMENSIONS ARE REQUIRED, REFERENCE MUST BE MADE TO A LEGAL SURVEY OF THE SUBJECT PROPERTY.

LEGEND
▲ DENOTES ENTRY POINTS

SITE STATISTICS
LOT AREA 16502.00 sq.ft. 1533.09 sq.m.

COVERAGE
EXISTING DWELLING (DOES NOT INCLUDE REAR WOOD DECK) 2416.80 sq.ft. 224.53 sq.m.
PROPOSED ADDITION 374.00 sq.ft. 34.75 sq.m.
TOTAL COVERAGE (16.5%) 2790.80 sq.ft. 259.27 sq.m.

EXISTING GROSS FLOOR AREA
EXISTING FIRST FLOOR 2386.10 sq.ft. 221.68 sq.m.
EXISTING SECOND FLOOR 841.40 sq.ft. 78.11 sq.m.
TOTAL EXISTING G.F.A. 3227.50 sq.ft. 299.84 sq.m.

PROPOSED GROSS FLOOR AREA
PROPOSED FIRST FLOOR 404.70 sq.ft. 37.60 sq.m.
PROPOSED SECOND FLOOR 1398.10 sq.ft. 128.89 sq.m.
TOTAL PROPOSED G.F.A. 1802.80 sq.ft. 167.49 sq.m.
TOTAL G.F.A. (INCLUDES EXISTING AND PROPOSED) 5030.30 sq.ft. 467.33 sq.m.

BEARING NOTES
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 11 (81° WEST LONGITUDE), NAD83(CSRS/2010).
FOR BEARING COMPARISONS, THE FOLLOWING ROTATIONS WERE APPLIED:
P1/P2/P3 - 0°00'00" COUNTER-CLOCKWISE

DISTANCE NOTES - METRIC
DISTANCES AND COORDINATES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

CONTOURS
CONTOURS SHOWN HEREON ARE DRAWN AT 0.20 METRE INTERVALS.

ELEVATIONS
ELEVATIONS ARE GEODETIC AND REFERRED TO TOWN OF MARKHAM BENCHMARK M-32-003 AND HAVING A GEODETIC ELEVATION OF 182.280 METRES.

CAUTION
THE WORK AND DRAWINGS HEREIN WERE COMPLETED FOR THE EXCLUSIVE USE OF OUR CLIENT AND NO LIABILITY IS ASSUMED TO ANY THIRD PARTIES OR SUBSEQUENT OWNERS.

- LEGEND
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - SB/B DENOTES SHORT STANDARD IRON BAR
 - SB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - PB DENOTES PLASTIC BAR
 - CC DENOTES CUT CROSS
 - DENOTES ROUND
 - WIT DENOTES WITNESS
 - M DENOTES MEASURED
 - P1 DENOTES PLAN IR-2345
 - P2 DENOTES PLAN IR-2345
 - P3 DENOTES PLAN IR-2345
 - T21 DENOTES J.L. SYLVESTER, OLS
 - T23 DENOTES SYLVESTER & BROWN LTD., OLS
 - MTO DENOTES MINISTRY OF TRANSPORTATION ONTARIO
 - AC DENOTES AIR CONDITIONER
 - MH DENOTES MAINTENANCE HOLE ELEVATION AT CENTRE
 - POLS DENOTES LIGHT STANDARD
 - CTP DENOTES CONIFEROUS TREE W/TRUNK DIAMETER
 - DEC DENOTES DECIDUOUS TREE W/TRUNK DIAMETER
 - SHR DENOTES SHRUB
 - SPOT DENOTES SPOT ELEVATION
 - CTP DENOTES CONCRETE PAD
 - CLF DENOTES CHAIN LINK FENCE
 - DSE DENOTES DOOR SILL ELEVATION
 - CRBW DENOTES CONCRETE BRICK RETAINING WALL
 - GSE DENOTES GARAGE SILL ELEVATION

BUILDING TIES SHOWN HEREON ARE TO THE FOUNDATION UNLESS OTHERWISE NOTED.
ALL BEARINGS AND DISTANCES AGREE WITH CITED PLANS UNLESS OTHERWISE NOTED.

QUALIFICATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 1.2.4.3 OF THE BUILDING CODE	
DESIGNER	UPTOWN ARCHITECTURE
DATE	2022-01-18
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 1.2.4.3 OF THE BUILDING CODE	
UPTOWN DEVELOPMENTS	123000
DATE	2022

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025



53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description: Arch D
PROPOSED TWO STOREY
REAR ADDITION AND SECOND FLOOR
ADDITION OVER ONE STOREY PORTION

Project Address
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

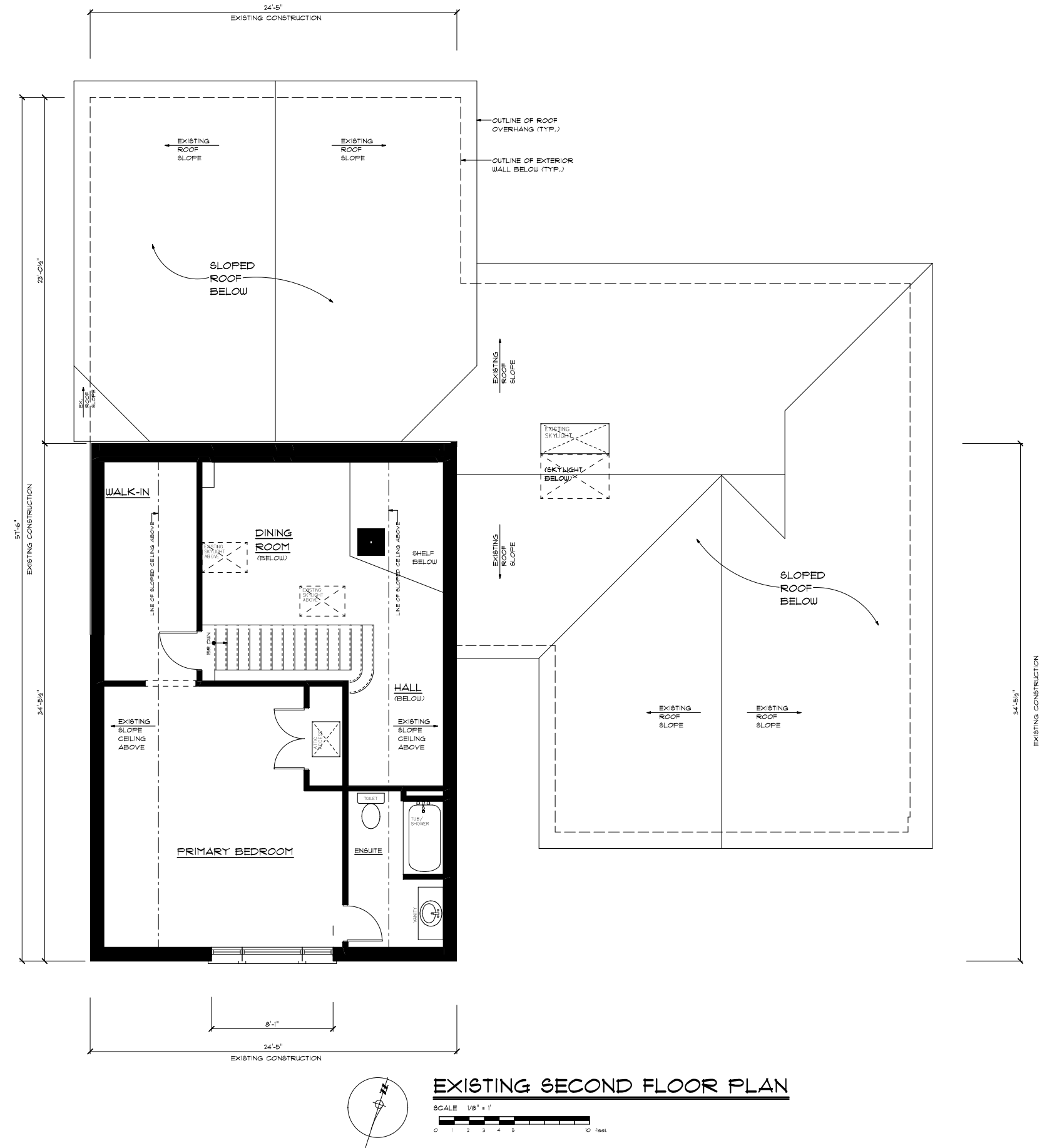
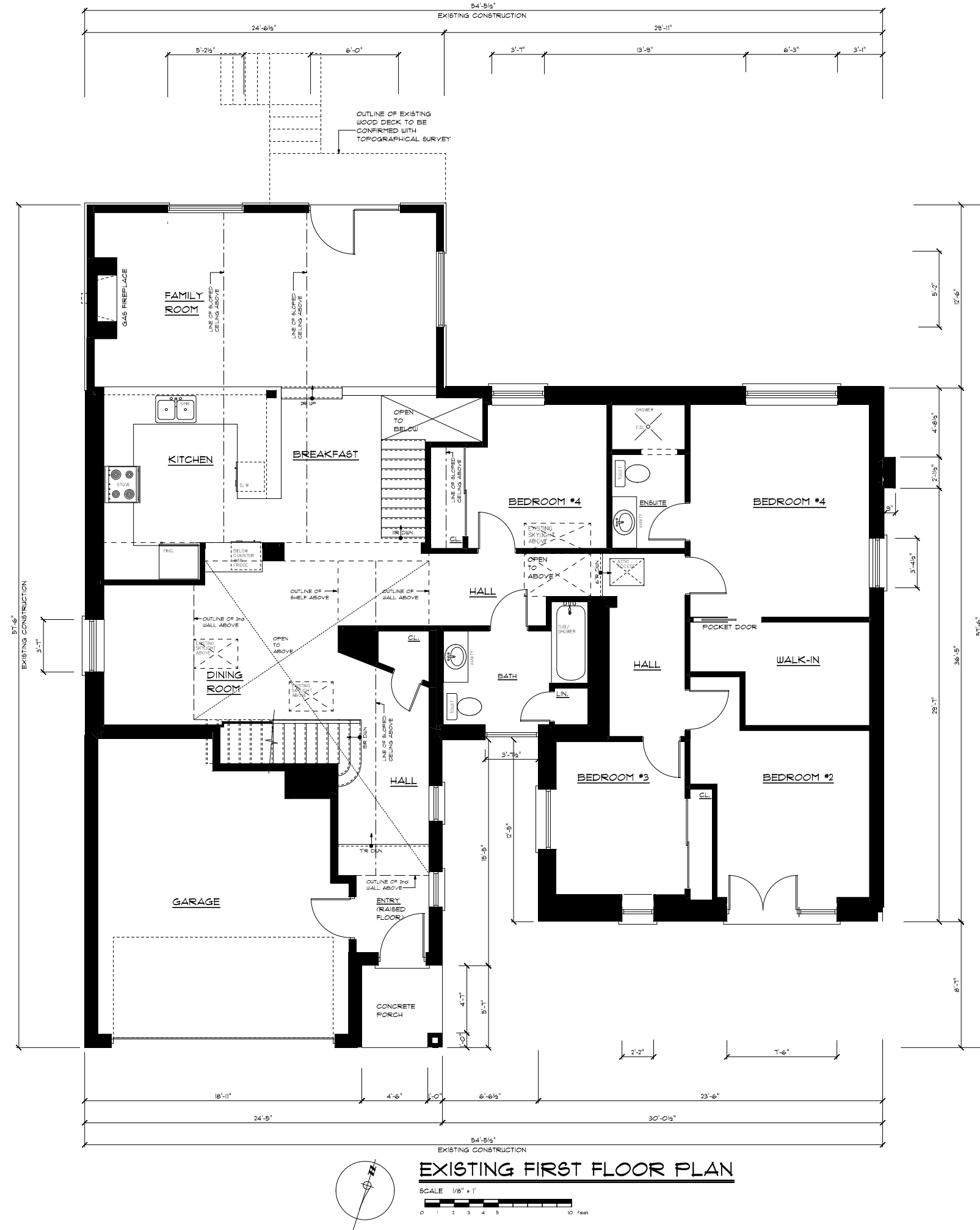
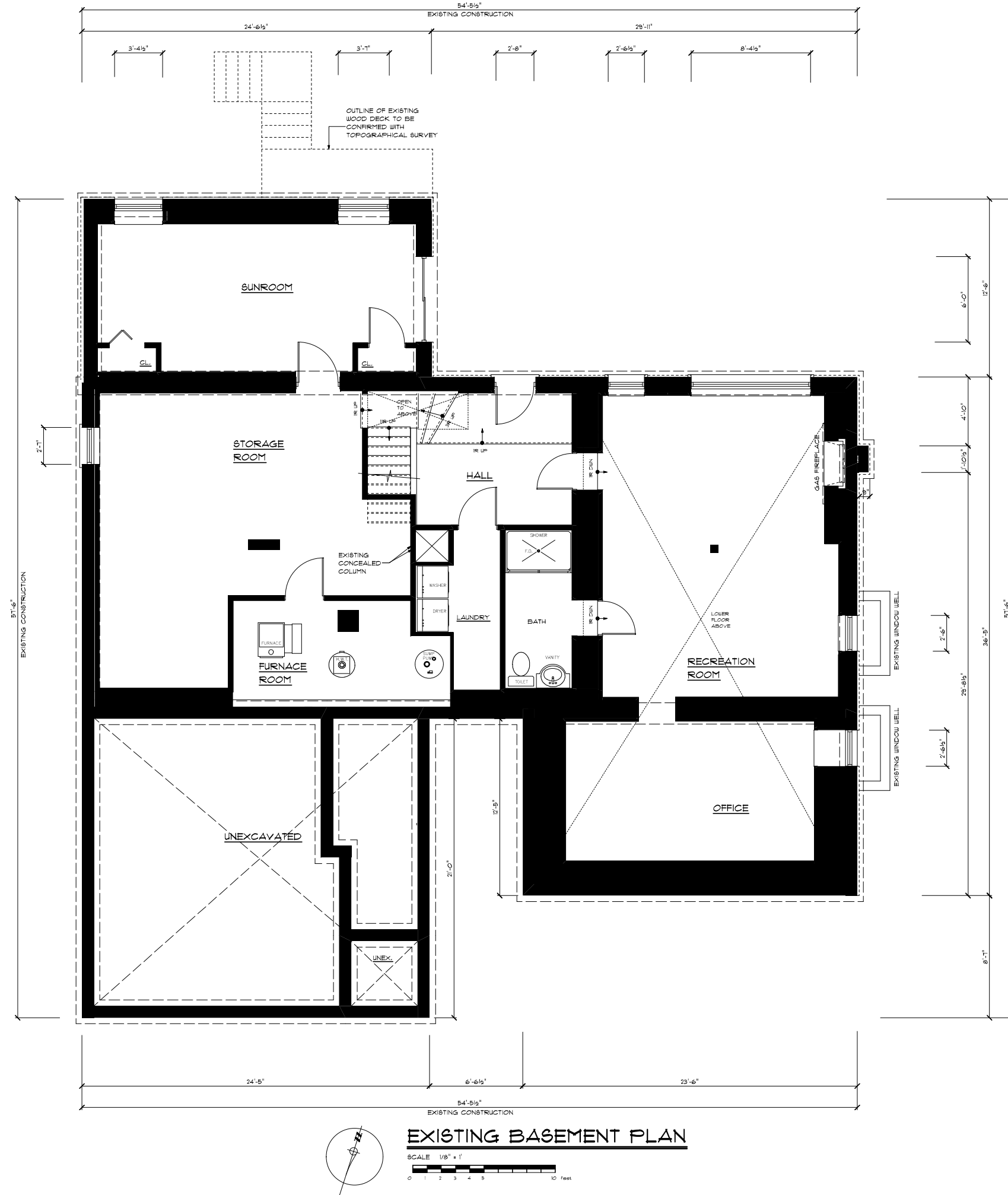
Project Number 2022-015

Client Name KAROLINAH

SITE PLAN

AS1.0 Drawn By: F.T.

Scale AS SHOWN Checked By: G.F.



