

**Memorandum to the City of Markham Committee of Adjustment**  
August 8, 2025

**File:** A/071/25 to A/077/25  
**Addresses:** 84 Markham Veterans Street, Markham  
3 Alexandar Donaldson Street, Markham  
9 Vice Chancellor Drive, Markham  
16 Rover House Avenue, Markham  
14 Rover House Avenue, Markham  
19 Chappellett Avenue, Markham  
82 Alexander Donaldson Street, Markham  
**Applicant:** Lindwide Properties (Cornell Bur Oak) Limited  
**Agent:** RN Design  
**Hearing Date:** Wednesday, August 20, 2025

The following comments are provided on behalf of the East Team:

The Owner is requesting relief from the requirements of By-law 177-96, as amended by Parking Standards By-law-28-97, to permit:

- a) **By-law 28-97, Section 3.0 (E)**: a minimum of one parking space, whereas the by-law requires a minimum of two parking spaces.

This variance applies to six proposed townhouse properties with detached private garages, filed under Applications A/071/25 to A/073/25 and A/075/25 to A/077/25 (Municipally known as 84 Markham Veterans Street, 3 Alexandar Donaldson Street, 9 Vice Chancellor Drive, 16 Rover House Avenue, 14 Rover House Avenue, and 19 Chappellett Avenue)

The Owner is requesting relief from the requirements of By-law 177-96, as amended by Parking Standards By-law 28-97, to permit:

- b) **By-law 28-97, Section 6.2.4.2 a)**: a minimum driveway width of 8.00 metres, whereas the by-law requires a minimum driveway width equal to the garage door width, which is 8.38 metres.

This variance applies to one proposed townhouse property with an attached private garage, filed under application A/074/25 (82 Alexander Donaldson).

## **BACKGROUND**

### **Property Description and Proposed Development**

The "Subject Lands" comprise seven proposed townhouse properties (the 'Subject Lots' within a registered plan of subdivision, located south of Highway 7 East, west of Donald Cousens Parkway and east of Bur Oak Avenue, and in Cornell Centre. Surrounding lands are being developed with townhouse dwellings and multiple unit dwellings (stacked townhouses), and the retention of two detached heritage

dwelling on new lots within the plan of subdivision. The Subject Lands and surrounding units are lane-based, where motor vehicle access and parking is at the rear, accessed by public laneways. Each of the Subject Lots abut a hydro transformer notch at the rear lane, creating irregular lot configurations towards the rear yard. This impacts the ability to provide parking pads for six of the Subject Lots, and reduces the driveway width of one Subject Lot, necessitating the need for the proposed variances. Appendix 'A' shows the location of the Subject Lots and Appendix 'B' shows the site plan of each Lot.

### **Official Plan and Zoning**

The 2014 Official Plan identifies that the Subject Lands are within the Cornell Centre Key Development Area, which requires a new Secondary Plan. The Planning Policy section is currently targeting the preparation of a Secondary Plan for Cornell Centre to be advanced to Development Services Committee in Q4 2025. However, until a new secondary plan is approved, the 1987 Official Plan and 2008 Cornell Secondary Plan remain applicable to the Subject Lands. This designates them as 'Urban Residential' and 'Residential Neighbourhood Cornell Centre', which permits the proposed townhouse dwellings.

### **Zoning By-Law 177-96**

The subject property is zoned R2-LA\*657 under By-law 177-96, as amended, which permits townhouse dwellings. Parking Standards By-law 28-97, as amended, requires two parking spaces per townhouse unit.

Typically, in the surrounding area, required parking is provided at the rear lane with one space in a private garage and a second space on a parking pad, having a minimum width of 2.5 m (reduced by Exception Zone \*657 from the general standard of 2.75 m). Because the hydro notches abutting the Subject Lots reduce the lot width of the rear yard, insufficient room exists to provide a functional parking pad on six of the Subject Lots. A hydro notch also reduces the width of one driveway to 8.0 m, whereas the By-law requires it be equal to the proposed garage width of 8.38 m. The Owner has therefore submitted variances to resolve these non-conformities.

### **Zoning Preliminary Review (ZPR) Not Undertaken**

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the applicant has received comments from the building department through their permit process to confirm the variances required for the proposed development.

### **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;

- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

#### Reduced Parking Requirement

The Owner is requesting that a minimum of one parking space be required, whereas the by-law requires a minimum of two parking spaces, as it applies to six of the Subject Lots, proposed to be developed with townhouse dwelling units.

Since the Subject Lands and surrounding development are lane-based, ample on-street temporary parking opportunities will exist that are not broken up by driveways and curb cuts. To ensure that first unit purchasers are aware that only one parking space is provided to these six units, staff recommend that the Owner include a warning clause to that effect in purchase and sale agreements, and to the satisfaction of the City. This is provided in the recommended approval conditions in Appendix 'A'. As unit purchasers will be informed on the parking arrangement for the property, staff opine that the reduced parking will be of minimal impact.

