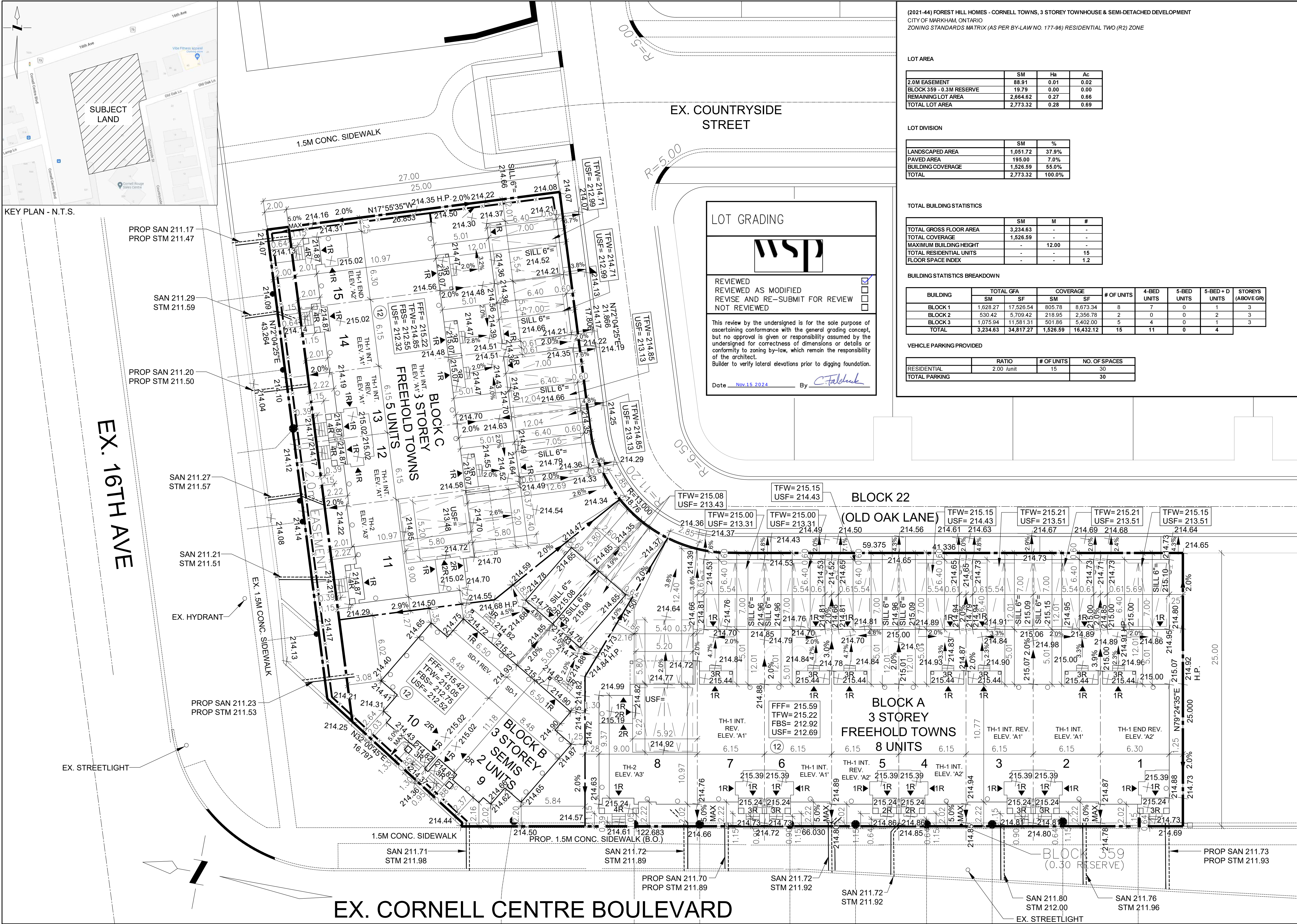




(2021-44) FOREST HILL HOMES - CORNELL TOWNS, 3 STOREY TOWNHOUSE & SEMI-DETACHED DEVELOPMENT
CITY OF MARKHAM, ONTARIO
ZONING STANDARDS MATRIX (AS PER BY-LAW NO. 177-96) RESIDENTIAL TWO (R2) ZONE

LOT AREA

	SM	Ha	Ac
2.0M EASEMENT	88.91	0.01	0.02
BLOCK 359 - 0.3M RESERVE	19.79	0.00	0.00
REMAINING LOT AREA	2,664.62	0.27	0.66
TOTAL LOT AREA	2,773.32	0.28	0.69