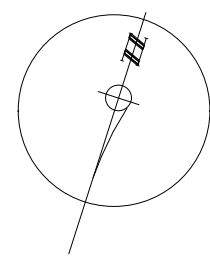
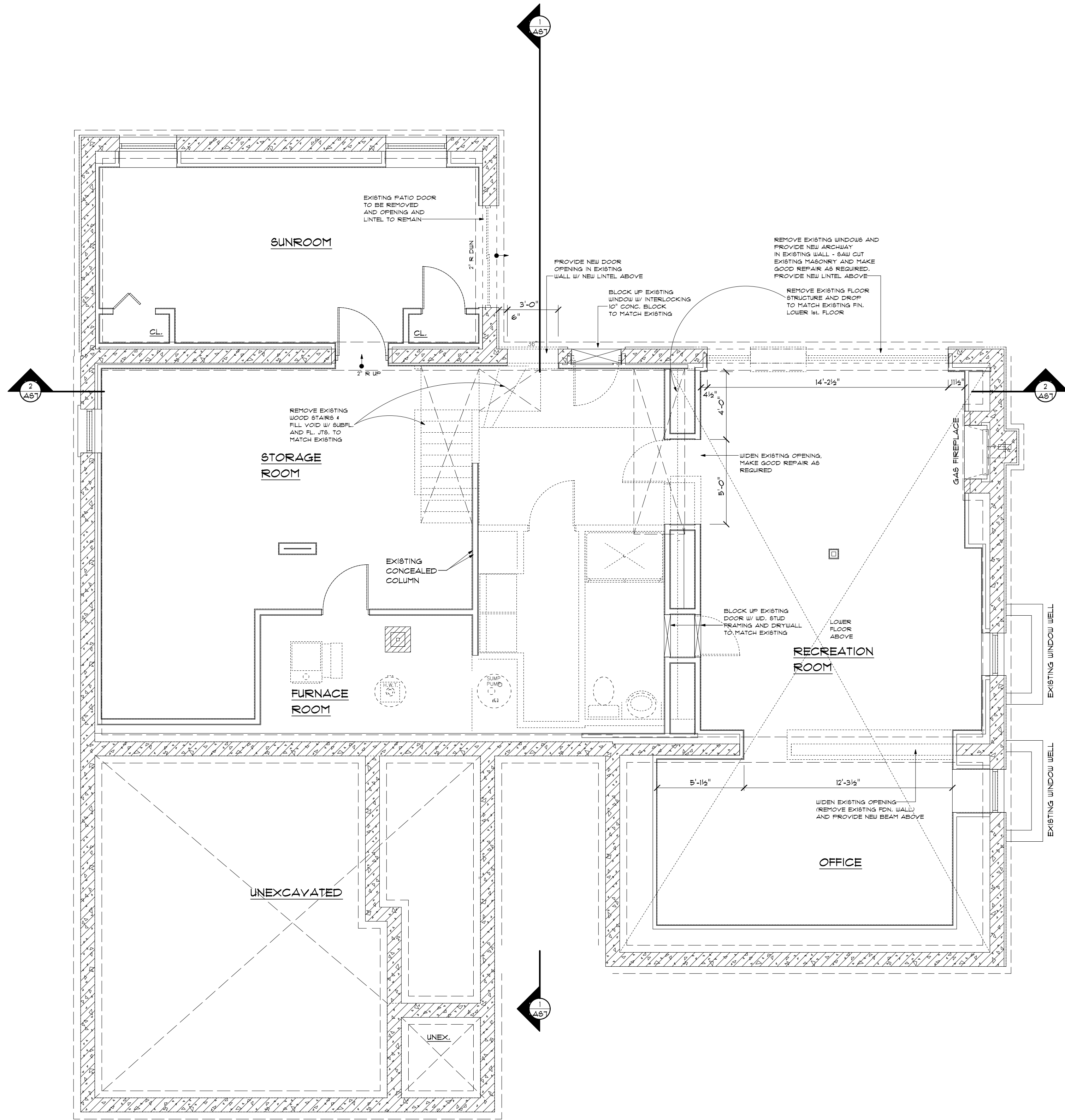
EXISTING FLOOR PLANS
ARE FOR REFERENCE ONLY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER	
QUALIFICATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C 1.2.4.3 OF THE BUILDING CODE	
CONSULTANT (FACIAL)	12345678
DATE	2024-01-01
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C 1.2.4.3 OF THE BUILDING CODE	
UPTOWN DEVELOPMENTS	123456
DATE	2024-01-01

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025

53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description: PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION		Arch D
Project Address: 31 BAKERDALE ROAD MARKHAM, ONTARIO L3P1J3		
Project Number		2022-015
Client Name		KAROLINAH
EXISTING FLOOR PLANS		
AS1.1	Drawn By:	F.T.
Scale AS SHOWN	Checked By:	G.F.



BASEMENT DEMOLITION PLAN

SCALE 1/4" = 1'
0 1 2 3 4 5 10 feet

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER	
QUALIFICATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C. 1.2.4.3 OF THE BUILDING CODE	
CONSULTANT (FACILITY)	1234567
DATE	10/01/2022
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C. 1.2.4.3 OF THE BUILDING CODE	
UPTOWN DEVELOPMENTS	123456
DATE	10/01/2022

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025



53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description: PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION	Arch D
Project Address: 31 BAKERDALE ROAD MARKHAM, ONTARIO L3P1J3	

Project Number 2022-015

Client Name KAROLINAH

BASEMENT DEMOLITION PLAN

AS2	Drawn By: F.T.
Scale AS SHOWN	Checked By: G.F.

GENERAL

1. DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE - LATEST EDITION AND CAN/CSA 541.3.

2. ALL DIMENSIONS MUST BE VERIFIED AND CONFIRMED ON SITE BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

3. DESIGN LIVE LOADS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.

4. THESE NOTES SHALL APPLY UNLESS SPECIFICALLY NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.

5. CONTRACTOR TO CHECK DRAWINGS AND FIELD CONDITIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER/ENGINEER PRIOR TO COMMENCING ANY WORK.

6. CONTRACTOR TO CHECK SURFACES AND STRUCTURES UPON WHICH NEW WORK WILL BE DONE AND NOTIFY THE DESIGNER/ENGINEER IMMEDIATELY IF SURFACES ARE NOT SOUND OR SUITABLE FOR PLANS/WORK. INTENDED.

7. CONTRACTOR TO PROTECT ALL EXISTING SURFACES DURING CONSTRUCTION. DAMAGE TO EXISTING SURFACES IS TO BE RECTIFIED BY THE CONTRACTOR.

8. PROVIDE 4" DIAMETER WEAVING TILE WITH FILTER CLOTH AND SURROUND WITH 4" OF 1" CLEAR STONE AROUND PERIMETER FOUNDATION WALL.

9. DESIGN LOADS SHOULD NOT BE EXCEEDED DURING CONSTRUCTION.

SOIL

1. ALL FOUNDATIONS TO BE PLACED ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 P.S.F.

2. ALL LOOSE AND ORGANIC MATERIAL IS TO BE REMOVED.

3. ALL FOOTINGS ARE TO BE PROTECTED WITH A MINIMUM 4" FROST DEPTH CONCRETE.

4. ALL CONCRETE TO POSSESS A MINIMUM OF 28 DAY STRENGTH OF 4000 PSI (28 MPa) WATER/CEMENT RATIO OF 0.45, MINIMUM SLUMP OF 3" AND 5 TO 1% AIR ENTRAINMENT.

5. CONCRETE MATERIALS TO CONFORM TO CSA A23.1.

6. ALL REINFORCING STEEL TO POSSESS A MINIMUM STRENGTH OF 60000 PSI (400 MPa).

STRUCTURAL STEEL

1. STRUCTURAL STEEL SHALL CONFORM TO 640.31 GRADE 300W (A40) OR 300T (A47) WITH ONE SHOP COAT AND FIELD TOUCH-UP OF PAINT CONFORMING TO CSAG/CPA STD 113. WELD SECTIONS SHALL BE 640.31 GRADE 300W (50W) CLASS 1. W SECTIONS TO BE 640.31 GRADE 300W (50W).

2. DESIGN, FABRICATION AND DIRECTION OF STEEL MEMBERS, CONNECTIONS, SHALL CONFORM TO CSA STD CAN3-SW.1, LATEST EDITION WITH ALL SUPPLEMENTS.

3. CONNECTIONS SHALL BE DESIGNED FOR THE LOADINGS SHOWN ON DRAWINGS.

4. ALL BOLTS SHALL BE ASTM A325 OR BETTER HIGH STRENGTH BOLTS. ANCHOR BOLTS MAY BE ASTM A307.

5. ALL BEAMS ARE TO BE WELDED TO SUPPORTING MEMBERS ON BEARING PLATES.

6. SHOP DRAWINGS ARE TO BE SUBMITTED FOR REVIEW BEFORE PROCEEDING WITH FABRICATION. DRAWINGS OF COMPONENTS DESIGNED BY THE FABRICATOR SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.

LUMBERS

1. ALL STRUCTURAL LUMBER TO BE # 1 S&F OR BETTER UNLESS NOTED OTHERWISE.

2. ROOF TRUSSES DRAWINGS TO BE STAMPED BY TRUSS MANUFACTURER. RELATED BRACINGS SHALL BE BY THE TRUSS MANUFACTURER.

CONSTRUCTION NOTES:

1. ALL MEMBERS SHALL BE 60 FRAMED, FASTENED, TIED, BRACED, AND ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY AND STABILITY PER CBC 9.23.2.1.

2. PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK.

3. ALL LOADS MUST BE SUPPORTED AND TRANSFERRED TO FOUNDATION OR ADEQUATE SUPPORT. O.B.C. 9.23.4.2, 9.17.9.15, 9.20.8.3, 9.23.8.1, 9.23.10.1, AND 9.23.9.8.

4. PROVIDE POSTS UNDER ALL BEAMS/GIRDER TRUSSES, ETC. POSTS ARE TO RUN CONTINUOUS TO THE FOUNDATION OR EQUIVALENT SUPPORT. CBC 9.20.8.3, 9.23.8.1, 9.23.10.1.

5. FILL 2 TOP COURSES OF ALL NEW BLOCKS WALL SOLID WITH 20 MPA GROUT.

6. PROVIDE 8x12"x8"x12"x14" LONG ANCHORS IN GROUTED VOIDS AT EACH STEEL BEAM BEARING TYPICAL.

WOOD FRAMING:

WOOD FRAMING MEMBERS IN CONTACT WITH MASONRY OR CONCRETE SHALL BE TREATED TO PREVENT DECAY. O.B.C. 9.20.1, 9.23.2.2, OR SEPARATED FROM THE CONCRETE BY MIN 0.08"MM POLYETHYLENE FILM OR TYPE 5 ROLL ROOFING. O.B.C. 2012, 9.23.2.3.

STRUCTURAL WOOD ELEMENTS SHALL BE PRESSURE-TREATED FOR TERMITES AND DECAY PROTECTION WHERE THE VERTICAL CLEARANCE BETWEEN THE WOOD ELEMENTS AND THE FINISHED GROUND LEVEL IS LESS THAN 180MM O.B.C. 2012, 9.23.2.3.

WHERE WOOD IS REQUIRED TO BE TREATED TO RESIST TERMITES OR DECAY, IT SHALL BE IN ACCORDANCE WITH TABLE 2 "USE CATEGORIES FOR SPECIFIC PRODUCTS, USES AND EXPOSURES" OF CAN/CSA-C0.80.1.

STRUCTURAL NOTE:

1. SOIL CAPACITY 3000 P.S.F. (8.8) - TO BE CONFIRMED & REPOSE ANGLE 35 DEGREES.

2. STRUCTURAL DESIGN IS BASED ON EXISTING CONCRETE BLOCK FDN. AS PER WALL LENDING (IN GOOD STRUCTURAL ORDER). VERIFY ON UNDISTURBED SOIL W/ MINIMUM BEARING CAPACITY OF 3000 P.S.F.

3. FILL 2 TOP COURSES SOLID AT EACH LINTEL, BEAM, WOOD POST OR STEEL COLUMN BEARING.

4. GENERAL CONTRACTOR RESPONSIBLE FOR COPYING WITH O.B.C. PART 9, LATEST EDITION.

5. ALL L.V.L. BEAMS TO BE GRADE 2.0E 3000 F.B.

6. ALL L.V.L. BEAMS & JOISTS TO BE TIED TO ALL FLOOR STRUCTURE WITHIN THEIR HEIGHTS.

7. ALL HANGERS AND CONNECTIONS TO BE DESIGNED BY CONTRACTOR.

8. ALL WOOD POSTS & STEEL COLUMNS TO BE TIED TO ALL FLOOR STRUCTURE WITHIN THEIR HEIGHTS.

9. ALL EXISTING STRUCTURE FRAMING, DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE BY THE CONTRACTOR BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCY FROM THE CONDITIONS ON THESE DRAWINGS TO BE IMMEDIATELY REPORTED TO THE STRUCTURAL ENGINEER FOR VALUATION.

10. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO COMMITMENT TO WORK.

11. ALL NECESSARY EARTH SHORING AND SHORING OF EXISTING AND NEW PART OF STRUCTURE TO BE DESIGN AND APPROVED BY CONTRACTOR.

12. PROVIDE 3" OF BEARING OF ALL WOOD BEAMS ON MASONRY WALLS TYP.

13. EXCAVATION FOR THE PROPOSED WORK SHOULD NOT UNDERMINE THE FOUNDATION OF ADJOINING BUILDINGS OR CAUSE DAMAGE TO UTILITIES, ROADS AND SIDE WALKS. OBC 2.3.11.1/5) AND 9.12.1.4.

14. ALL STEEL COLUMNS SHOULD BE EXTENDED TO THE TOP OF EXISTING MASONRY WALL. FILL 3 TOP COURSES SOLID AT BEARING.

NOTES:

THESE NOTES COMPLY W/ THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE (UNLESS SPECIFICALLY ALTERED BY THE MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFIRM W/ THESE SECTIONS WHERE APPLICABLE AND VARIATIONS HIMSELF SPECIFICALLY W/ PART 9 OF THE BUILDING CODE.

- ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO. 1 CONSTRUCTION GRADE UNLESS SPECIFICALLY NOTED. SIZES ARE DETERMINED FROM THE SPAN TABLES OF THE 2012 BUILDING CODE/ONTARIO.

- ALL WINDOWS TO BE DOUBLE GLAZED OR THERMOPLANE.

- ALL EXTERIOR DOORS F WOOD TO HAVE STORM DOORS OR TO BE OF METAL INSULATED TYPE.

- ALL LUMBER TO BE SUPPORTED MIN. 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES.

- REMOVE ALL WOOD DEBRIS OR VEGETABLE MATTER FROM BACKFILL.

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED BEFORE CONSTRUCTION BY AN APPROVED GRADING AND SERVICES ENGINEER.

FOUNDATION WALLS TO BE CONSTRUCTED TO MIN OF 6" ABOVE ADJACENT GRADES AT HOUSE.

PROPOSED GRADE LINES AS INDICATED ON HOUSE WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY REFLECT FINISHED GRADING CONDITIONS.

ALL GRADING AND SITE SERVICES TO MEET THE REQUIREMENTS AND APPROVALS OF THE MUNICIPALITY HAVING JURISDICTION AND UPTOWN DEVELOPMENTS WILL BE NOT HELD RESPONSIBLE FOR ERRORS OR OMISSIONS AS A RESULT OF OR FAILURE OF THE BUILDER TO OBSERVE THESE APPROVALS.

WOOD FRAMING:

WOOD FRAMING MEMBERS IN CONTACT WITH MASONRY OR CONCRETE SHALL BE TREATED TO PREVENT DECAY. O.B.C. 2012, 9.23.2.2, OR SEPARATED FROM THE CONCRETE BY MIN 0.08"MM POLYETHYLENE FILM OR TYPE 5 ROLL ROOFING. O.B.C. 2012, 9.23.2.3.

STRUCTURAL WOOD ELEMENTS SHALL BE PRESSURE-TREATED FOR TERMITES AND DECAY PROTECTION WHERE THE VERTICAL CLEARANCE BETWEEN THE WOOD ELEMENTS AND THE FINISHED GROUND LEVEL IS LESS THAN 180MM O.B.C. 2012, 9.23.2.3.

WHERE WOOD IS REQUIRED TO BE TREATED TO RESIST TERMITES OR DECAY, IT SHALL BE IN ACCORDANCE WITH TABLE 2 "USE CATEGORIES FOR SPECIFIC PRODUCTS, USES AND EXPOSURES" OF CAN/CSA-C0.80.1.

WOOD FRAMING:

WOOD FRAMING MEMBERS IN CONTACT WITH MASONRY OR CONCRETE SHALL BE TREATED TO PREVENT DECAY. O.B.C. 2012, 9.23.2.2, OR SEPARATED FROM THE CONCRETE BY MIN 0.08"MM POLYETHYLENE FILM OR TYPE 5 ROLL ROOFING. O.B.C. 2012, 9.23.2.3.