#### Reduced Driveway Width

The Owner is requesting a minimum driveway width of 8.00 metres, whereas the by-law requires a minimum driveway width equal to the garage door width, which is 8.38 metres. This is a minor decrease and staff have no concern.

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of August 8, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

### **CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance requests satisfy the Planning Act criteria for authorizing variances and have no objection to approval. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



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Stephen Corr, Senior Planner, Planning and Urban Design Department

REVIEWED BY:



Rectangular Snip

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Stacia Muradali, Development Manager, East District

Attachments:

Appendix 'A' – Subject Lots Location Map

Appendix 'B' – Site Plans

Appendix 'C' – Recommended Conditions

## **APPENDIX “C”**

### **CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILES A/071/25 to A/073/25 and A/075/25 to A/077/ 25**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix B’ to this Staff, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction;
3. That the Owner provide a written signed agreement by the Purchaser of \_\_\_\_\_ confirming that the Purchaser is aware that the dwelling unit they are purchasing has one parking space. And alternatively, if the unit has not been sold by the time this condition is cleared (i.e., there is no purchaser), the applicant must submit a letter of commitment to the City, to the satisfaction of the City’s Transportation Engineering Department, that the future purchaser will be informed that the dwelling unit has one parking space, along with a copy of a draft purchaser agreement.

### **CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/074/25**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix B’ to this Staff, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction.

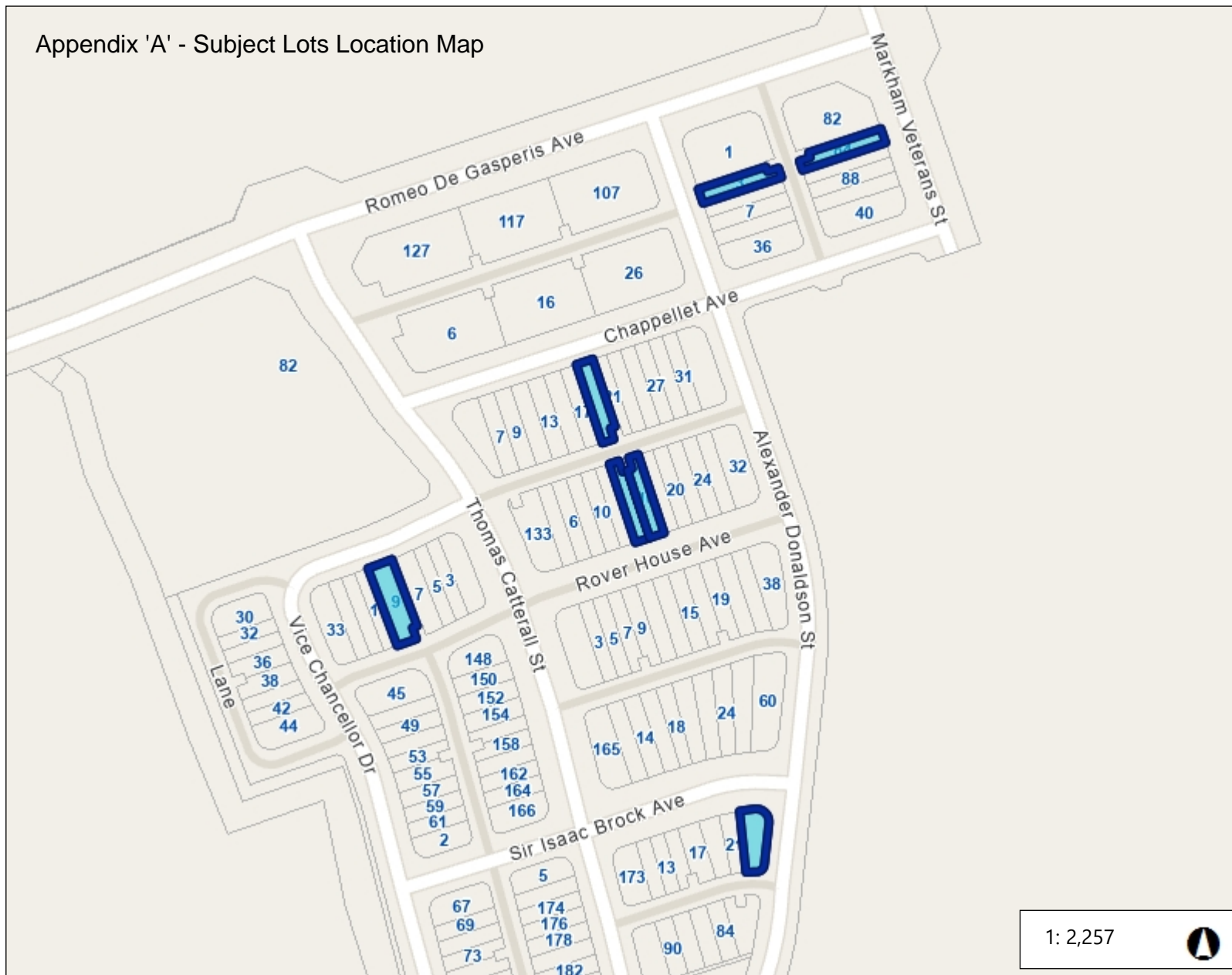
CONDITIONS PREPARED BY:



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Stephen Corr, Senior Planner, Planning and Urban Design Department

# Appendix 'A' - Subject Lots Location Map



1: 2,257



114.7 0 57.33 114.7 Meters

NAD\_1983\_UTM\_Zone\_17N  
© City of Markham

DISCLAIMER: The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email [cgis@markham.ca](mailto:cgis@markham.ca) and you will be directed to the appropriate department.



## Legend

- Parcel
- Park Facility
- Parks
  - Under Development
  - <all other values>

## Notes

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.



## Appendix 'B' - Site Plan 19 Chappellet Street

### LANE J

**LEGEND**

FFE	FINISHED FLOOR ELEVATION	SP	SUMP PUMP
TFW	TOP OF FOUNDATION WALL	BP	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	CP	CABLE PEDESTAL
USF	UNDER SIDE FOOTING	CB	CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	DBL	DBL. CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE	ENG	ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL	HC	HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	FD	FIRE HYDRANT
WOD	WALKOUT DECK	SL	STREET LIGHT
LOB	LOOKOUT BASEMENT	MB	MAIL BOX
WOB	WALK OUT BASEMENT	TR	TRANSFORMER
WUB	WALK UP BASEMENT	SC2	SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN	SC1	SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN	WC	WATER CONNECTION
△	DOOR	WVC	WATER VALVE CHAMBER
○	WINDOW	HV	HYDRANT AND VALVE
AC	AIR CONDITIONING	HM	HYDRO METER
DS	DOWN SPOUT TO SPLASH PAD	GM	GAS METER
DSPT	DOWNSPOUT CONNECTED TO STM	MS	MANHOLE - STORM
SWD	SWALE DIRECTION	MS-S	MANHOLE - SANITARY
-X-	CHAINLINK FENCE		
-XX-	PRIVACY FENCE		
-XXX-	SOUND BARRIER		
- - -	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.		

ISSUED OR REVISION COMMENTS					
NO.	DESCRIPTION	DATE	DWN	CHK	
5	REVISED PER ENG COMM - FINAL	21-JUL-23	BWS	AL	
6	REVISED PER CLIENT COMMENT	29-OCT-24	PP	AL	
7	REVISED PER CLIENT COMMENT	04-DEC-24	--	AL	
8	UPDATED LOT 8	16-JAN-24	D.H	AL	

**RN DESIGN**

WWW.RNDESIGN.COM  
T:905-738-3177  
WWW.THEPLUSGROUP.CA

I, ARTHUR PUI YAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 41230  
FIRM BCIN: 26995  
DATE:

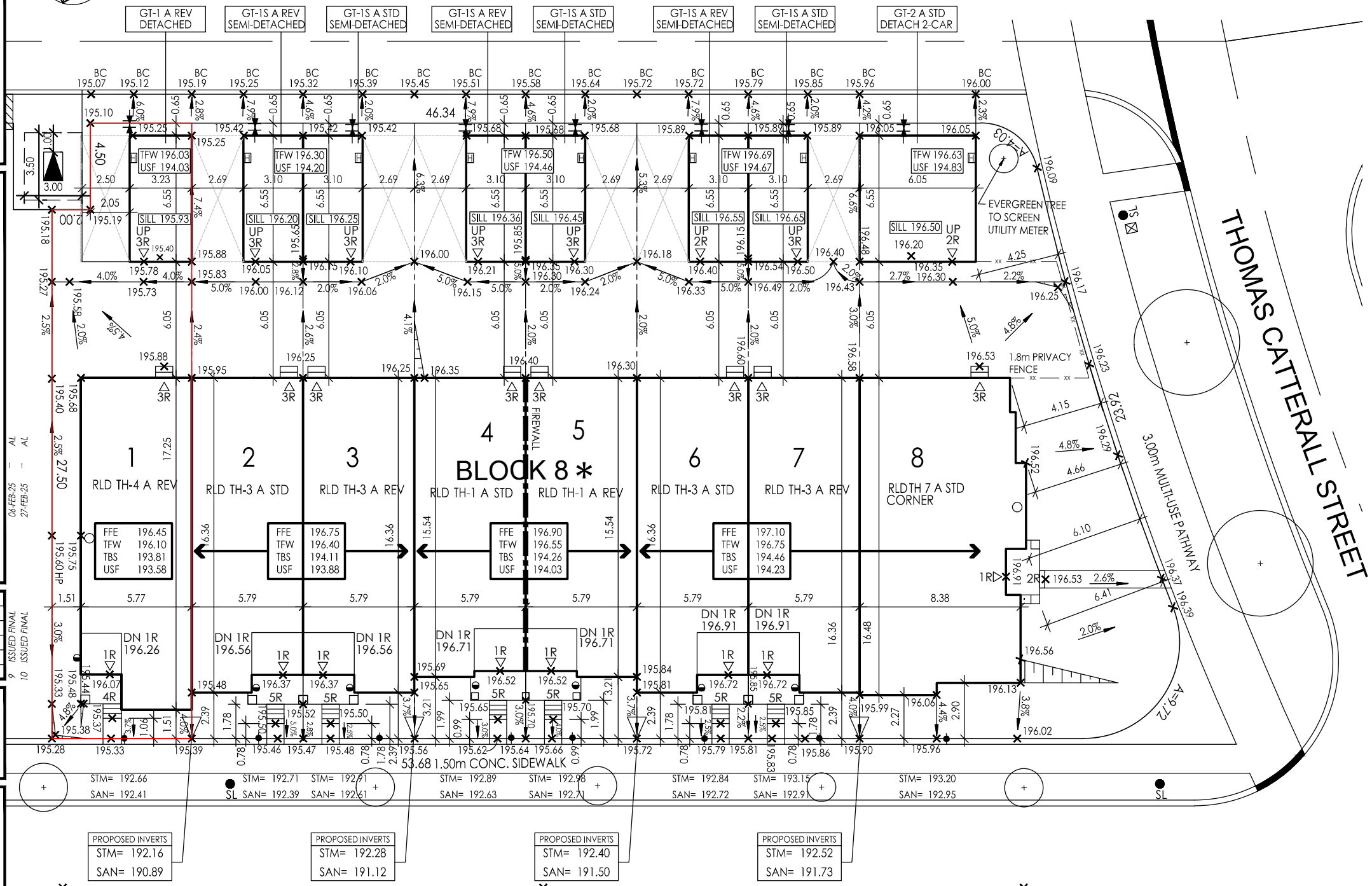
SIGNATURE:

CLIENT  
**LINDWIDE DEVELOPMENTS**

PROJECT/LOCATION  
**CORNELL CITY OF MARKHAM**

DRAWING  
**SITE PLAN**

DRAWN BY <b>BWS</b>	SCALE <b>1:250</b>
PROJECT No. <b>19090</b>	LOT NUMBER <b>BLK 8</b>



NOTE=FRONT RISERS ARE 0.25 m

### CHAPPELLET STREET

#### BLOCK 8 (CHAPPELLET STREET)

LOT#	MUNICIPAL ADDRESS	MODEL	GARAGE MODEL	GARAGE DIM. W x L (m)	LOT FRONTAGE (m)	AMENITY SPACE (m2)	BUILDING HEIGHT (m)
1	19	RLD TH-4 A REV	GT-1 A REV DETACHED	2.77 X 6.10	7.28	44.0	8.4
2	17	RLD TH-3 A STD	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
3	15	RLD TH-3 A REV	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
4	13	RLD TH-1 A STD	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
5	11	RLD TH-1 A REV	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
6	9	RLD TH-3 A STD	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
7	7	RLD TH-3 A REV	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
8	5	RLD TH-7 A STD	GT-2 A STD DETACHED 2-CAR	5.59 X 6.10	16.60	68.8	