LOT DIVISION

	SM	%
LANDSCAPED AREA	1,051.72	37.9%
PAVED AREA	195.00	7.0%
BUILDING COVERAGE	1,526.59	55.0%
TOTAL	2,773.32	100.0%

TOTAL BUILDING STATISTICS

	SM	M	#
TOTAL GROSS FLOOR AREA	3,234.63	-	-
TOTAL COVERAGE	1,526.59	-	-
MAXIMUM BUILDING HEIGHT	-	12.00	-
TOTAL RESIDENTIAL UNITS	-	-	15
FLOOR SPACE INDEX	-	-	1.2

BUILDING STATISTICS BREAKDOWN

BUILDING	TOTAL GFA		COVERAGE		# OF UNITS	4-BED UNITS	5-BED UNITS	5-BED + D UNITS	STOREYS (ABOVE GR)
	SM	SF	SM	SF					
BLOCK 1	1,628.27	17,526.54	805.78	8,673.34	8	7	0	1	3
BLOCK 2	530.42	5,709.42	218.95	2,356.78	2	0	0	2	3
BLOCK 3	1,075.94	11,581.31	501.86	5,402.00	5	4	0	1	3
TOTAL	3,234.63	34,817.27	1,526.59	16,432.12	15	11	0	4	

VEHICLE PARKING PROVIDED

	RATIO	# OF UNITS	NO. OF SPACES
RESIDENTIAL	2.00 /unit	15	30
TOTAL PARKING			30

NOTES

1. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD.
2. BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
3. FOR DETAILS OF THE PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.
4. FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUBGRADE AND BE A MINIMUM OF 1.22M BELOW FINISHED GRADE.
5. BUILDER TO CONFIRM SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION.
6. BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES.

16	ISSUED FOR SPA	2024-11-15	SA
15	ISSUED FOR COORDINATION	2024-10-07	SA
14	ISSUED TO CLIENT	2024-03-07	SA
13	ISSUED TO CLIENT	2023-11-07	SA
12	ISSUED TO CLIENT	2022-10-26	SA
11	ISSUED TO CLIENT	2022-10-07	SA
10	ISSUED TO CLIENT	2022-09-20	SA
9	ISSUED FOR SPA	2022-08-04	SA
8	ISSUED TO CLIENT	2022-07-12	SA
7	ISSUED TO CLIENT	2022-04-12	SA
6	ISSUED TO CLIENT	2022-04-01	SA
5	ISSUED TO CLIENT	2022-03-31	SA
4	ISSUED TO CLIENT	2021-12-14	SA
3	ISSUED TO CLIENT	2021-12-13	SA
2	ISSUED TO CLIENT	2021-12-08	SA
1	ISSUED TO CLIENT	2021-09-24	SA

No. DESCRIPTION: YYYY-MM-DD BY

DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD.

BASE CURB ELEVATION TO BE CHECKED VS. GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.

FOR DETAILS OF PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.

BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES.

BUILDER TO CONFIRM SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION.

FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUBGRADE AND BE A MINIMUM OF 1.22M BELOW FINISHED GRADE.

THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, AND ALL OTHER ENGINEERING INFORMATION, AND INTERIOR DESIGN AND LANDSCAPE CONSTRUCTION MUST CONFORM TO ALL APPLICABLE LAWS, CODES AND REQUIREMENTS. ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING AND SPECIFICATIONS IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Cassidy + Company
Residential Design Consultants

60 RANDALL DRIVE,
SUITE 11, AJAX,
ONTARIO L1S 6L3
T:905-619-1270
F:905-619-1269

Client
FOREST HILL HOMES LTD.

Project Name
**CORNELL TOWNS
3 STOREY TOWNHOUSE & SEMI-DETACHED
DEVELOPMENT
CITY OF MARKHAM**

Sheet Title
SITE PLAN

Drawn by: **ASP** Checked by: **SA** Date: **AUG. 2022**

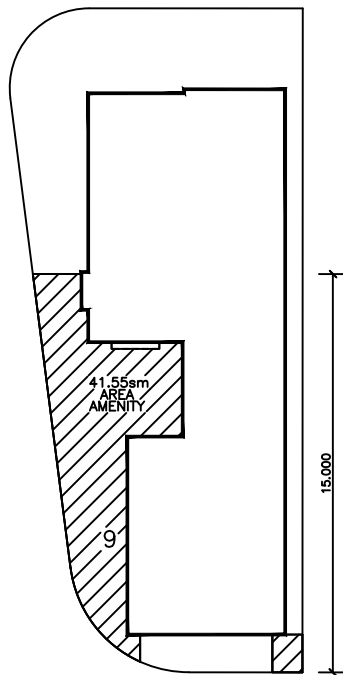
Scale: **1 : 150** Drawing No. **A1.0**

Project No. **2021-44**

NOTES:

1. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
2. ALL DOWNSPOUTS TO BE AT REAR OF UNIT.
3. BASE CURB ELEVATION TO BE CHECKED VS. GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
4. FOR DETAILS OF THE PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.
5. BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES
6. OLD OAK LANE IS NOT CONSTRUCTED YET. THIS PLAN TO BE REVIEWED VS. AS-BUILT DRAWINGS PRIOR TO BUILDING CONSTRUCTION.
7. FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUB-GRADE AND BE A MINIMUM 1.22m BELOW FINISHED GRADE.
8. *STM AND SAN INVERTS SHOWN ARE PROPOSED, NOT AS-BUILT. BUILDER TO CONFIRM INVERT ELEVATIONS PRIOR TO DIGGING FOUNDATION

NOTE:
THIS LOT DOES NOT CONTAIN AN ACCESSORY DWELLING UNIT

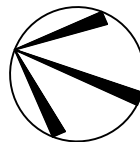


LEGEND

- GM → GAS METER
FFE → FINISHED FLOOR ELEVATION
TFW → TOP OF FOUNDATION WALL
TBS → TOP OF BASEMENT SLAB
USF → UNDERSIDE FOOTING
USFR(REAR) → UNDERSIDE FOOTING REAR
USFG → UNDERSIDE FOOTING GARAGE
TEF → TOP OF ENGINEERED FILL
R → NUMBER OF RISERS
WOD → WALKOUT DECK
LOB → LOOK OUT BASEMENT
WOB → WALKOUT BASEMENT
REV → REV PLAN
STD → STANDARD PLAN
D → DOOR LOCATION
B → BELL VAULT
C → CALBE TV
CB → CATCH BASIN
DB → DOUBLE CATCH BASIN
EF → ENGINEERED FILL
H → HYDRANT
SL → STREET LIGHT
WV → WATER VALVE
MB → MAIL BOX
TR → TRANSFORMER
WC → WATER CONNECTION
SS → STORM + SAN. CONNECTION (2 LOTS)
SS1 → STORM + SAN. CONNECTION (1 LOT)
AC → A/C CONDENSER
RD → ROOF DOWNSPOUT TO SPLASH PAD
SD → SWALE DIRECTION
CL → CHAIN LINK FENCE
PF → PRIVACY FENCE
SB → SOUND BARRIER
FT → FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
MAX 3:1 SLOPE

NOTE:
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENCE

DRAWN BY: JP DATE: FEB 2023
SCALE: 1 : 250 LOT NUMBER: LOT 9



JAMES PIGGOTT
Residential Design Consultant

3A King Street South, Suite 4
Cookstown Ont. L0L 1L0
(705) 458 8433

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.2.5. OF DIVISION C OF THE
JAMES PIGGOTT 25146
NAME SIGNATURE
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.2.1. OF DIVISION C OF THE
JAMES PIGGOTT 34700
FIRM NAME

CLIENT
FOREST HILL HOMES

PROJECT/LOCATION
CORNELL – PHASE 7

MARKHAM, ONTARIO

DRAWING
SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No 65M-4545
ZONE R2 * 190 * 192
LOT NUMBER 9
No. OF STOREYS 2
MEAN HEIGHT (m) 8.23 M

REVISIONS

NO	DATE	
1	27/2/2023	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-



UNIT 8
TH-2
ELEV. 'A3'
BLOCK A
FRONT ELEVATION

UNIT 7
TH-1 INT. REV.
ELEV. 'A1'

UNIT 6
TH-1 INT.
ELEV. 'A1'

UNIT 5
TH-1 INT. REV.
ELEV. 'A2'

UNIT 4
TH-1 INT.
ELEV. 'A2'

UNIT 3
TH-1 INT. REV.
ELEV. 'A1'

UNIT 2
TH-1 INT.
ELEV. 'A1'

UNIT 1
TH-1 END REV.
ELEV. 'A2'