STRUCTURAL WOOD ELEMENTS SHALL BE PRESSURE-TREATED FOR TERMITES AND DECAY PROTECTION WHERE THE VERTICAL CLEARANCE BETWEEN THE WOOD ELEMENTS AND THE FINISHED GROUND LEVEL IS LESS THAN 180MM O.B.C. 2012, 9.23.2.3.

WHERE WOOD IS REQUIRED TO BE TREATED TO RESIST TERMITES OR DECAY, IT SHALL BE IN ACCORDANCE WITH TABLE 2 "USE CATEGORIES FOR SPECIFIC PRODUCTS, USES AND EXPOSURES" OF CAN/CSA-C0.80.1.

FLOOD PROOFING DESIGN:

1. THE CONSERVATION HALTON SITE-SPECIFIC REQUIREMENTS INDICATE THAT THE REGULATORY FLOOD ELEVATION IS 174.79m WITH A 0.3m FREEBOARD AND AN ASSOCIATED MAXIMUM OVERBANK VELOCITY OF V40.3m/s THE FREEBOARD ELEVATION IS 175.09m.

DRY FLOOD PROOFING DESIGN:

1. THE BASEMENT OF THE ADDITION WAS DESIGNED FOR DRY-FLOODPROOFING.

2. THE FOUNDATION DESIGN ASSUMES THAT THE REGULAR WATER TABLE IS LOCATED BELOW THE BASEMENT SLAB. CONTACT TACOMA ENGINEERS FOR A REDESIGN OF THE FOUNDATIONS IF THE SITE CONDITIONS DIFFER.

3. A CONCRETE CURB PROTECTS THE MAIN FLOOR STRUCTURE FROM FLOODWATERS.

4. WATERPROOFING DESIGN OF THE FOUNDATION WALLS AND BASE SLAB IS BY OTHERS. STANDARD DAMPROOFING DOES NOT MEET FLOODPROOFING GUIDE LINE REQUIREMENTS.

WET FLOOD PROOFING DESIGN:

1. THE WOOD DECK WAS DESIGNED FOR WET-FLOODPROOFING.

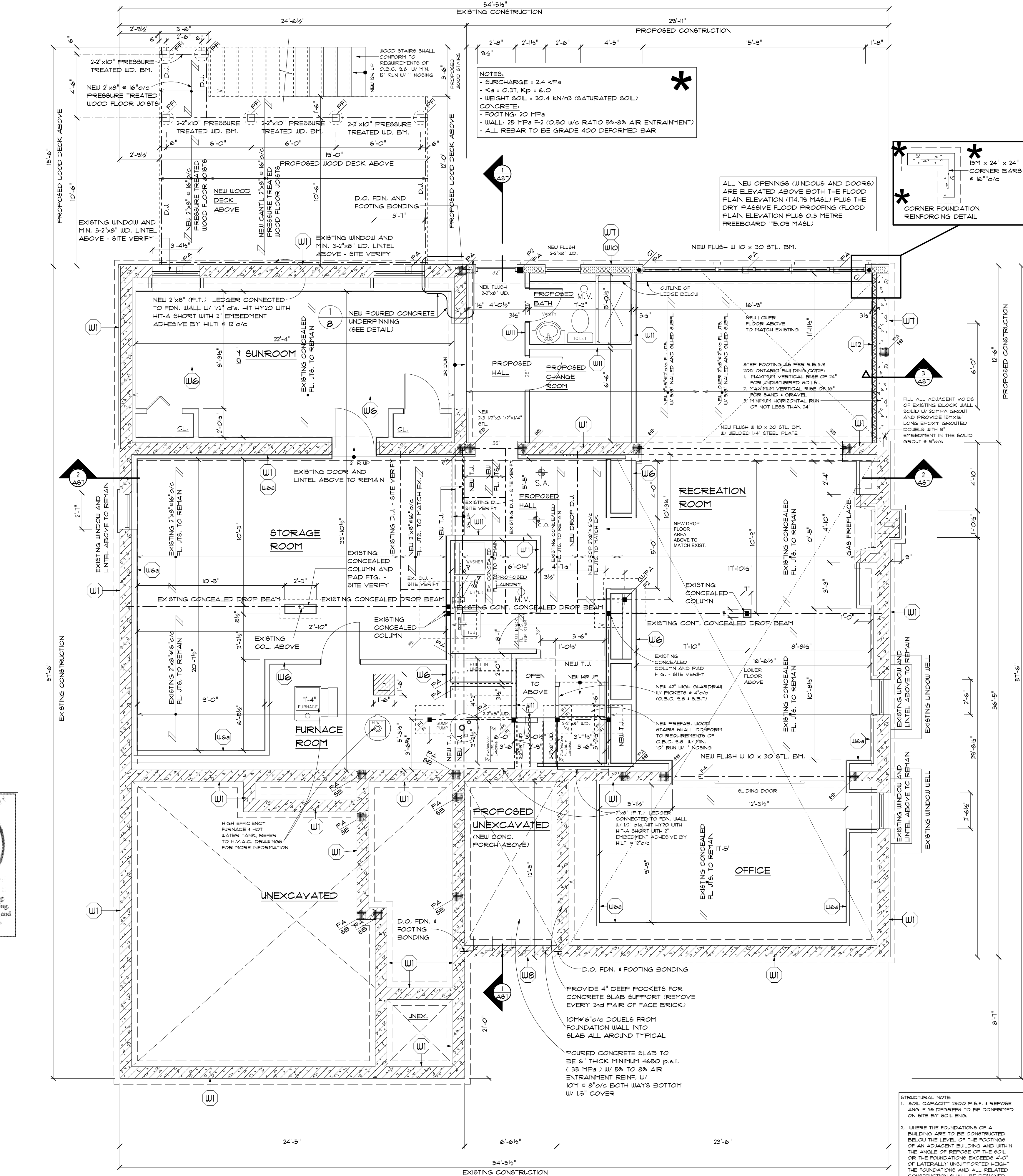
FLOOD PROOFING CONSTRUCTION NOTES: 1.

1. USE ONLY PRESERVATIVE-TREATED LUMBER AND PLYWOOD BELOW THE FLOOD ELEVATION PLUS 0.3m FREEBOARD 175.09m.

2. NO ELECTRICAL SERVICES ARE TO BE INSTALLED BELOW THE FLOOR ELEVATION PLUS 0.3m FREEBOARD 175.09m.

3. ALL FASTENERS AND METAL HARDWARE (INCLUDING FOUNDATION ANCHOR RODS) TO BE GALVANIZED OR STAINLESS STEEL BELOW THE FLOOD ELEVATION PLUS 0.3m FREEBOARD 175.09m.

4. HOUSE STRUCTURE HAS BEEN REVIEWED FOR THE REGULATORY FLOOR ELEVATION OF 90.66m WITH MAXIMUM OVERBANK VELOCITY OF V40.3m/s.



ELECTRICAL NOTE:

ALL NEW ELECTRICAL AND MECHANICAL FEATURES WILL BE ELEVATED ABOVE THE FLOOD PLAIN ELEVATION PLUS 0.3 METRES FREEBOARD 175.09 METRES ABOVE SEA LEVEL.

BASEMENT PLAN

SCALE 1/4" = 1'

0 1 2 3 4 5 10 feet

ALL FLOORS TO BE USED IN CONJUNCTION AS A SINGLE FAMILY DWELLING - THE PROPOSED DEVELOPMENT DOES NOT INCLUDE A SECONDARY DWELLING UNIT OR COOKING FACILITIES AND THAT THE PROPOSED BASEMENT WILL NOT BE CONVERTED INTO A SECONDARY DWELLING UNIT OR TO INCLUDE COOKING FACILITIES.

WALL LEGEND

U1 EXISTING FOUNDATION WALL (TO REMAIN): 10" CONC. BLOCK FDN. WALL ON CN. CONT. 20"x12"x8" THICK CONC. FTG. SITE VERIFY

U2 EXISTING SOLID MASONRY WALL (TO REMAIN): 4" BRICK/4" CONC. BLOCK COMPOSITE WALL W/ INTERIOR WOOD STRAPPING AND 3/4" DRYWALL FINISH

U3 EXISTING BRICK VENEER WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED 4" FACE BRICK/STONE, 1" AIR SPACE, EXTERIOR TYPE SHEATHING 2"x6"x6"x6" WOOD STUDS, 1/2" DRYWALL FINISH

U4 EXISTING BRICK VENEER WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED 4" FACE BRICK/STONE, 1" AIR SPACE, EXTERIOR TYPE SHEATHING 2"x6"x6"x6" WOOD STUDS, R-19 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH

U5 EXISTING EXTERIOR FRAME WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED STUCCO FINISH, EXTERIOR TYPE SHEATHING, 2"x6"x6"x6" WOOD STUDS, R-19 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH

U6 EXISTING INTERIOR PARTITION (TO REMAIN): DRYWALL FINISH (BOTH SIDES) 2"x4"x6"x6" W.D. STUDS

U6a EXISTING INTERIOR STRAPPING TO REMAIN: WALL ASSEMBLY CONCEALED/ASSUMED GYPSUM PLASTER, EXISTING UD. STRAPPING @ 16" o/c

U7 NEW FOUNDATION WALL: 10" (20MPa) REINFORCED CONCRETE WALL REINFORCED W/ 18M VERT. @ 16" o/c CENTERED IN WALL, 4 18M HORIZONTAL @ 16" o/c AND 8M x 10" x 36" V BENT DOUBLES @ 10" o/c ON 24" WIDE x 12" THICK (20MPa) POURED CONCRETE STRIP FOOTING REINFORCED W/ 3-18M CONTINUOUS BARS

U8 NEW FOUNDATION WALL: 10" CONC. BLOCK FOUNDATION WALL ON 22"x8" FOUR. CONCRETE FOOTING, REIN. W/ 2-18M CONT. REBARS

U9 NEW BRICK VENEER WALL: 4" FACE BRICK/STONE, 1" AIR SPACE, 0.25 THICK x 1/8" WIDE METAL TIES @ 32" o/c HORIZ. 16" o/c VERT. SHEATHING PAPER LAYERS TO OVERLAP, 1/2" FLUID EXT. TYPE SHEATH OR 1/8" OSB EXT. SHEATH, 2"x6"x6"x6" WOOD STUDS, R-19-501 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH (TAPED & BANDED), DOUBLE TOP PLATE & BOTTOM TOP PLATE & SOLE PLATE @ BOTTOM

U10 NEW EXTERIOR FRAME WALL: FINISH AS PER ELEVATIONS, SHEATHING PAPER LAYERS TO OVERLAP, 1/2" FLUID EXT. TYPE SHEATH OR 1/8" OSB EXT. SHEATH, 2"x6"x6"x6" WOOD STUDS, R-19-501 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH (TAPED & BANDED), DOUBLE TOP PLATES, SOLE PLATE @ BOTTOM

U11 NEW INTERIOR PARTITION: 2"x4"x6"x6" 8FR. WOOD STUDS W/ NEW 1/2" DRYWALL FINISH (TAPED & BANDED) TYPICAL FOR 3 1/2" PART.

U12 NEW FIRST FLOOR INTERIOR STRAPPING: 2"x4"x6"x6" WOOD STRAPPING (SET BACK 1" FROM SOLID MASONRY WALL), MIN. R20 G1 OR R12-10 G1 INSULATION WITH MINIMUM 1" OF INSULATION BEHIND STUDS, 1/2" DRYWALL INTERIOR FINISH

LEGEND

S.A. SMOKE ALARMS AS PER 9.10.19 2012 O.B.C.

M.V. MECHANICAL VENTILATION

C.O. CARBON MONOXIDE AS PER 9.33.4 2012 O.B.C.

F.D. FLOOR DRAIN

3-2"x4" WOOD POST

3-2"x6" WOOD POST

4-2"x6" WOOD POST

POST ABOVE

POINT LOAD ABOVE

STEEL COLUMN ABOVE

8"x10"x12" ST. PLATE PLUS 2-1/2" DIAM. ANCH. BOLTS (TYP.)

3 1/2" DIA. x 0.188 HSS W/ WELDED 6"x6"x3/8" TOP PLATE BOTTOM PLATE 8"x12"x8" PLUS 2-1/2" DIA. ANCHOR BOLTS

DENOTES 24"x24"x10" THICK FOUR. CONC. (20 MPa) PAD FTG.

DENOTES 36"x36" OFF SET DIMENSIONS 14" THICK FOUR. CONC. (20 MPa) PAD FTG., C/W 10M @ 8" o/c DOUBLES x 16" LONG, SOLID IMBED TO EXISTING FOOTING 8" EACH

CHECK/CONFIRM AND OR REPLACE W/ 48"x48"x18" THICK POURED CONCRETE FOOTING R/W 18M @ 6" o/c BOTTOM BARS BOTH WAYS

6"x6" WOOD POST (PRESSURE TREATED) ANCHORED W/ METAL SHOW AND 2-1/2" ANCHOR BOLTS TO 12" CONCRETE PIER FOOTING, MIN. 6" ABOVE GRADE AND 4'-0" BELOW GRADE

PROFESSIONAL ENGINEER

S. ZWART

100502999

MAR 19 2024

TA-5538-24

PROVINCE OF ONTARIO

TACOMA

ITEMS DESIGNED AS REQUESTED.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.3 OF THE BUILDING CODE

CONTRACTOR (TACOMA) 100502999

DATE: 10-08-2024

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.3 OF THE BUILDING CODE

UPDTOWN DEVELOPMENTS 100000

DATE: 02-04-2025

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025

Uptown Architecture

53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description: Arch D
PROPOSED TWO STOREY
REAR ADDITION AND SECOND FLOOR
ADDITION OVER ONE STOREY PORTION

Project Address:
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number 2022-015

Client Name KAROLINAH

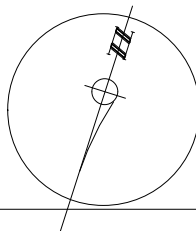
PROPOSED BASEMENT PLAN

AS2.1


Scale AS SHOWN

Drawn By: F.T.

Checked By: G.F.

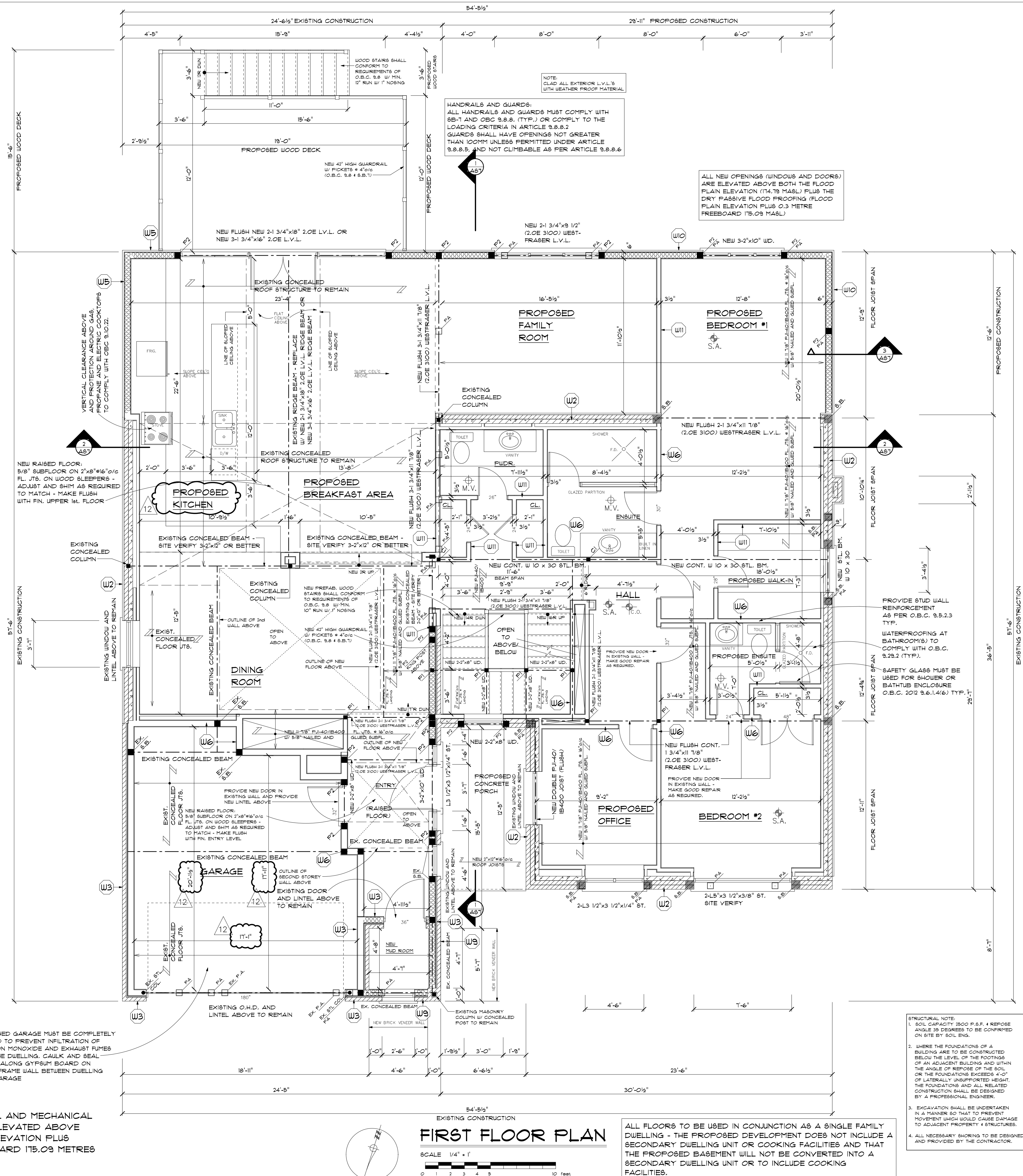


SCALE $1/4" = 1'$



0 1 2 3 4 5 10 feet

AS3	Drawn By: F.T.
Scale AS SHOWN	Checked By: G.F.