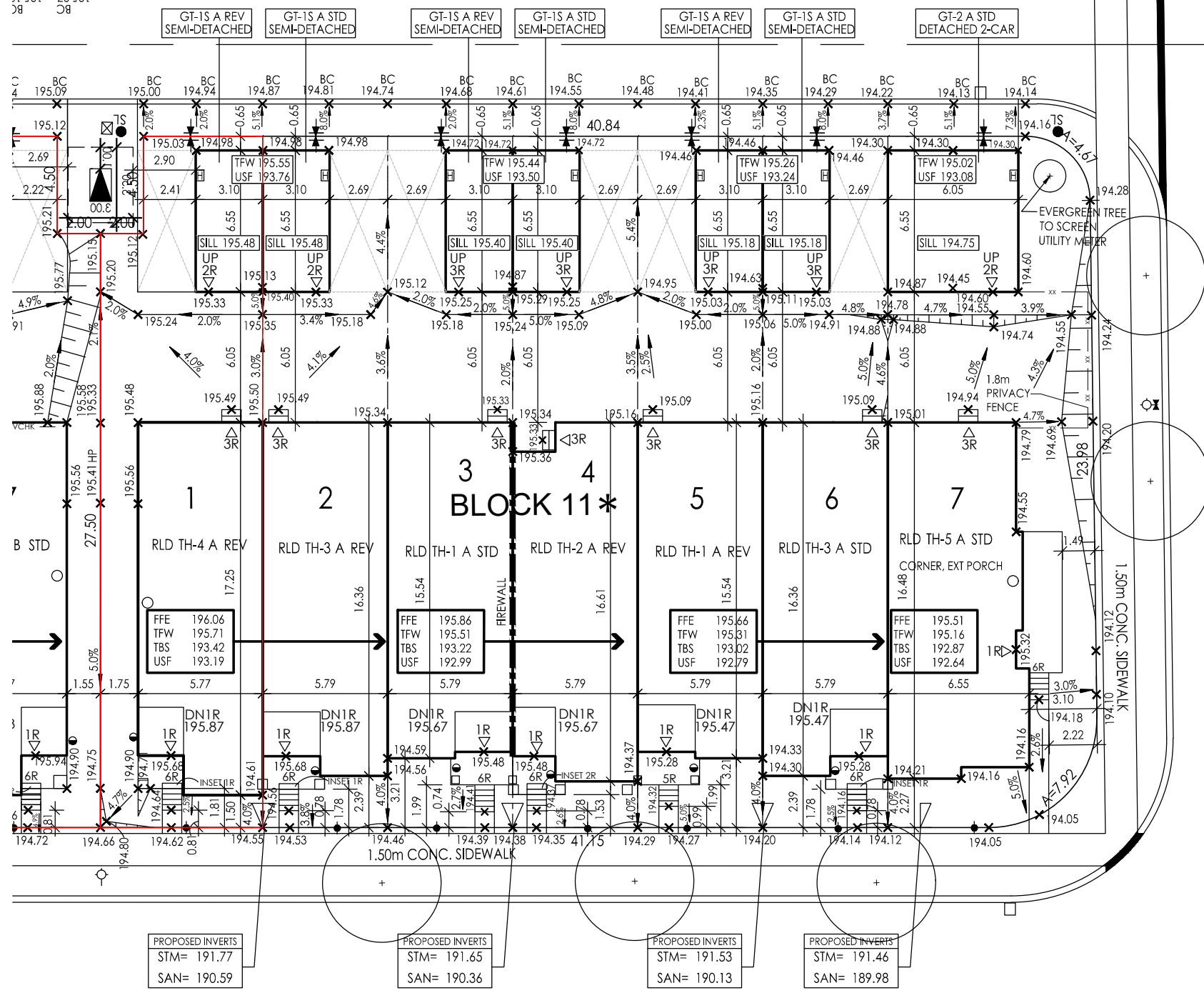
- FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL AND BE A MIN. OF 1.22m BELOW FINISHED GRADE. UNDERSIDE OF FOOTINGS SHOWN ARE TAKEN FROM ARCHITECTURAL PLANS AND MY NOT REPRESENT ACTUAL FOOTING LEVEL.
- BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
- DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
- FOR DETAILS OF THE LANEWAY & PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS

BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES



File: D:\RN 2019 Projects\19090\Site Planning\Architectural (RN)\Site Plan\19090-SP100-PHASE 2&3(TOWNS & STACKS).dwa Plotted: Jun 03, 2025 By: DavidH





SERVICE CONNECTIONS ARE PROPOSED:  
BUILDER TO CONFIRM AS-BUILT  
CONNECTIONS, PRIOR TO CONSTRUCTION  
OF FOOTINGS.

1. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL AND BE A MIN. OF 1.22m BELOW FINISHED GRADE. UNDERSIDE OF FOOTINGS SHOWN ARE TAKEN FROM ARCHITECTURAL PLANS AND MY NOT REPRESENT ACTUAL FOOTING LEVEL.
2. BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
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ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
2	ISSUED FOR REVIEW	09-MAR-23	BWS	
3	REVISED PER ENG COMM - FINAL	02-JUN-23	BWS	
4	ISSUED FINAL	04-JUL-23	BWS	AL
5	REVISED PER ENG COMM - FINAL	21-JUL-23	BWS	AL



I, ARTHUR PUJYAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C,PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:	41230
FIRM BCIN:	26995
DATE:	