SPATIAL SEPARATION	
WALL AREA *	584.71 FT ² (53.14 MT)
LIMITING DISTANCE *	43'-0" (13.35 M) @ 64.30%
MAX. ALLOWABLE OPENINGS *	3452.83 FT ² (321.32 MT)
OPENINGS PROVIDED *	933.21 FT ² (86.51 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



UNIT 1
TH-1 END REV.
ELEV. 'A2'
BLOCK A
REAR ELEVATION

UNIT 2
TH-1 INT.
ELEV. 'A1'

UNIT 3
TH-1 INT. REV.
ELEV. 'A1'

UNIT 4
TH-1 INT.
ELEV. 'A2'

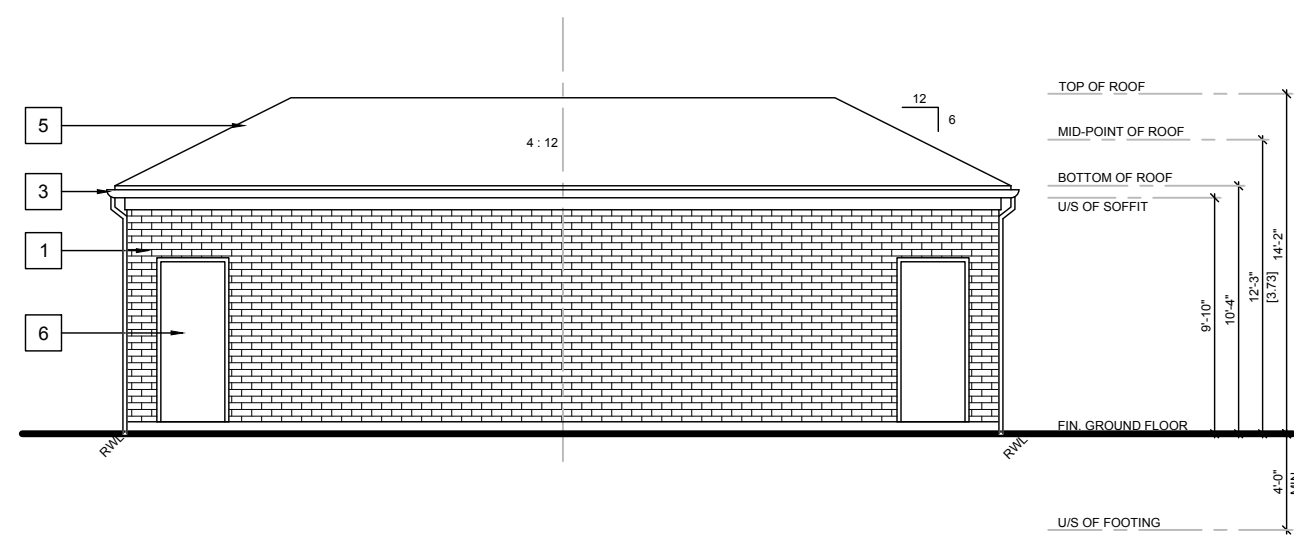
UNIT 5
TH-1 INT. REV.
ELEV. 'A2'

UNIT 6
TH-1 INT.
ELEV. 'A1'

UNIT 7
TH-1 INT. REV.
ELEV. 'A1'

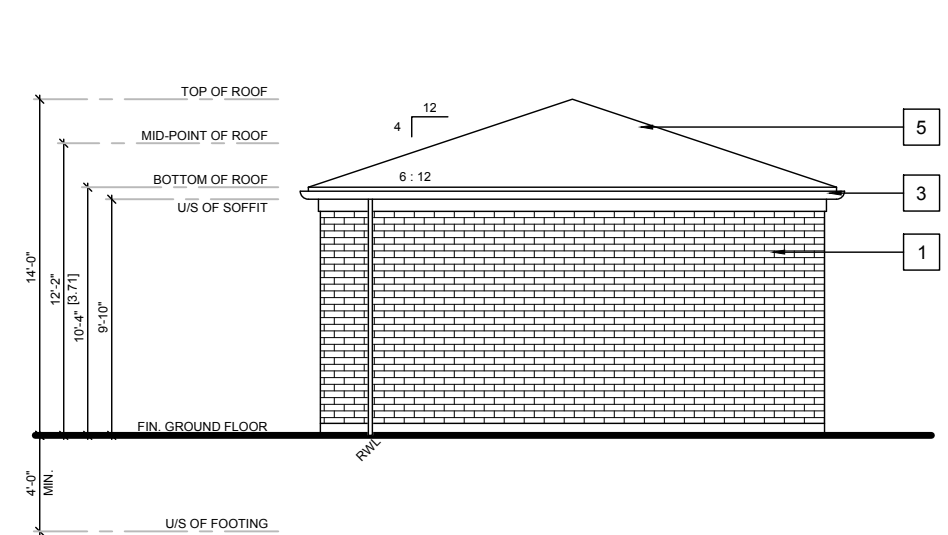
UNIT 8
TH-2
ELEV. 'A3'