WALL LEGEND

- W1: EXISTING FOUNDATION WALL (TO REMAIN): 10" CONC. BLOCK FDN. WALL ON CONT. POUR. 20"X8" THICK CONC. FTG. SITE VERIFY
- W2: EXISTING SOLID MASONRY WALL (TO REMAIN): 4" BRICK/4" CONC. BLOCK COMPOSITE WALL W/ INTERIOR WOOD STRAPPING AND GYF./ PLASTER FINISH
- W3: EXISTING BRICK VENEER WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED 4" FACE BRICK/STONE, 1" AIR SPACE, EXTERIOR TYPE SHEATHING 2"x6" #16 @ 16" O/C WOOD STUDS, 1/2" DRYWALL FINISH
- W4: EXISTING BRICK VENEER WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED 4" FACE BRICK/STONE, 1" AIR SPACE, EXTERIOR TYPE SHEATHING 2"x6" #16 @ 16" O/C WOOD STUDS, R-19 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH
- W5: EXISTING EXTERIOR FRAME WALL (TO REMAIN): WALL ASSEMBLY CONCEALED/ASSUMED STUCCO FINISH, EXTERIOR TYPE SHEATHING, 2"x6" #16 @ 16" O/C WOOD STUDS, R-19 INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH
- W6: EXISTING INTERIOR PARTITION (TO REMAIN): DRYWALL FINISH (BOTH SIDES) 2"x4" #16 @ 16" O/C WD. STUDS
- W6a: EXISTING INTERIOR STRAPPING TO REMAIN: WALL ASSEMBLY CONCEALED/ASSUMED GYF./PLASTER, EXISTING WD. STRAPPING @ 16" O/C
- W7: NEW FOUNDATION WALL: 10" (20MPa) REINFORCED CONCRETE WALL REINFORCED W/ 18M VERT. @ 12" O/C CENTERED IN WALL, 4 18M HORIZONTAL @ 16" O/C AND 8M x 10" H x 36" V BENT DOUELS @ 10" O/C ON 24" WIDE x 12" THICK (20MPa) POURED CONCRETE STRIP FOOTING REINFORCED W/ 3-18M CONTINUOUS BARS
- W8: NEW FOUNDATION WALL: 10" CONC. BLOCK FOUNDATION WALL ON 22"x8" POUR. CONCRETE FOOTING, REINF. W/ 2-18M CONT. REBARS
- W9: NEW BRICK VENEER WALL: 4" FACE BRICK/STONE, 1" AIR SPACE, 2" O3 THICK x 1/8" WIDE METAL TIES @ 32" O/C HORIZ. 16" O/C VERT. SHEATHING PAPER LAYERS TO OVERLAP, 1/2" FLUID EXT. TYPE SHEATH OR 1/8" OSB EXT. SHEATH, 2"x6" #16 @ 16" O/C WOOD STUDS, R-19-50i INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH (TAPED & SANDED), DOUBLE TOP PLATE @ BOTTOM
- W10: NEW EXTERIOR FRAME WALL: FINISH AS PER ELEVATIONS, SHEATHING PAPER LAYERS TO OVERLAP, 1/2" FLUID EXT. TYPE SHEATH OR 1/8" OSB EXT. SHEATH, 2"x6" #16 @ 16" O/C WOOD STUDS, R-19-50i INSULATION, 4" CONT. AIR/VAP. BARRIER, 1/2" DRYWALL FINISH (TAPED & SANDED), DOUBLE TOP PLATES, SOLE PLATE @ BOTTOM
- W11: NEW INTERIOR PARTITION: 2"x4" #16 @ 16" O/C SPR. WOOD STUDS W/ NEW 1/2" DRYWALL FINISH, (TAPED & SANDED) TYPICAL FOR 3 1/2" PART.
- W12: NEW FIRST FLOOR INTERIOR STRAPPING: 2"x4" #16 @ 16" O/C WOOD STRAPPING (SET BACK 1" FROM SOLID MASONRY WALL), MIN. R20 CI OR R12-10 CI INSULATION WITH MINIMUM 1" OF OR INSULATION BEHIND STUDS, 1/2" DRYWALL INTERIOR FINISH

LEGEND

- S.A.: SMOKE ALARMS AS PER 9.10.19 2012 O.B.C.
- M.V.: MECHANICAL VENTILATION
- C.O.: CARBON MONOXIDE AS PER 9.33.4 2012 O.B.C.
- F.D.: FLOOR DRAIN
- 3-2"x4" WOOD POST
- 3-2"x6" WOOD POST
- 4-2"x8" WOOD POST
- POST ABOVE
- POINT LOAD ABOVE
- STEEL COLUMN ABOVE
- 8"x10"x12" ST. PLATE PLUS 2-1/2" DIAM. ANCH. BOLTS (TYP.)
- 3 1/2" DIA. x 0.188 HSS W/ WELDED 6"x6"x3/8" TOP PLATE BOTTOM PLATE 8"x12"x8" PLUS 2-1/2" DIA. ANCHOR BOLTS
- DENOTES 24"x24"x10" THICK FOUR CONC. (20 MPa) PAD FTG.
- DENOTES 36"x36" OFF SET DIMENSIONS 1/4" THICK FOUR CONC. (20 MPa) PAD FTG., C/W 10M @ 8" O/C DOUELS x 16" LONG, SOLID IMBED TO EXISTING FOOTING 8" EACH
- CHECK/CONFIRM AND OR REPLACE W/ 48"x48"x18" THICK POURED CONCRETE FOOTING R/W 18M @ 6" O/C BOTTOM BARS BOTH WAYS
- 6"x6" WOOD POST (PRESSURE TREATED) ANCHORED W/ METAL SHOW AND 2-1/2" ANCHOR BOLTS TO 12" CONCRETE PIER FOOTING, MIN. 6" ABOVE GRADE AND 4'-0" BELOW GRADE

STRUCTURAL NOTE:

1. SOIL CAPACITY 2800 P.S.F. & REPOSE ANGLE 35 DEGREES TO BE CONFIRMED ON SITE BY SOL. ENG.
2. WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE FOUNDATIONS EXCEEDS 4'-0" OF LATERALLY UNSUPPORTED HEIGHT, THE FOUNDATIONS AND ALL RELATED CONSTRUCTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
3. EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO THAT TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT BUILDING & STRUCTURES.
4. ALL NECESSARY SHORING TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR.

PROFESSIONAL ENGINEER
V. J. ARAUJO
Mar. 22/24
PROVINCE OF ONTARIO

For Structural Design, not including the Proposed Foundation and Footing. The Designed-for-TRCA Footings and Foundations by M.S. Zwart P.Eng., of Tacoma Engineers.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C, 3.2.4.3 OF THE BUILDING CODE

CONTRACTOR (TRCA) 120107
DATE 2024-08-08
BY VJA

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C, 3.2.4.3 OF THE BUILDING CODE

UPDTOWN CONSULTANTS 120006
DATE 2024-08-08
BY VJA

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025

Uptown
Architecture

53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description: **Arch D**
PROPOSED TWO STOREY
REAR ADDITION AND SECOND FLOOR
ADDITION OVER ONE STOREY PORTION

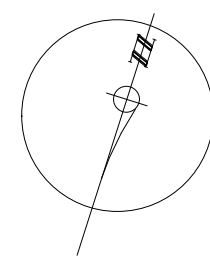
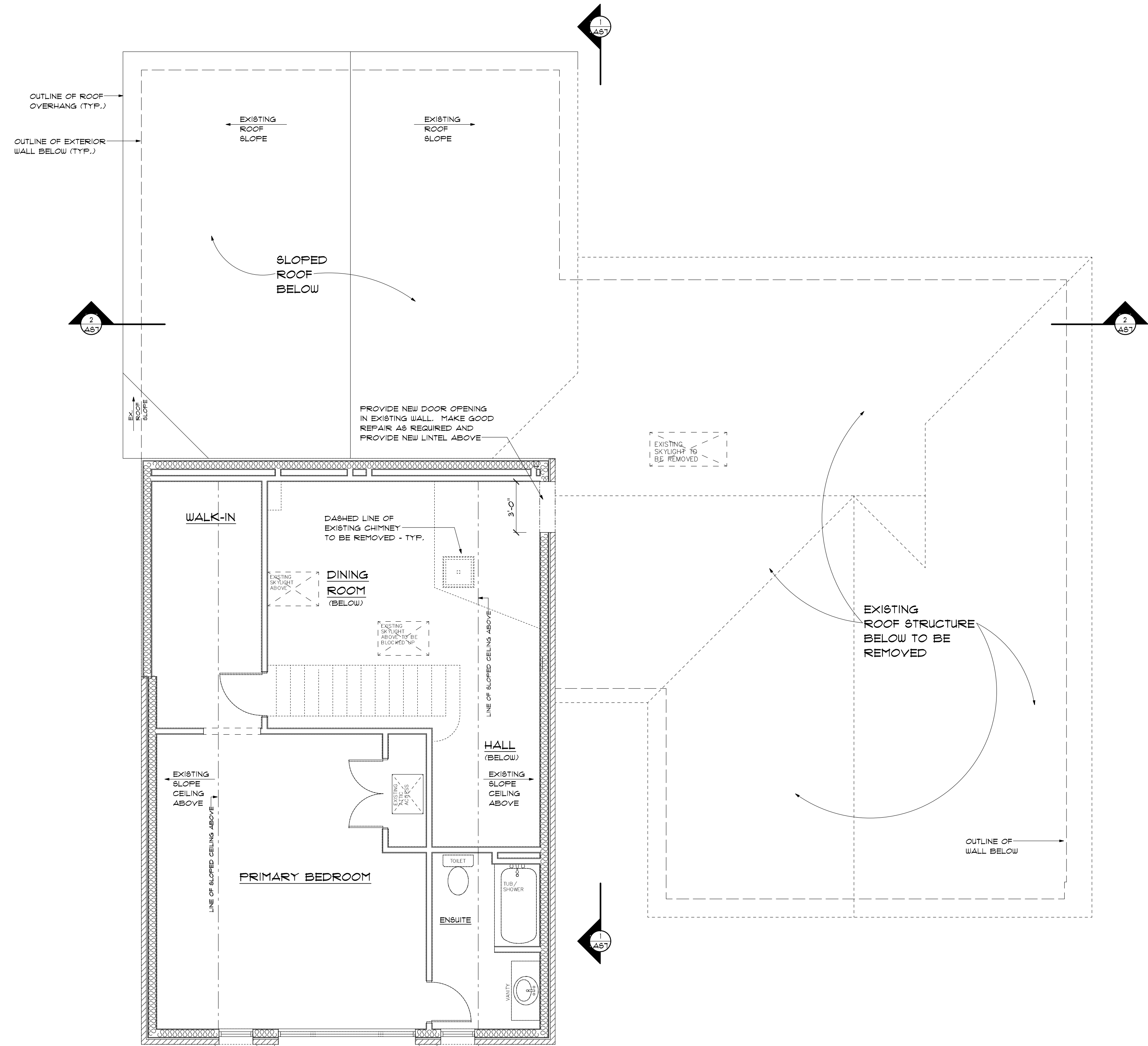
Project Address:
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number: **2022-015**

Client Name: **KAROLINAH**

**PROPOSED
FIRST FLOOR PLAN**

AS3.1	Drawn By: F.T.
Scale: AS SHOWN	Checked By: G.F.



SECOND FLOOR DEMOLITION PLAN

SCALE 1/4" = 1'
0 1 2 3 4 5 10 feet

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER	
QUALIFICATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C. 3.2.4.3 OF THE BUILDING CODE	
DESIGNER (FIRCA)	DESIGNER (FIRCA)
DATE	DATE
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C. 3.2.4.3 OF THE BUILDING CODE	
DESIGNER (FIRCA)	DESIGNER (FIRCA)
DATE	DATE

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025



53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description:
PROPOSED TWO STOREY
REAR ADDITION AND SECOND FLOOR
ADDITION OVER ONE STOREY PORTION

Arch D

Project Address:
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number 2022-015

Client Name KAROLINAH

SECOND FLOOR DEMOLITION PLAN

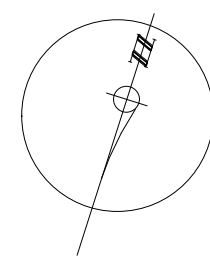
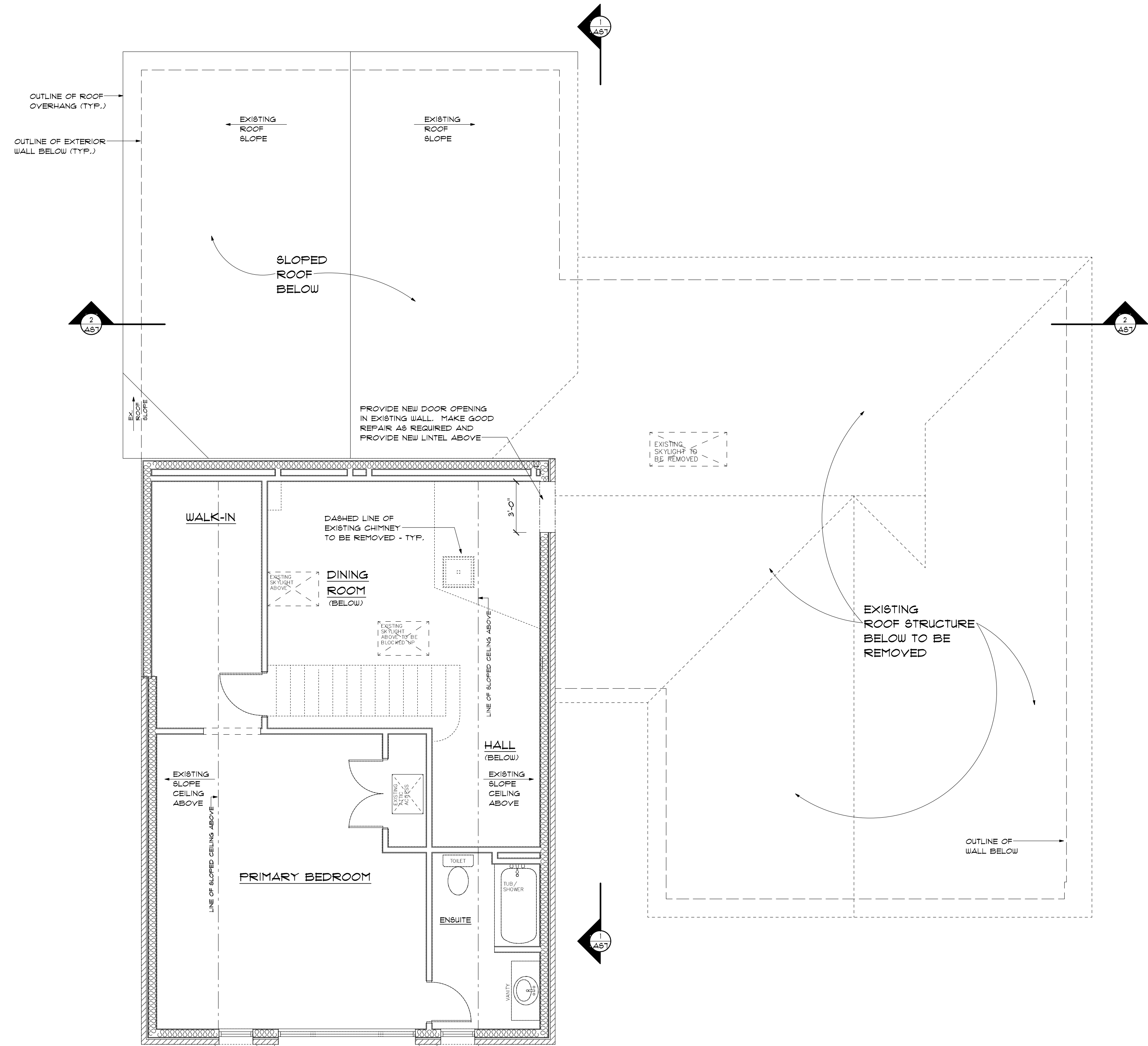
AS4

Drawn By:
F.T.