SIGNATURE: \_\_\_\_\_

CLIENT  
LINDWIDE DEVELOPMENTS

PROJECT/LOCATION  
CORNELL  
CITY OF MARKHAM

DRAWING

SITE PLAN

DRAWN BY BWS	SCALE 1:250
PROJECT No. 19090	LOT NUMBER BLK 11

NOTE=FRONT RISERS ARE 0.25 m

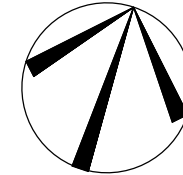
BLOCK 11 (ROVER HOUSE AVENUE)						
LOT#	MUNICIPAL ADDRESS	MODEL	GARAGE MODEL	GARAGE DIM. W x L (m)	LOT FRONTAGE (m)	AMENITY SPACE (m2)
1	16	RLD TH-4 A REV	GT-IS A REV SEMI-DETACHED	2.77 X 6.10	7.52	45.3
2	18	RLD TH-3 A REV	GT-IS A STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0
3	20	RLD TH-1 A STD	GT-IS A REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0
4	22	RLD TH-2 A REV	GT-IS A STD SEMI-DETACHED	2.77 X 6.10	5.79	37.7
5	24	RLD TH-1 A REV	GT-IS A REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0
6	26	RLD TH-3 A STD	GT-IS A STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0
7	28	RLD TH-5 A STD	GT-2 A STD DETACHED 2 CAR	5.59 X 6.10	9.60	57.2

BLOCK 11 (ROVER HOUSE AVENUE)

8.4

[illegible]

## Appendix 'B' Site Plan - 82 Alexander Donaldson Street



LANE N

ISSUED OR REVISION COMMENTS					
NO.	DESCRIPTION	DATE	DWN	CHK	
1	ISSUED FOR PRE-SITE ONLY	18-MAY-23	PP		
2	ISSUED FOR REVIEW	18-AUG-23	PP	AL	
3	ISSUED FINAL	04-SEP-23	PP	AL	
4	ISSUED FINAL	05-FEB-24	D.H	AL	

I, ARTHUR PUJ YAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN TECHNICAL RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:	41230
FIRM BCIN:	26995
DATE:	

---

SIGNATURE:

DRAWN BY BWS	SCALE 1:250
PROJECT No. 19090	LOT NUMBER BLK 19

\*NOTE-PLEASE REFER TO FLOOR PLANS FOR A/C LOCATION, IT'S LOCATED AT THE BALCONY IN FRONT & REAR, SCREENED AWAY FROM PUBLIC VIEW.

1. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL AND BE A MIN. OF 1.22m BELOW FINISHED GRADE. UNDERSIDE OF FOOTINGS SHOWN ARE TAKEN FROM ARCHITECTURAL PLANS AND MY NOT REPRESENT ACTUAL FOOTING LEVEL.
  2. BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
  3. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
  4. FOR DETAILS OF THE LANEWAY & PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS
- BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES**

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

LEGEND

FFE FINISHED FLOOR ELEVATION

TFW TOP OF FOUNDATION WALL

TBS TOP OF BASEMENT SLAB

USF UNDER SIDE FOOTING

USFR UNDER SIDE FOOTING @ REAR

USFG UNDER SIDE FOOTING @ GARAGE

TEF TOP OF ENGINEERED FILL

R NUMBER OF RISERS TO GRADE

WOD WALKOUT DECK

LOB LOOKOUT BASEMENT

WOB WALK OUT BASEMENT

WUB WALK UP BASEMENT

REV REVERSE PLAN

STD STANDARD PLAN

△ DOOR

○ WINDOW

AC AIR CONDITIONING

DOWN SPOUT TO SPLASH PAD

DOWNSPOUT CONNECTED TO STM

SWALE DIRECTION

SP SUMP PUMP

BELL PEDESTAL

CABLE PEDESTAL

CATCH BASIN

DBL. CATCH BASIN

ENGINEERED FILL

HYDRO CONNECTION

FIRE HYDRANT

STREET LIGHT

MAIL BOX

TRANSFORMER

SEWER CONNECTIONS 2 LOTS

SEWER CONNECTIONS 1 LOT

WATER CONNECTION

WATER VALVE CHAMBER

HYDRANT AND VALVE

HYDRO METER

GAS METER

MANHOLE - STORM

MANHOLE - SANITARY

CHAINLINK FENCE

PRIVACY FENCE

SOUND BARRIER

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
2	ISSUED FOR REVIEW	31-MAR-23	BWS	
3	REVISED PER ENG COMM - FINAL	02-JUN-23	BWS	
4	ISSUED FINAL	04-JUL-23	BWS	AL
5	REVISED PER ENG COMM - FINAL	21-JUL-23	BWS	AL

RN

DESIGN

WWW.RNDESIGN.COM

T:905-738-3177

WWW.THEPLUSGROUP.CA

I, ARTHUR PUI YAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 41230  
FIRM BCIN: 26995  
DATE:

SIGNATURE:

CLIENT

LINDWIDE DEVELOPMENTS

PROJECT/LOCATION

CORNELL  
CITY OF MARKHAM

DRAWING

SITE PLAN

DRAWN BY	SCALE
BWS	1:250
PROJECT No.	LOT NUMBER
19090	BLK 22

## Appendix 'B' Site Plan - 9 Vice Chancellor Drive

The site plan for Block 22 (Vice Chancellor Drive) shows five lots, each with a building footprint and associated elevations. Lot 1 (RLD TH-4 B REV) has a building footprint with FFE 196.60, TFW 196.25, TBS 193.96, and USF 193.73. Lot 2 (RLD TH-2 B STD) has a building footprint with FFE 196.35, TFW 196.00, TBS 193.71, and USF 193.48. Lot 3 (RLD TH-1 B STD) has a building footprint with FFE 196.15, TFW 195.80, TBS 193.51, and USF 193.28. Lot 4 (RLD TH-2 B REV) has a building footprint with FFE 196.15, TFW 195.80, TBS 193.51, and USF 193.28. Lot 5 (RLD TH-5 B STD CORNER) has a building footprint with FFE 196.15, TFW 195.80, TBS 193.51, and USF 193.28. The plan also shows a 1.50m CONC. SIDEWALK, a 1.50m CONC. SIDEWALK, and a 1.50m CONC. SIDEWALK. A north arrow is located in the top left corner. A scale bar is located in the top right corner. A legend is located in the bottom left corner. A table of elevations is located in the bottom right corner.

## VICE CHANCELLOR DRIVE

BLOCK 22 (VICE CHANCELLOR DRIVE)						
LOT#	MUNICIPAL ADDRESS	MODEL	GARAGE MODEL	GARAGE DIM. W x L (m)	LOT FRONTAGE (m)	AMENITY SPACE (m2)
1	9	RLD TH-4 B REV	GT-1 B REV DETACHED	2.77 X 6.10	7.33	44.0
2	11	RLD TH-2 B STD	GT-1 B REV DETACHED	2.77 X 6.10	5.79	38.3
3	13	RLD TH-1 B STD	GT-1S B REV SEMI-DETACHED	2.77 X 6.10	5.79	35.9
4	15	RLD TH-2 B REV	GT-1S B STD SEMI-DETACHED	2.77 X 6.10	5.79	37.5
5	17	RLD TH-5 B STD	GT-2 B STD DETACHED 2 CAR	5.59 X 6.10	10.5	63.3

- FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL AND BE A MIN. OF 1.22m BELOW FINISHED GRADE. UNDERSIDE OF FOOTINGS SHOWN ARE TAKEN FROM ARCHITECTURAL PLANS AND MY NOT REPRESENT ACTUAL FOOTING LEVEL.
- BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
- DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
- FOR DETAILS OF THE LANEWAY & PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS

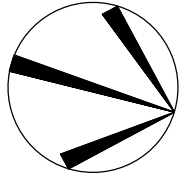
BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES

File: D:\RN 2019 Projects\19090\Site Planning\Architectural (RN)\Site Plan\19090-SP100-PHASE 2&3(TOWNS & STACKS).dwg Plotted: Jun 03, 2025 By:DavidH





Appendix 'B' Site Plan - 84 Markham Veterans Street



5	DESIGN INVERTS ADDED	15-FEB-24	PP	AL
6	REV AS PER PM COMMENTS	25-OCT-24	PP	AL
7	REV AS PER CLIENT COMMENTS	28-NOV-24	PP	AL