SPATIAL SEPARATION	
WALL AREA *	1389.99 FT ² (127.74 MT)
LIMITING DISTANCE *	19'-11" (4.96 M) @ 52.75%
MAX. ALLOWABLE OPENINGS *	1440.02 FT ² (133.77 MT)
OPENINGS PROVIDED *	60.50 FT ² (5.61 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



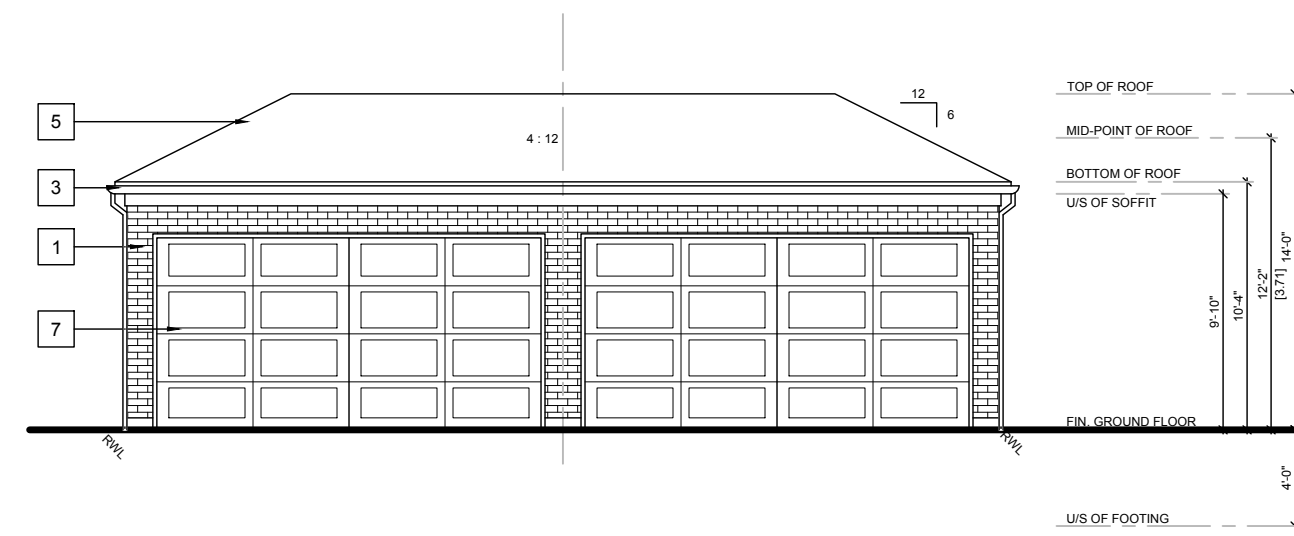
TYPE 'G1' GARAGE
(UNITS 2-7,12-15)
FRONT ELEVATION

SPATIAL SEPARATION	
WALL AREA *	397.28 FT ² (36.37 MT)
LIMITING DISTANCE *	8'-2" (2.50 M) @ 20.00%
MAX. ALLOWABLE OPENINGS *	71.46 FT ² (6.61 MT)
OPENINGS PROVIDED *	0.00 FT ² (0.00 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