Scale
AS SHOWN

Checked By:
G.F.

AS4.1	Drawn By: F.T
Scale AS SHOWN	Checked By: G.F



SECOND FLOOR DEMOLITION PLAN

SCALE 1/4" = 1'
0 1 2 3 4 5 10 feet

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER	
QUALIFICATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C. 3.2.4.3 OF THE BUILDING CODE	
DESIGNER (FIRCA)	DESIGNER (FIRCA)
DATE	DATE
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C. 3.2.4.3 OF THE BUILDING CODE	
DESIGNER (FIRCA)	DESIGNER (FIRCA)
DATE	DATE

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025



53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

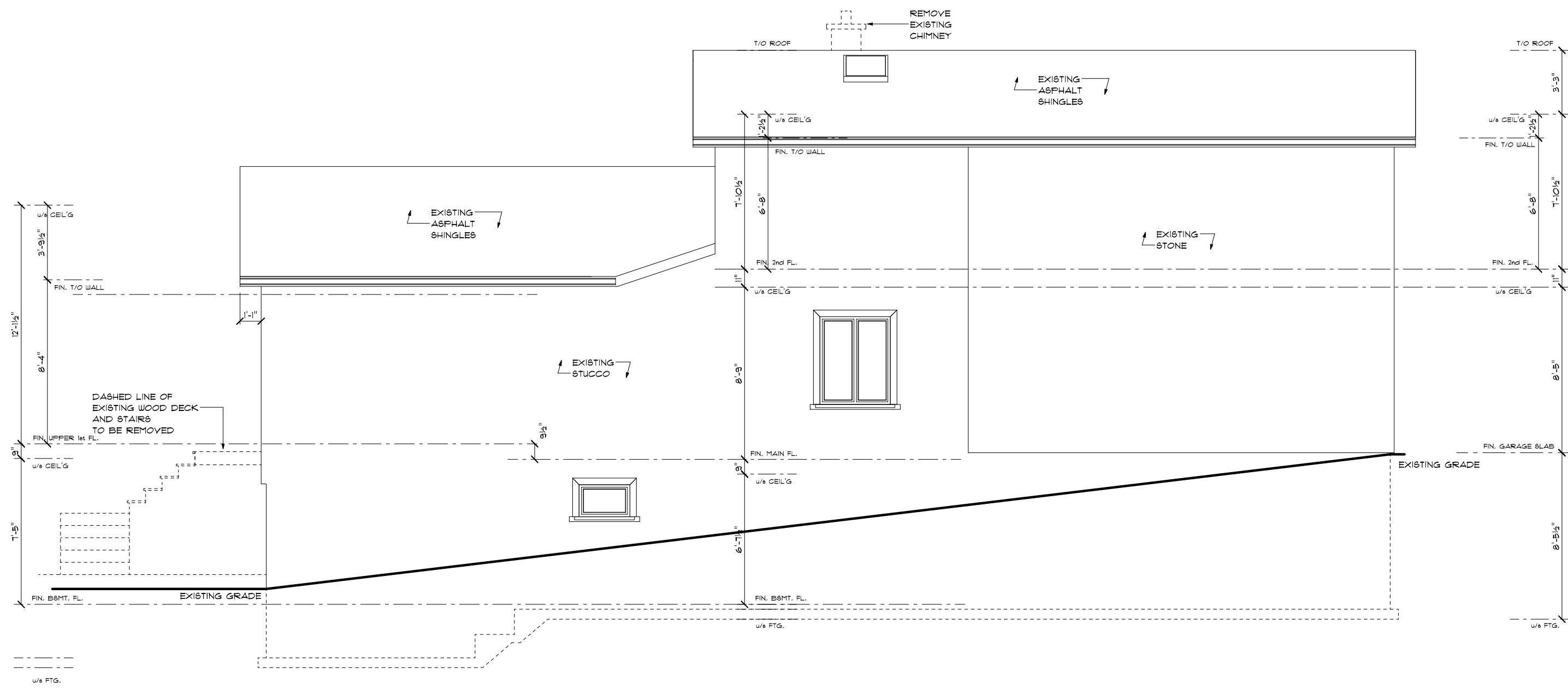
Project Title & Description: PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION	Arch D
Project Address: 31 BAKERDALE ROAD MARKHAM, ONTARIO L3P1J3	

Project Number 2022-015

Client Name KAROLINAH

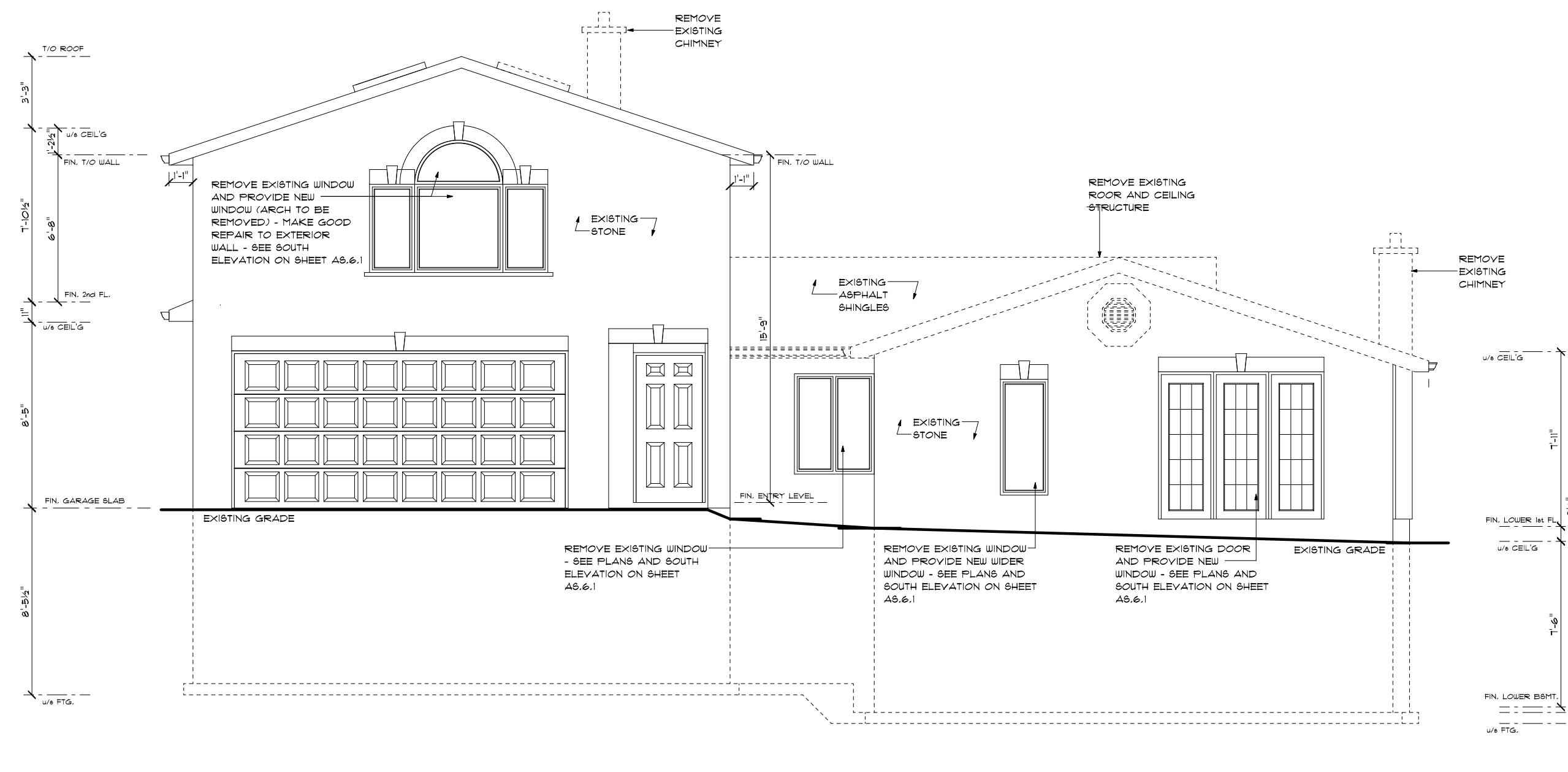
SECOND FLOOR DEMOLITION PLAN

AS4	Drawn By: F.T.
Scale AS SHOWN	Checked By: G.F.



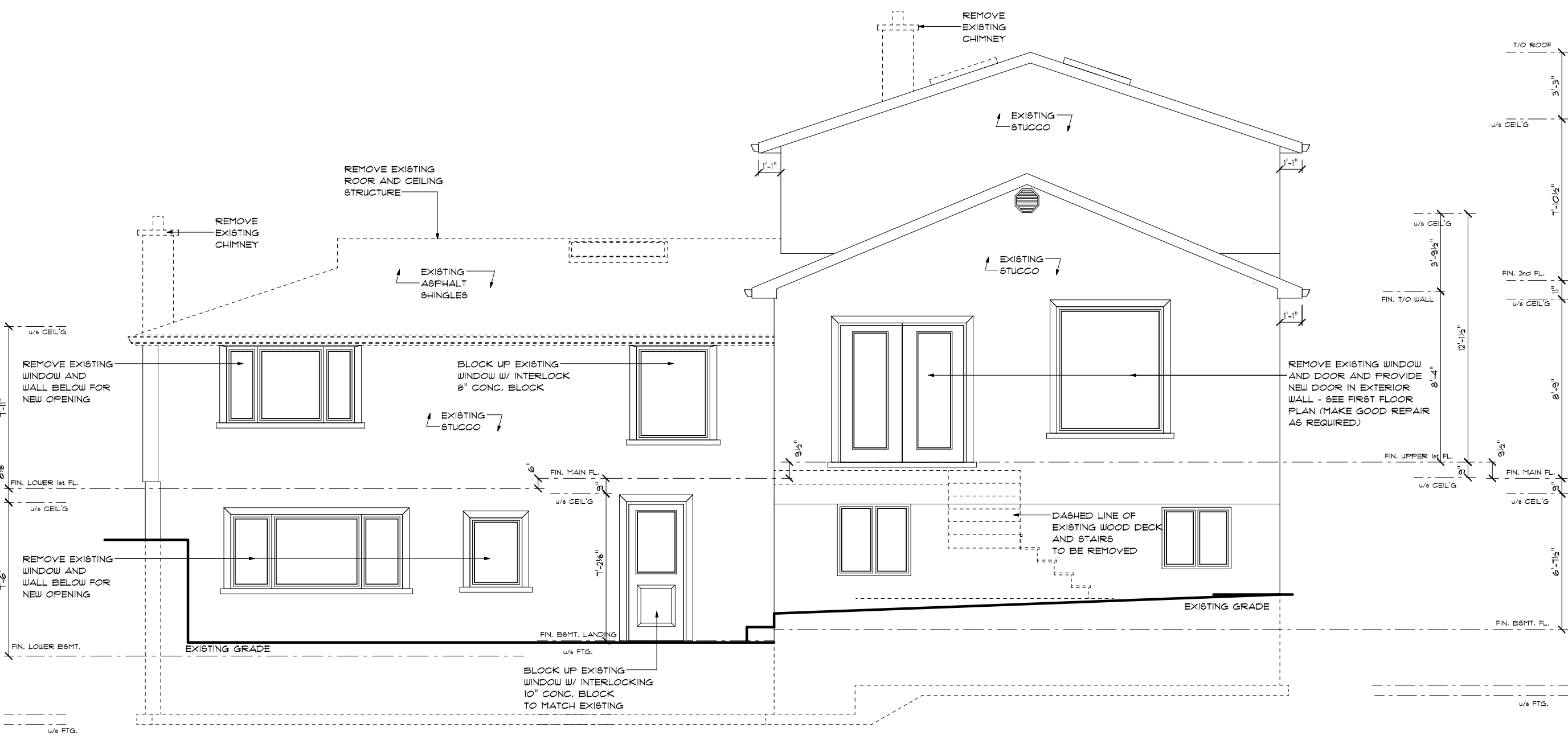
EAST ELEVATION

SCALE 3/16" = 1'-0"



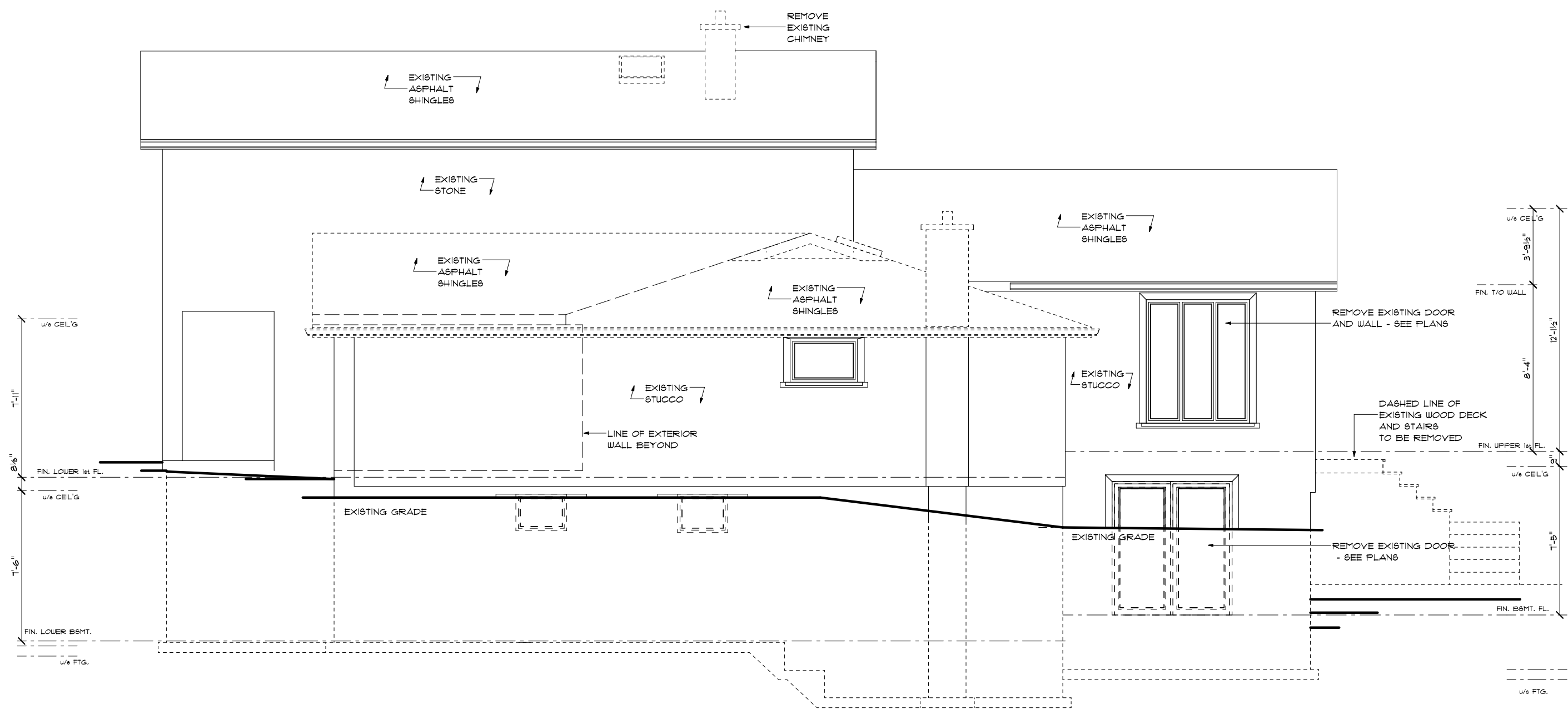
NORTH ELEVATION

SCALE 3/16" = 1'-0"