**RN**  
**DESIGN**

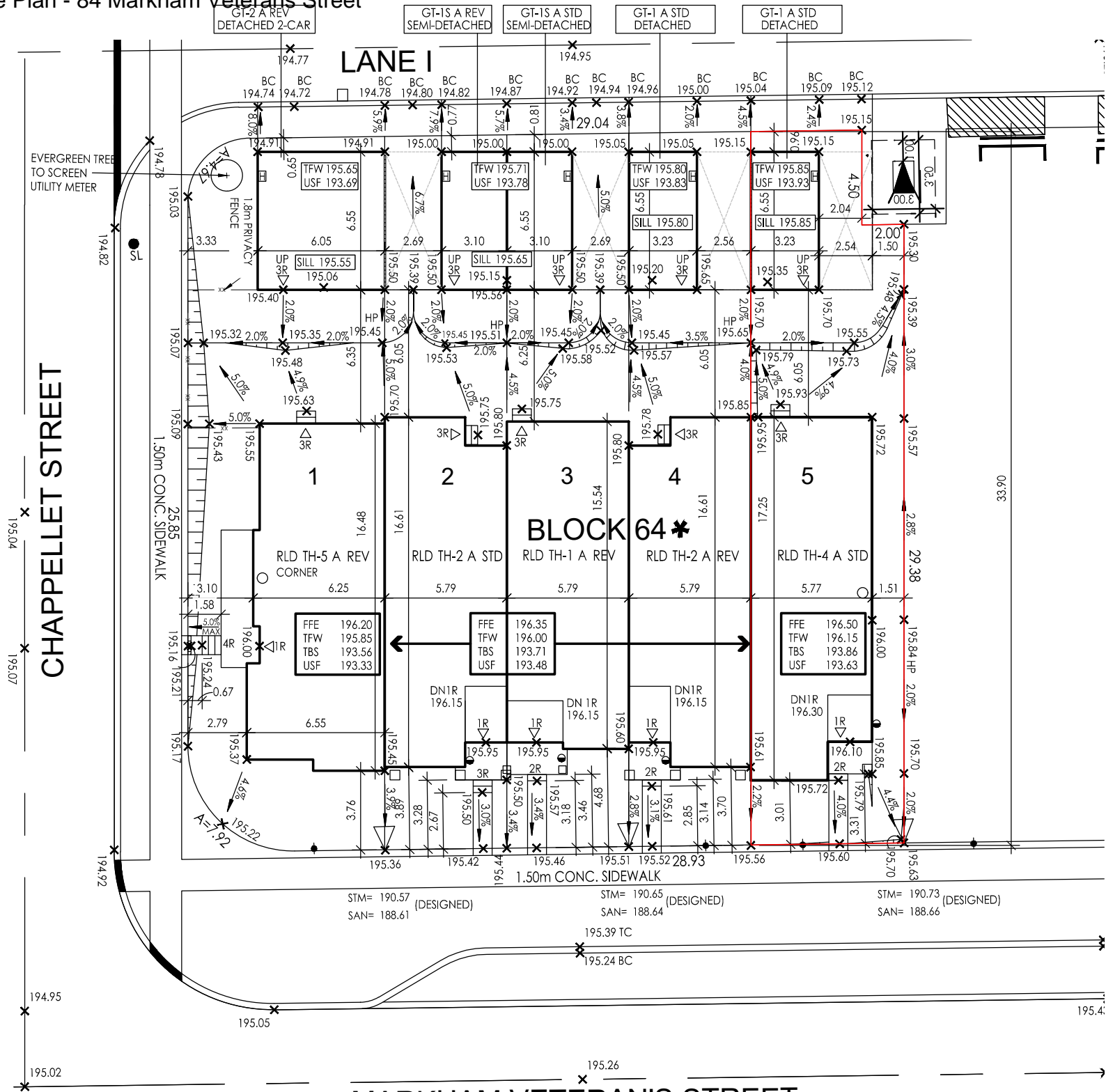
WWW.RNDESIGN.COM  
T:905-738-3177  
WWW.THEPLUSGROUP.CA

SIGNATURE: \_\_\_\_\_

PROJECT/LOCATION  
CORNELL  
CITY OF MARKHAM

DRAWING SITE PLAN

DRAWN BY PP	SCALE 1:250
PROJECT No. 19090	LOT NUMBER BLK 64



SERVICE CONNECTIONS ARE PROPOSED:  
BUILDER TO CONFIRM AS-BUILT  
CONNECTIONS, PRIOR TO CONSTRUCTION  
OF FOOTINGS.

1. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL AND BE A MIN. OF 1.22m BELOW FINISHED GRADE. UNDERSIDE OF FOOTINGS SHOWN ARE TAKEN FROM ARCHITECTURAL PLANS AND MY NOT REPRESENT ACTUAL FOOTING LEVEL.
2. BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
3. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
4. FOR DETAILS OF THE LANEWAY & PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS

BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES

BLOCK 64 (MARKHAM VETERAN'S STREET)							BUILDING HEIGHT (m)
LOT#	MUNICIPAL ADDRESS	MODEL	GARAGE MODEL	GARAGE DIM. W X L (m)	LOT FRONTAGE (m)	AMENITY SPACE (m2)	
1	92 MARKHAM VETERAN'S DRIVE	RLD TH-5 A REV	GT-2 A REV DETACHED 2 CAR	5.59 X 6.10	9.34	73.16	
2	90 MARKHAM VETERAN'S DRIVE	RLD TH-2 A STD	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	5.79	46.21	
3	88 MARKHAM VETERAN'S DRIVE	RLD TH-1 A REV	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	44.74	
4	86 MARKHAM VETERAN'S DRIVE	RLD TH-2 A REV	GT-1 A STD DETACHED	2.77 X 6.10	5.79	46.20	
5	84 MARKHAM VETERAN'S DRIVE	RLD TH-4 A STD	GT-1 A STD DETACHED	2.77 X 6.10	7.28	54.67	