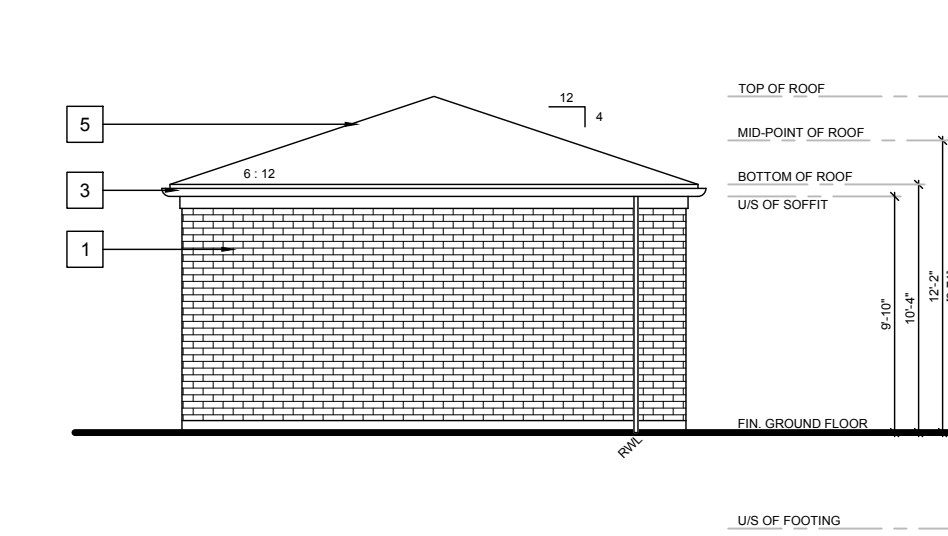
TYPE 'G1' GARAGE
(UNITS 2-7,12-15)
LEFT SIDE ELEVATION

SPATIAL SEPARATION	
WALL AREA *	206.50 FT ² (19.20 MT)
LIMITING DISTANCE *	2'-0" (0.61 M) @ 0.00%
MAX. ALLOWABLE OPENINGS *	0.00 FT ² (0.00 MT)
OPENINGS PROVIDED *	0.00 FT ² (0.00 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



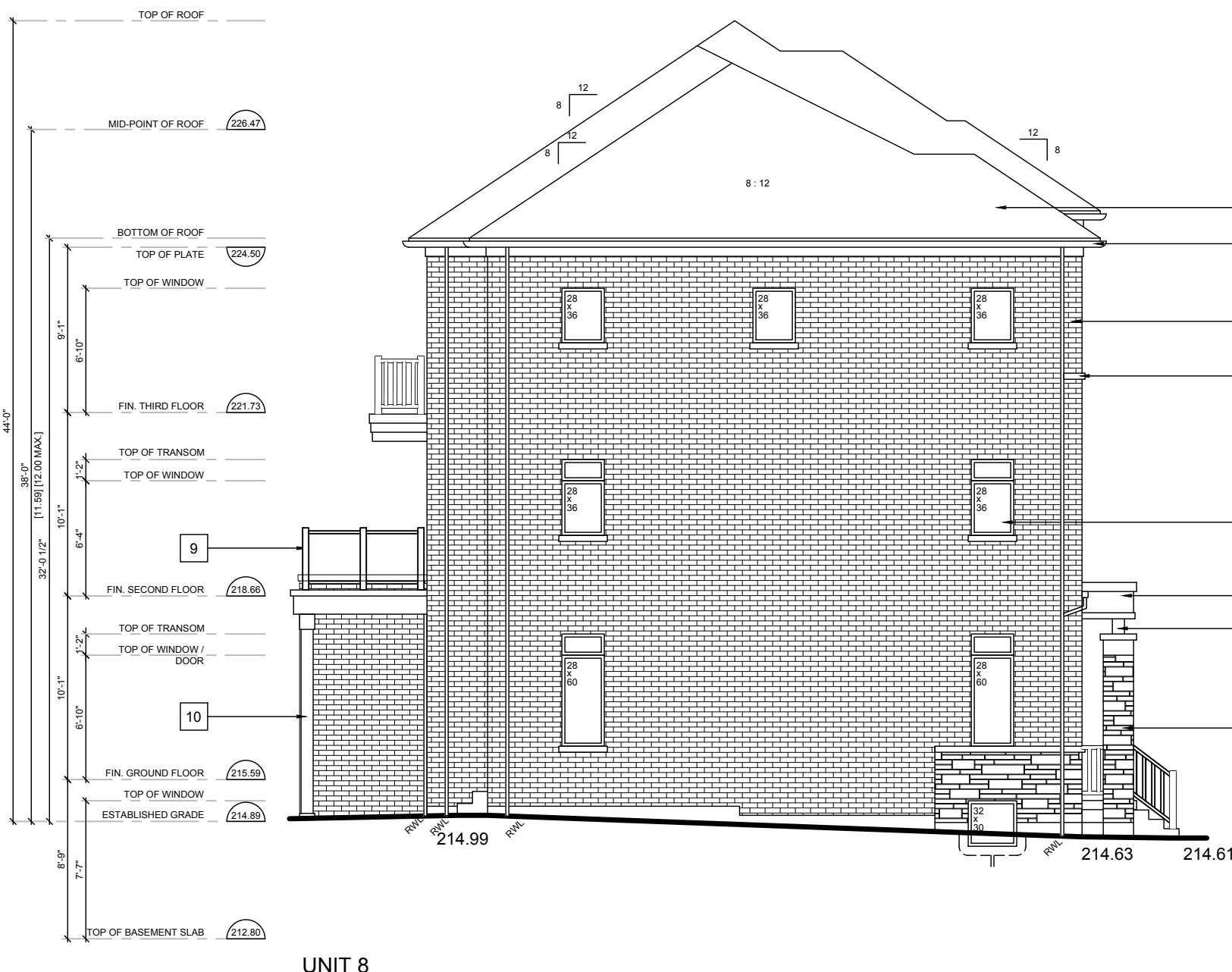
TYPE 'G1' GARAGE
(UNITS 2-7,12-15)
REAR ELEVATION