SOUTH ELEVATION

SCALE 3/16" = 1'-0"



WEST ELEVATION

SCALE 3/16" = 1'-0"

QUALIFICATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C 1.2.4.3 OF THE BUILDING CODE	
CONSULTANT (FACILITY)	1234567
DATE	2022-08-08
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C 1.2.4.3 OF THE BUILDING CODE	
UPTOWN DEVELOPMENTS	1234567
DATE	2022-08-08

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025



53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description:	Arch D
PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION	
Project Address: 31 BAKERDALE ROAD MARKHAM, ONTARIO L3P1J3	

Project Number 2022-015

Client Name KAROLINAH

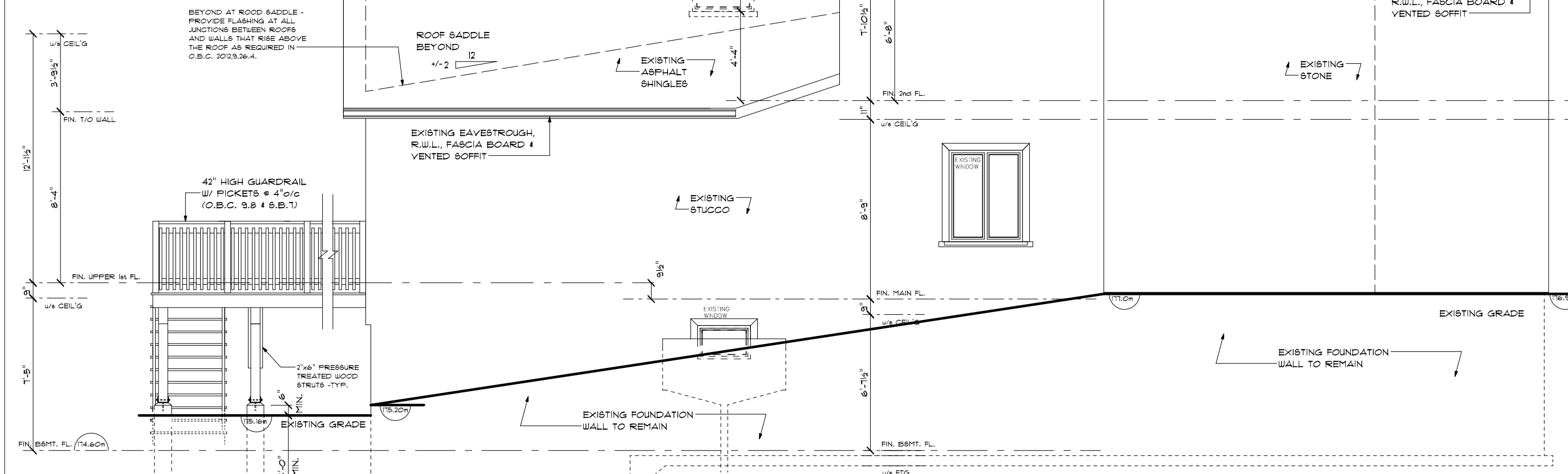
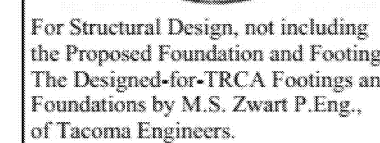
EXISTING/DEMO
ELEVATIONS

AS6

Drawn By:
F.T.

Scale
AS SHOWN

Checked By:
G.F.



SCALE 3/16" = 1'-0"

A horizontal scale bar with alternating black and white segments. Below the bar are numerical markings from 0 to 10, representing feet. The bar is divided into 10 equal segments, each representing 1 foot.

0 1 2 3 4 5 10 feet

[illegible]

EXTERIOR STAIRS:

EXTENSION CONCRETE STAIRS WITH MORE THAN TWO (2) RISERS AND TREADS SHALL BE SUPPORTED ON FOUNDATION WALLS WITH A MINIMUM OF 8"X8" IN CROSS SECTION AND 4"X10" JOIST DEEP OR CANTILEVERED FROM THE FOUNDATION WALL IN COMPLIANCE WITH O.B.C. 202.9.8.10.

EXTENSION STAIRS SERVING SECONDARY ENTRANCE WITH MORE THAN THREE (3) RISERS REQUIRE A LANDING AT THE TOP OF THE STAIRS. O.B.C. 202.9.8.6.2 (3).

EXTENSION STAIRS WITH MORE THAN THREE (3) RISERS REQUIRE HANDRAILS AS PER O.B.C. 202.9.8.11.17.


EVERY WALKING SURFACE SHALL BE PROTECTED BY A WALL OR PROPER GRADED LANDING OF DIFFERENCE IN ELEVATION BETWEEN THE WALKING SURFACE AND ADJACENT SURFACE (GRADE OR BASE OF ROOF) AS PER O.B.C. 202.9.8.11.17.

ENTRY DOOR
MAIN ENTRANCE
SHALL BE DESIGNED
SO THAT, WHEN
CONTROL AIR
INSECTS AND
(AS PER O.B.
OPERABLE. (

GLASS IN THE
AN AREA 30"
300MM (2'-0"
MUST BE 64%
2012, 9-6-14/

NOTE:
GEODETIC EL
ARE IN METE
SEA LEVEL

SCALE 3/16" = 1'-0"

<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER</p>		
<p>QUALIFICATION INFORMATION</p>		
<p>REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.3 OF THE BUILDING CODE</p>		
<p>GIANLUCA FRASCA</p> 	<p>12/01/07</p>	
<p>NAME</p>	<p>12/01/07</p>	<p>DATE</p>
<p>REGISTRATION INFORMATION</p>		
<p>REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.4.3 OF THE BUILDING CODE</p>		
<p>LIFETIME DEVELOPMENTS</p>	<p>120006</p>	
<p>FIRM NAME</p>		<p>DATE</p>

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025



53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptownn.ca
www.uptownn.ca

Project Title & Description:	Arch D
PROPOSED TWO STOREY REAR ADDITION AND SECOND FLOOR ADDITION OVER ONE STOREY PORTION	

Project Address
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number	2022-015
----------------	----------

Client Name **KAROLINAH**

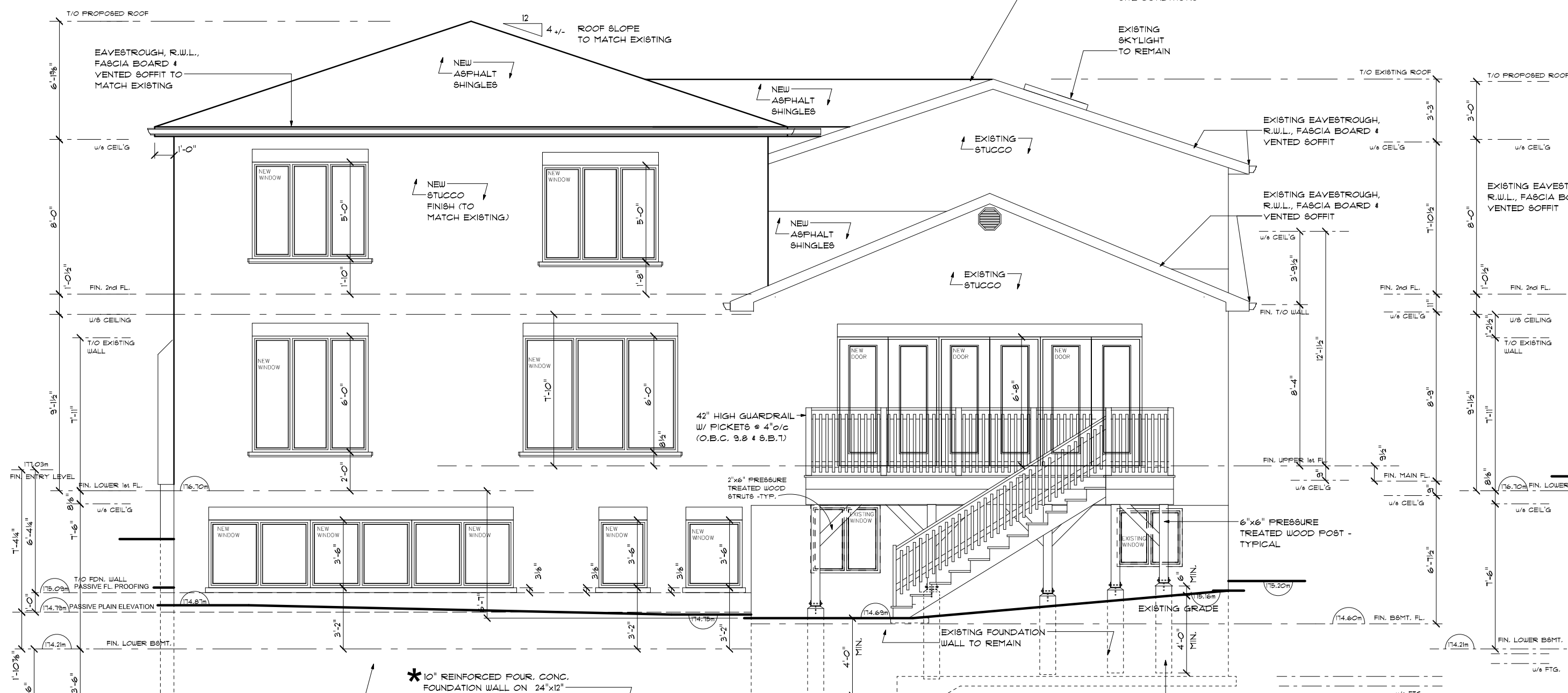
PROPOSED ELEVATIONS

AS6.1


Drawn By: F.T

Scale
AS SHOWN

Checked By: G.F



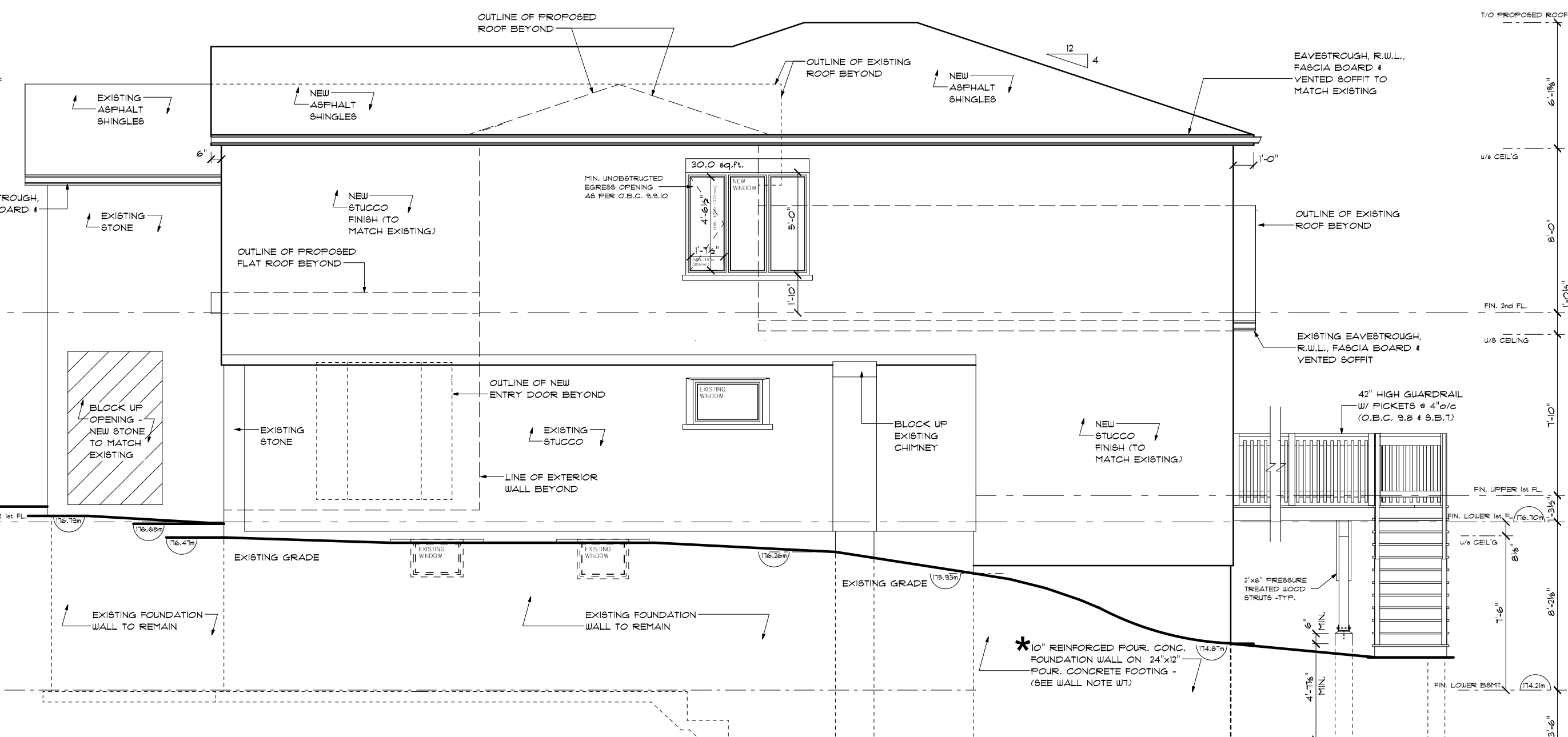
SCALE 3/16" = 1'-0"



0 1 2 3 4 5 10 feet

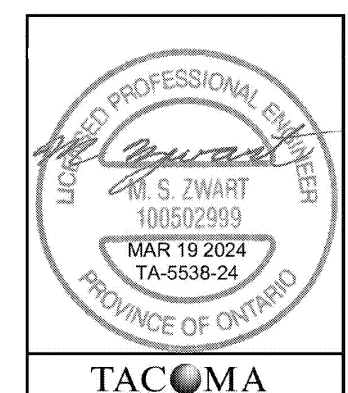
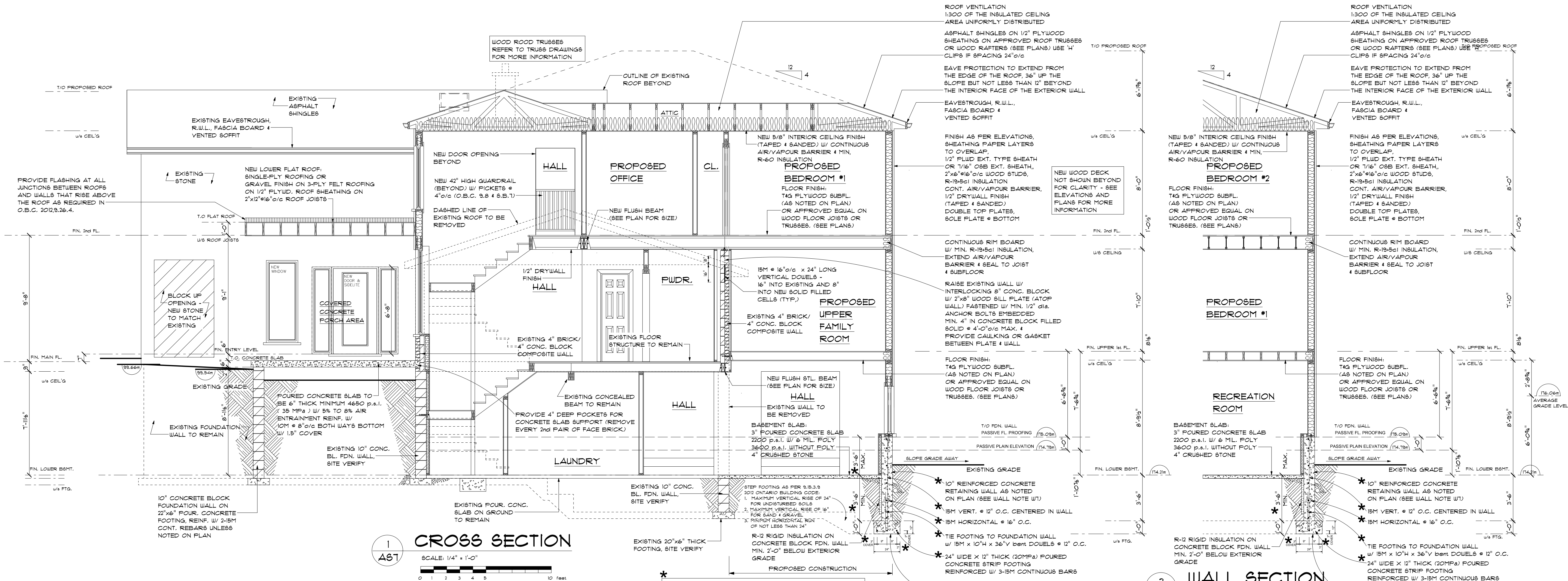
STEP FOOTING AS PER 2.15.3.3
2012 ONTARIO BUILDING CODE:
1. MAXIMUM VERTICAL RISE OF 24"
FOR UNDISTURBED SOILS
2. MAXIMUM VERTICAL RISE OF 16"
FOR SAND & GRAVEL
3. MINIMUM HORIZONTAL RUN

PROPOSED CONSTRUCTION



SCALE 3/8" = 1'-0"

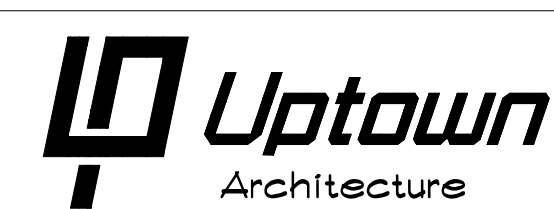
0 1 2 3 4 5 10 Feet



ITEMS DESIGNED AS REQUESTED.