SPATIAL SEPARATION	
WALL AREA *	397.28 FT ² (36.37 MT)
LIMITING DISTANCE *	10'-11" (4.96 M) @ 53.00%
MAX. ALLOWABLE OPENINGS *	189.36 FT ² (17.59 MT)
OPENINGS PROVIDED *	0.00 FT ² (0.00 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



TYPE 'G1' GARAGE
(UNITS 2-7,12-15)
RIGHT SIDE ELEVATION

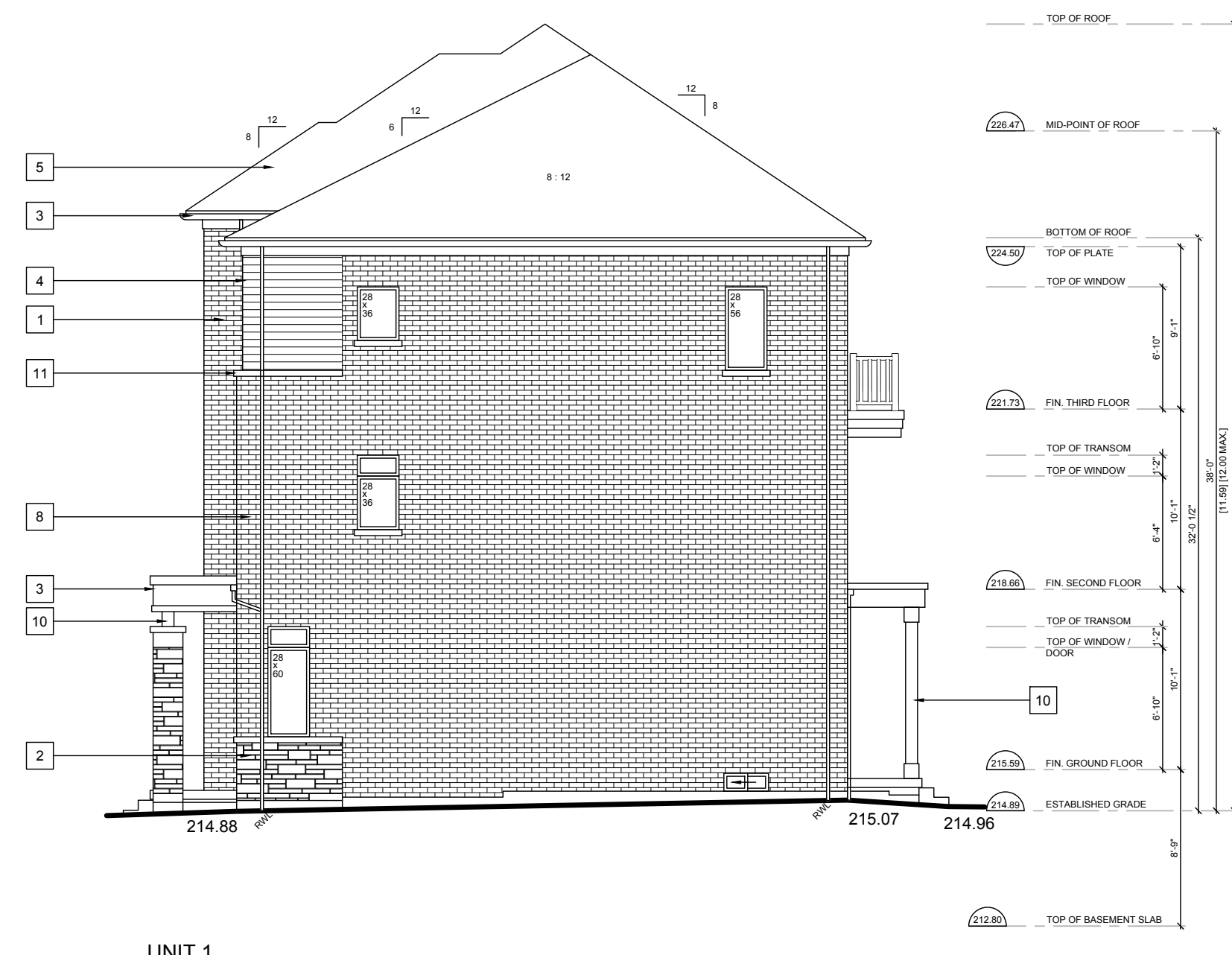
SPATIAL SEPARATION	
WALL AREA *	206.50 FT ² (19.20 MT)
LIMITING DISTANCE *	2'-0" (0.61 M) @ 0.00%
MAX. ALLOWABLE OPENINGS *	0.00 FT ² (0.00 MT)
OPENINGS PROVIDED *	0.00 FT ² (0.00 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



UNIT 8
TH-2
ELEV. 'A3'

BLOCK A
LEFT SIDE ELEVATION

SPATIAL SEPARATION	
WALL AREA *	1036.09 FT ² (96.04 MT)
LIMITING DISTANCE *	4'-2" (1.28 M) @ 7.00%
MAX. ALLOWABLE OPENINGS *	72.74 FT ² (6.75 MT)
OPENINGS PROVIDED *	47.26 FT ² (4.39 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



UNIT 1
TH-1 END REV.
ELEV. 'A2'

BLOCK A
RIGHT SIDE ELEVATION

SPATIAL SEPARATION	
WALL AREA *	1066.00 FT ² (98.14 MT)
LIMITING DISTANCE *	4'-11" (1.50 M) @ 7.00%
MAX. ALLOWABLE OPENINGS *	74.62 FT ² (6.93 MT)
OPENINGS PROVIDED *	26.32 FT ² (2.43 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP

LEGEND - COLOUR PACKAGE 1

- 1 MASONRY:
FACE BRICK
BRAMPTON BRICK - ROYAL GRAY
- 2 MASONRY:
FACE STONE
BRAMPTON BRICK - DOVER
- 3 ALUMINUM CLAD DETAILS:
KAYCAN - CHARCOAL
- 4 METAL SIDING AND TRIM:
ASH GREY
- 5 ROOF:
CERTANTEED XT25 - MOIRE BLACK
- 6 FRONT DOORS AND FRAMES:
INKWELL - SW 6992
- 7 GARAGE DOORS AND FRAMES:
INKWELL - SW 6992
- 8 WINDOWS AND PATIO DOORS:
BROWNS - IRON ORE
- 9 RAILINGS:
TBD - IRON ORE
- 10 COLUMNS:
PAINTABLE - CHARCOAL
- 11 PRECAST STONE AND SILL:
NATURAL

THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL AND ALL OTHER ENGINEERING INFORMATION, AND INTERIOR DESIGN AND LANDSCAPE CONSTRUCTION MUST CONFORM TO ALL APPLICABLE LAWS, CODES AND REQUIREMENTS. ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING AND SPECIFICATIONS IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

No.	DESCRIPTION	DATE	BY
4	ISSUED FOR SPA	2024-11-06	SA
3	ISSUED FOR CLIENT REVIEW	2024-03-07	SA
2	ISSUED FOR CLIENT REVIEW	2023-06-06	SA
1	ISSUED FOR SPA	2022-08-08	SA

Cassidy + Company Residential Design Consultants		60 RANDALL DRIVE, SUITE 11, AJAX, ONTARIO L1S 8L3 T:905-619-1270 F:905-619-1269
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Client	FOREST HILL HOMES LTD.
Project Name	CORNELL TOWNS 3 STOREY TOWNHOUSE & SEMI-DETACHED DEVELOPMENT CITY OF MARKHAM

Sheet Title			
BLOCK A ELEVATIONS			
Drawn by: ASP		Checked by: SA	Date: AUG. 2022
Scale: 1 : 100		Drawing No. A2.1	
Project No. 2021-44			