QUALIFICATION INFORMATION	
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C, 3.2.4.3 OF THE BUILDING CODE	
DESIGNER (TRCA)	100502999
DATE	2024-03-19
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C, 3.2.4.3 OF THE BUILDING CODE	
REGISTERED PROFESSIONAL ENGINEER	100502999
DATE	2024-03-19

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025



53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptown.ca
www.uptown.ca

Project Title & Description: Arch D
PROPOSED TWO STOREY
REAR ADDITION AND SECOND FLOOR
ADDITION OVER ONE STOREY PORTION

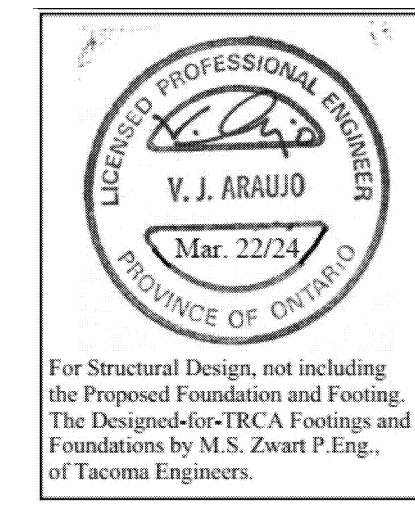
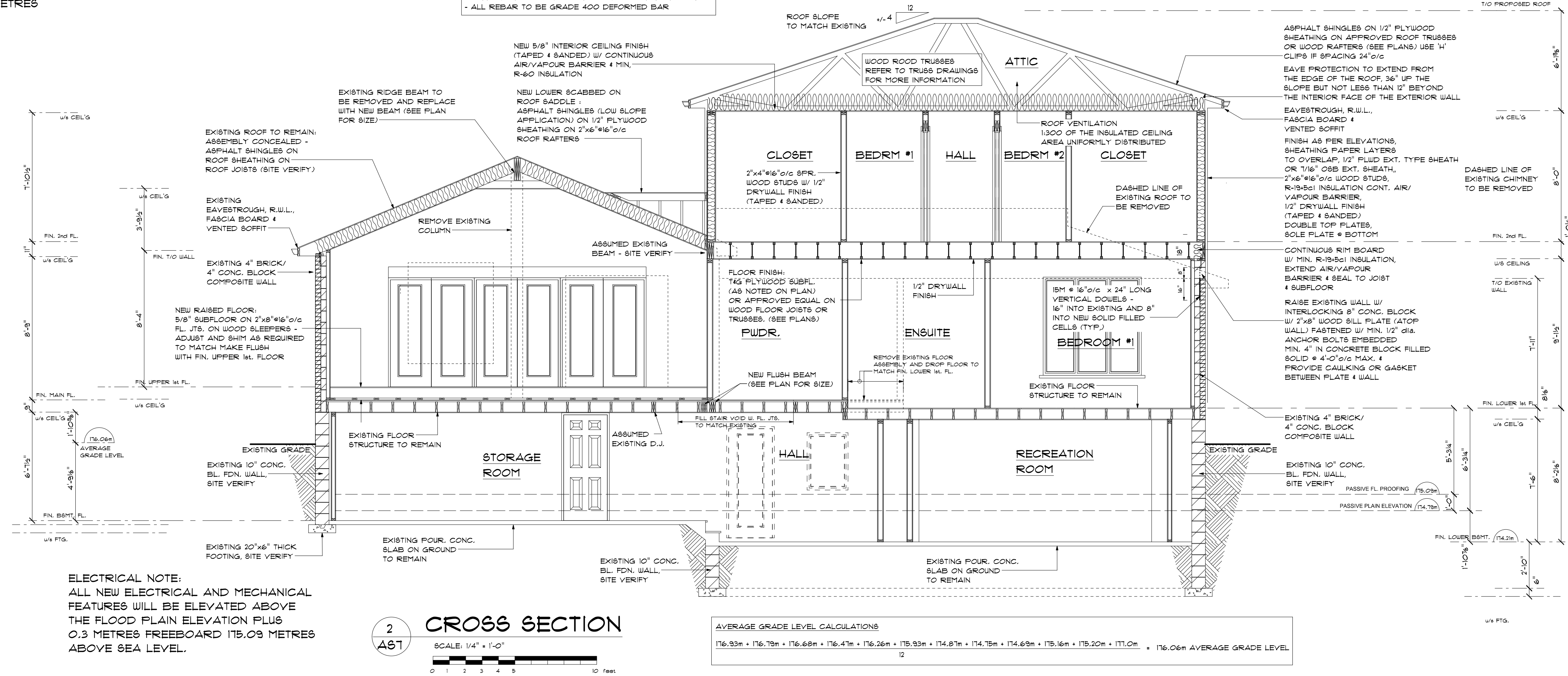
Project Address
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number 2022-015

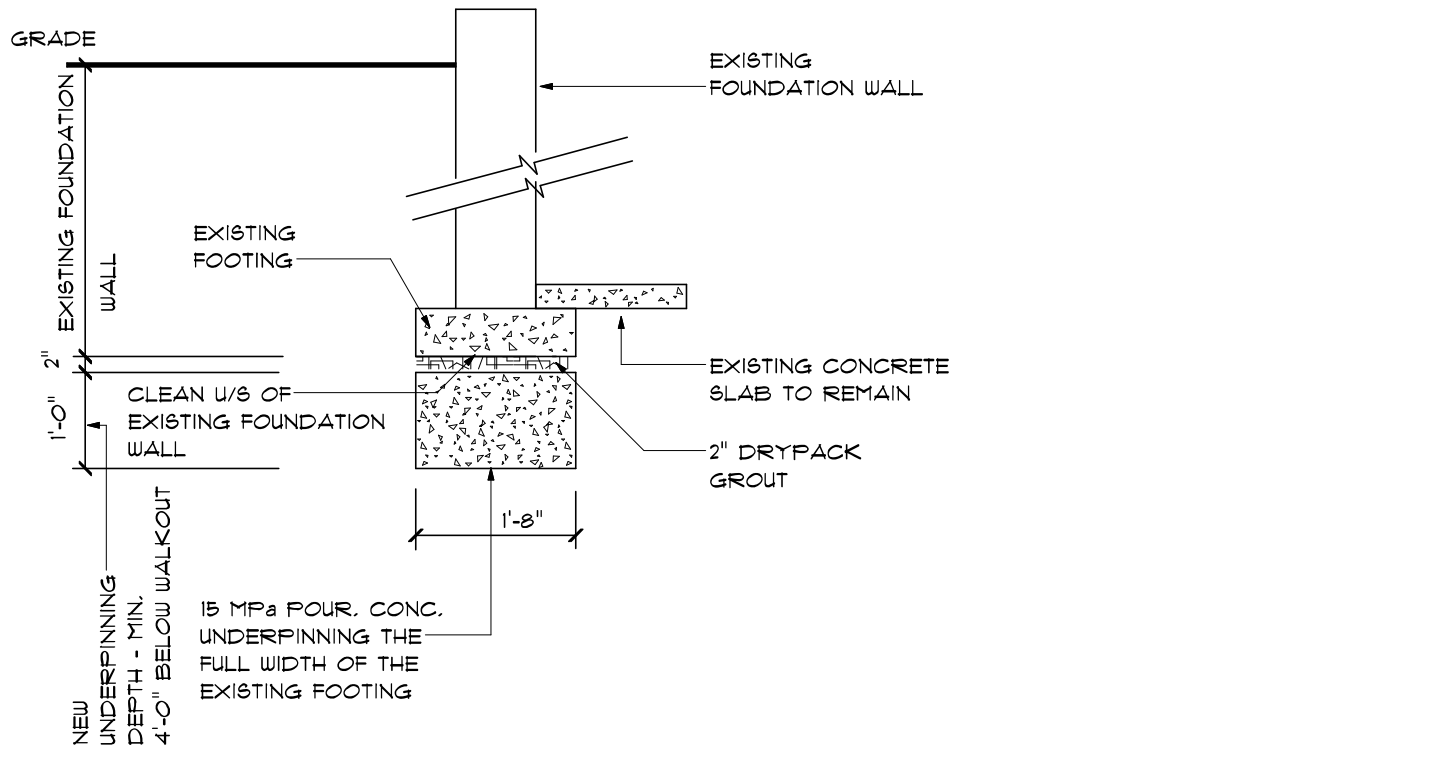
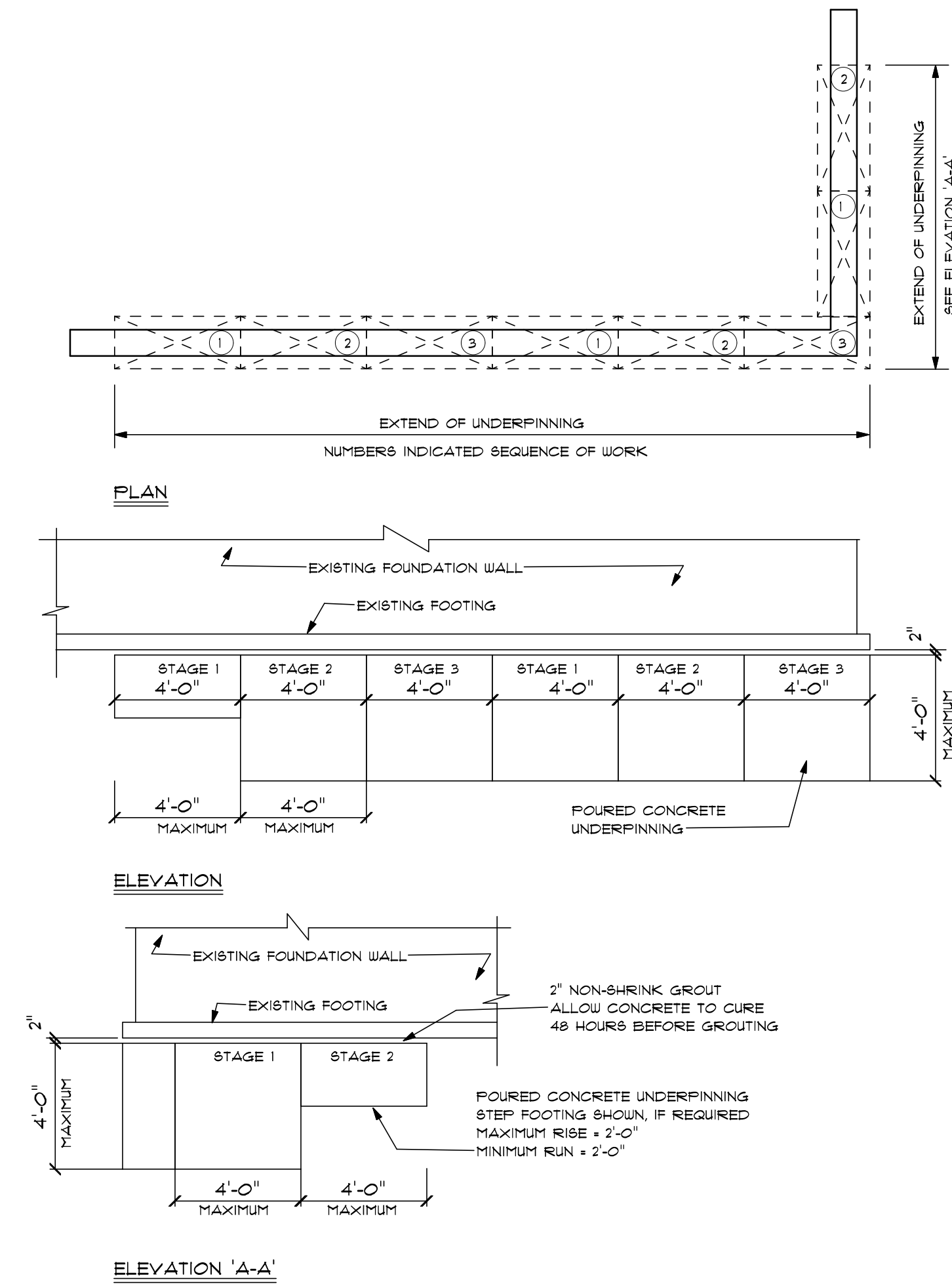
Client Name KAROLINAH

CROSS SECTIONS

AS7	Drawn By: F.T.
Scale AS SHOWN	Checked By: G.F.

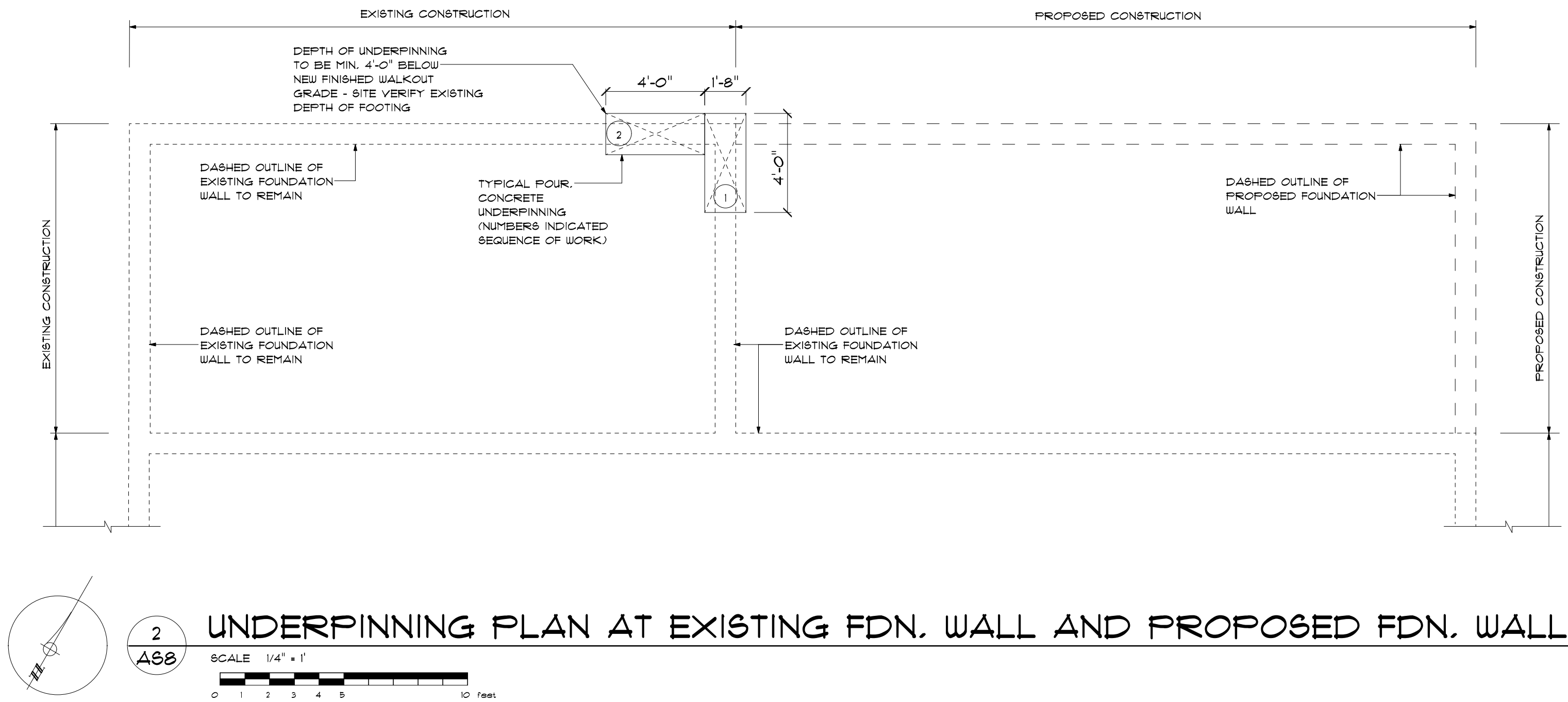


For Structural Design, not including the Proposed Foundation and Footing, The Design-for-TRCA Footings and Foundations by M.S. Zwart P.Eng., of Tacoma Engineers.

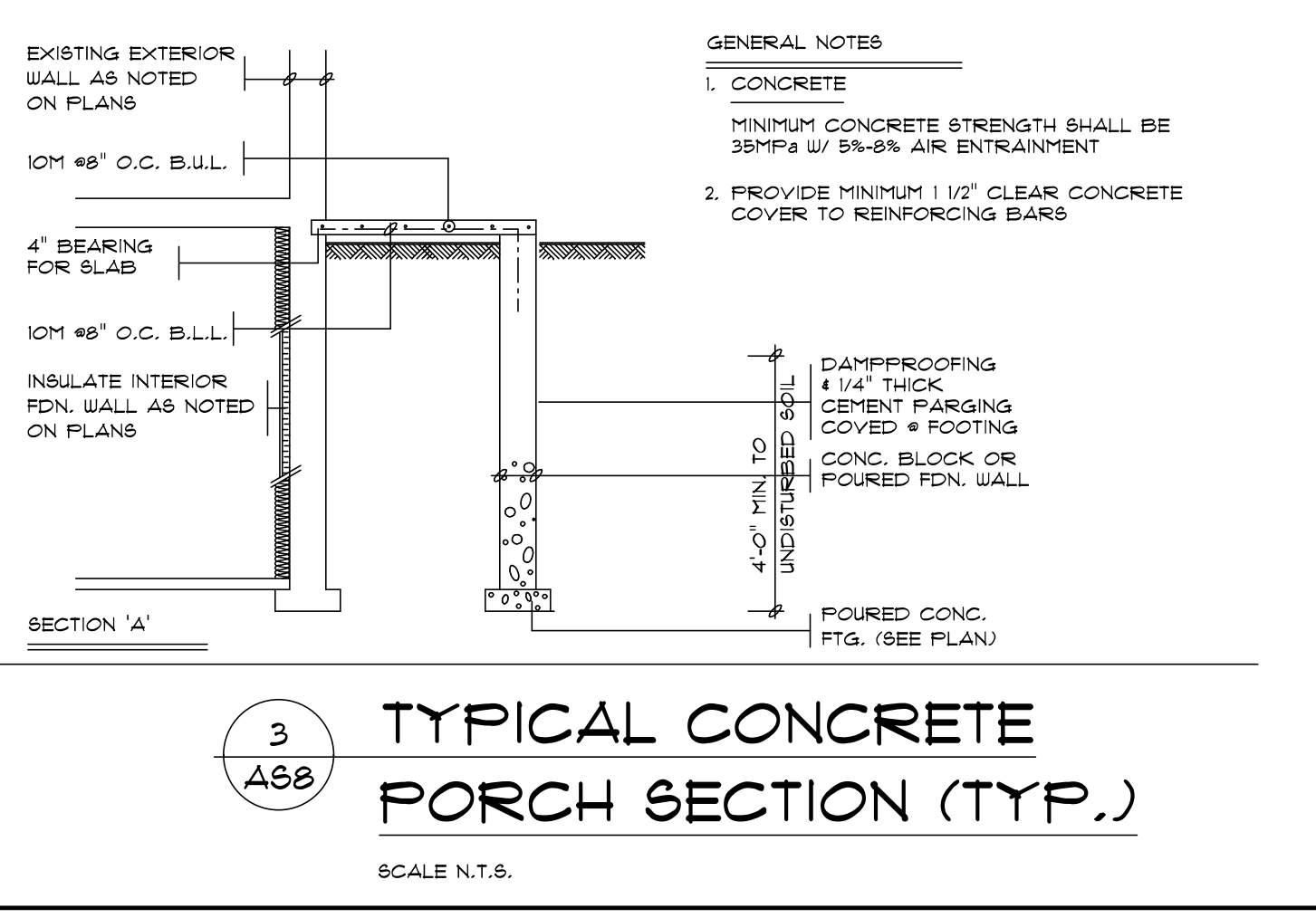


1 UNDERPINNING DETAIL

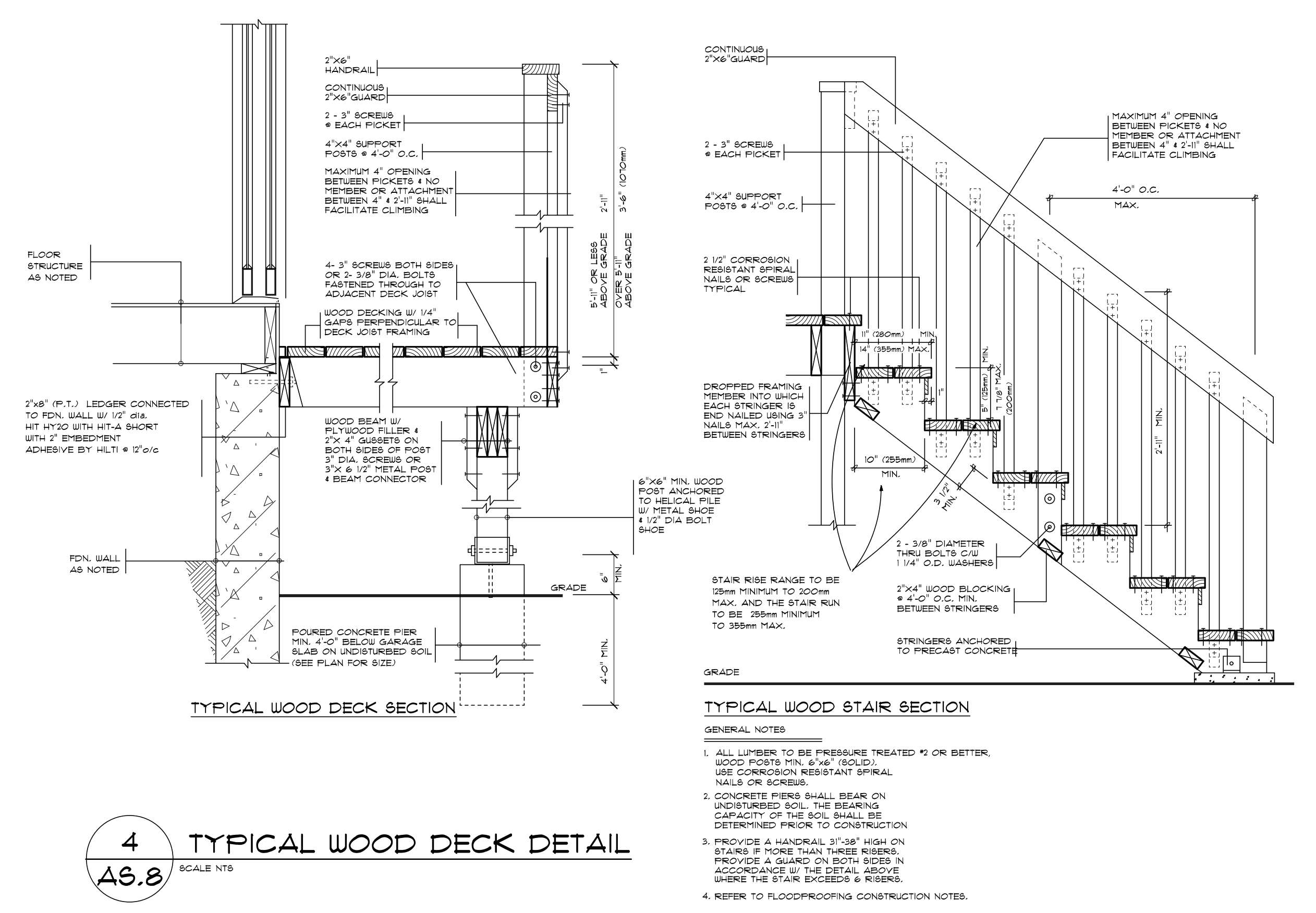
- NOTES:
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL OR THE UNDERPINNING EXCEEDS 4'-0" OF LATERALLY UNSUPPORTED HEIGHT, THE UNDERPINNING AND ALL RELATED CONSTRUCTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
 - EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO THAT TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
 - MINIMUM CONCRETE STRENGTH FOR UNDERPINNING SHALL BE 15 MPa (2200 psi) AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE 32 MPa (4650 PSI) w/ 5%-8% AIR-ENTRAINMENT.
 - CONCRETE SHALL BE CURED MINIMUM 48 HOURS BEFORE GROUTING THE SPACE BETWEEN THE TOP OF THE CONCRETE AND THE UNDERSIDE OF THE CONSTRUCTION ABOVE AND PROCEEDING TO THE NEXT STAGE.
 - SHORE AND BRACE WHERE NECESSARY TO ENSURE THE SAFETY AND STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.
 - WEEPING TILE IS TO DRAIN TO THE STORM SEWER, OR INSTALL A COVERED SUMP PIT WITH AN AUTOMATIC PUMP.



2 UNDERPINNING PLAN AT EXISTING FDN. WALL AND PROPOSED FDN. WALL



3 TYPICAL CONCRETE PORCH SECTION (TYP.)



4 TYPICAL WOOD DECK DETAIL

- GENERAL NOTES
- ALL LUMBER TO BE PRESSURE TREATED #2 OR BETTER. WOOD POSTS MIN. 6"x6" (SOLID). USE CORROSION RESISTANT SPIRAL NAILS OR SCREWS.
 - CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL. THE BEARING CAPACITY OF THE SOIL SHALL BE DETERMINED PRIOR TO CONSTRUCTION.
 - PROVIDE A HANDRAIL 31"± HIGH ON STAIRS IF MORE THAN THREE RISERS. PROVIDE A GUARD ON BOTH SIDES IN ACCORDANCE W/ THE DETAIL ABOVE WHERE THE STAIR EXCEEDS 6 RISERS.
 - REFER TO FLOODPROOFING CONSTRUCTION NOTES.

For Structural Design, not including the Proposed Foundation and Footing. The Design-for-TRCA Footings and Foundations by M.S. Zwart P.Eng., of Tacoma Engineers.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C. 1.2.4.3 OF THE BUILDING CODE

CONCULICA (TRCA) 12010P

DATE: 2024-08-08

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C. 1.2.4.3 OF THE BUILDING CODE

UPTOWN DEVELOPMENTS 120006

DESIGNER: KCM

No.	Description	Date
1	CLIENT APPROVAL	08/08/2022
2	REVISED AS PER CLIENT REQUEST	08/18/2022
3	P.ENG REVIEW	10/31/2022
4	HVAC DESIGN	11/22/2022
5	BUILDING PERMIT APPLICATION	01/06/2023
6	REVISED AS PER T.R.C.A. NOTICE	03/13/2023
7	REAR WOOD DECK ADDED	05/23/2023
8	ZONING REVIEW	05/29/2023
9	REVISED AS PER T.R.C.A. NOTICE	08/16/2023
10	REVISED AS PER T.R.C.A. NOTICE	03/07/2024
11	REVISED AS PER T.R.C.A. NOTICE	06/04/2024
12	REVISED AS PER ZONING NOTICE	02/04/2025
13	REVISED AS PER ZONING NOTICE	02/26/2025
14	COMMITTEE OF ADJUSTMENT	04/01/2025

53 Woodstream Blvd Unit 3,
L7B 1C8, ON, Canada
1-844-878-6966 | info@uptownn.ca
www.uptownn.ca

Project Title & Description: Arch D
PROPOSED TWO STOREY
REAR ADDITION AND SECOND FLOOR
ADDITION OVER ONE STOREY PORTION

Project Address:
31 BAKERDALE ROAD
MARKHAM, ONTARIO
L3P1J3

Project Number 2022-015

Client Name KAROLINAH

UNDERPINNING PLAN
& UNDERPINNING DETAIL

AS8

Drawn By: F.T.

Scale AS SHOWN

Checked By: G.F.

APPENDIX "B"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/037/25

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction;
3. That the applicant satisfies the requirements of the TRCA, financial or otherwise, as indicated in their letter to the Secretary-Treasurer attached as Appendix 'C' to this Staff Report, to the satisfaction of the TRCA, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the TRCA.

CONDITIONS PREPARED BY:



Stephen Corr, Senior Planner II, Planning and Urban Design Department

June 10, 2025

TRCA File No. PAR-DPP-2025-00790

Ex Ref: CFN 68757

VIA E-Plan

Stephen Corr, Senior Planner
Planning and Urban Design Department
City of Markham
101 Town Centre Boulevard
Markham, ON L3R 9W3

Re: Minor Variance Application – A/037/25
31 Bakerdale Road
Part of Block A, Registered Plan No. M-1789, City of Markham
Nearest Intersection: Highway 7 and McCowan Road
Applicant: Uptown Developments Inc. c/o John Frasca
Owner: Karolinah Lukitto

Toronto and Region Conservation Authority (TRCA) staff provide the following comments in response to the referenced Committee of Adjustment application, received by TRCA on May 27, 2025. We provide the following in accordance with TRCA's commenting role under the Planning Act and regulatory role under the Conservation Authorities Act (CA Act). For additional information, please see [Ontario Regulation 686/21](#).

Purpose of the Application

TRCA staff understand that the purpose of this application is to request relief from the following requirements of By-law 2024-19, as amended, as it relates to a proposed two storey rear addition and a second-floor addition over a portion of the existing one storey dwelling:

- a) **By-law 2024-19, Section 6.3.2.2 (l)**: a minimum combined interior side yard setback of 3.92 metres, whereas the By-law requires a minimum of 4.53 metres;
- b) **By-law 2024-19, Section 4.8.3 (b)**: a deck to extend from the wall closest to the rear lot line a maximum of 4.72 metres, whereas the By-law permits a maximum of 3.7 metres and;
- c) **By-law 2024-19, Section 6.3.2.2 (e)**: a maximum main building distance of 17.64 metres from the establishing building line for the second storey, whereas the By-law permits a maximum of 14.5 metres for any storey above the first storey.

Background

On April 1, 2025, TRCA approved a related permit application (TRCA Permit No. 68757) to facilitate the construction of a two-storey rear addition, a second-floor addition over a portion of the existing one-storey dwelling and a wooden deck to the rear of the existing dwelling. The materials circulated in support of this Minor Variance application are consistent with what TRCA has approved as part of the permit application. As such, staff do not have any concerns with the requested variances.

TRCA Permit Requirements

The subject lands are partially within TRCA's Regulated Area. This is due to the presence of a regulatory floodplain associated with a tributary of the Rouge River Watershed and its adjacent regulated allowance.

Due to the presence of natural hazards, the issuance of a TRCA permit pursuant to the Conservation Authorities Act is required prior to any development or site alteration within the regulated portion of the property.

TRCA Plan Review Fee

By copy of this letter, the applicant is advised that TRCA have implemented a fee schedule for its planning application review services in accordance with applicable provincial regulations. This Minor Variance Application is subject to a fee of \$950 (Minor Variance – Residential - Standard). The applicant is responsible for fee payment within 60 days of the committee hearing date. Please contact the Planner noted below for an electronic invoice to facilitate payment.

Recommendations

Based on the comments provided, TRCA staff have **no objection** to the approval Minor Variance Application A/037/25 subject to the **conditions** identified in Appendix A.

Should you have any questions or comments, please contact the undersigned.

Regards,

A handwritten signature in blue ink that reads "Rameez Sadafal". The signature is fluid and cursive, with the first name and last name clearly distinguishable.

Rameez Sadafal, M.Sc.Pl
Planner – York East Review Area
Development Planning and Permits | Development and Engineering Services
Telephone: (437) 800-2163
Email: rameez.sadafal@trca.ca

Attached: Appendix A: TRCA Conditions of Approval

Appendix A: TRCA Conditions of Approval

#	TRCA Conditions
1	The applicant submits the TRCA plan review fee of \$950 within 60 days of the committee hearing date.