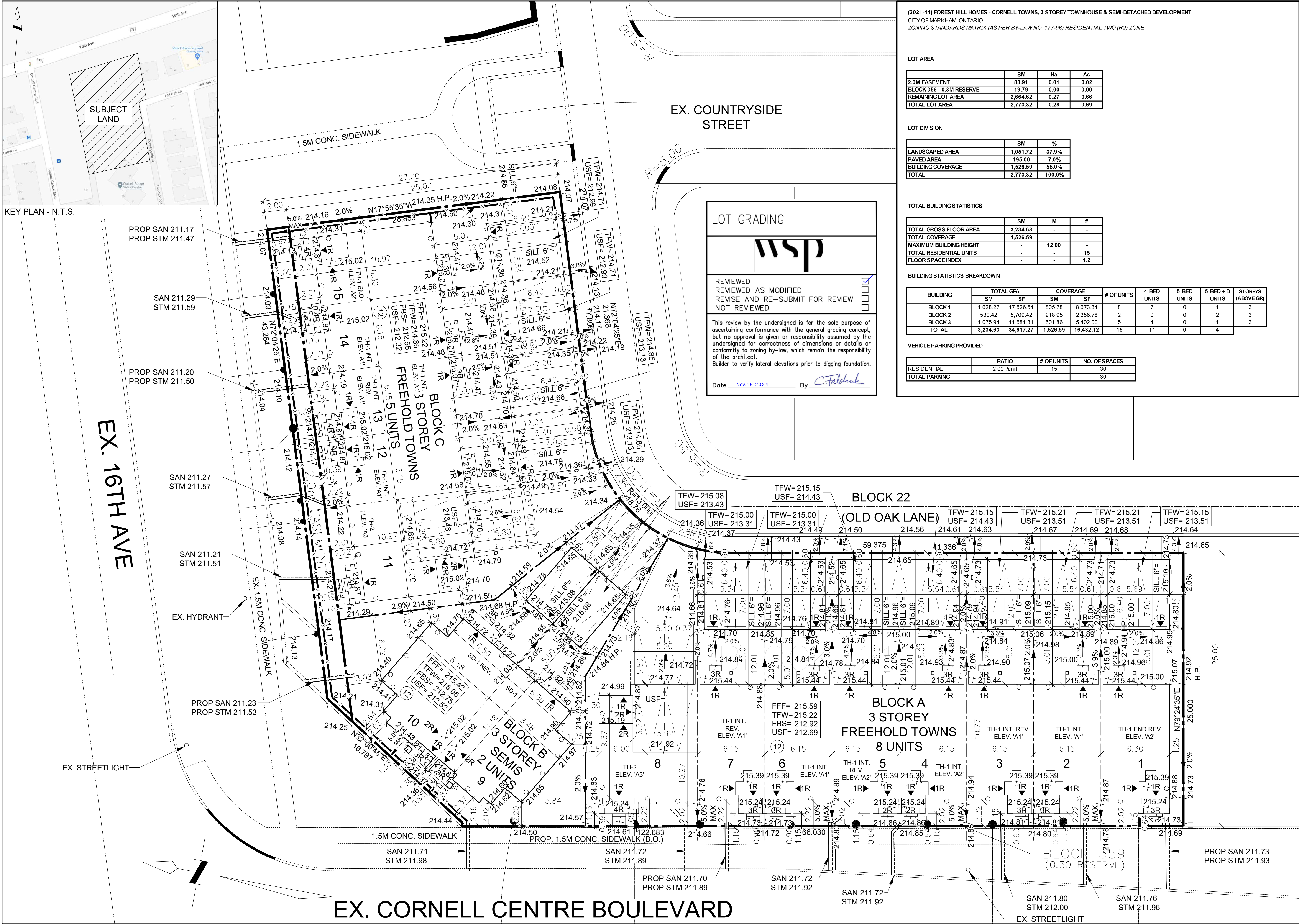




(2021-44) FOREST HILL HOMES - CORNELL TOWNS, 3 STOREY TOWNHOUSE & SEMI-DETACHED DEVELOPMENT
CITY OF MARKHAM, ONTARIO
ZONING STANDARDS MATRIX (AS PER BY-LAW NO. 177-96) RESIDENTIAL TWO (R2) ZONE

LOT AREA	SM	Ha	Ac
2.0M EASEMENT	88.91	0.01	0.02
BLOCK 359 - 0.3M RESERVE	19.79	0.00	0.00
REMAINING LOT AREA	2,664.62	0.27	0.66
TOTAL LOT AREA	2,773.32	0.28	0.69

LOT DIVISION	SM	%
LANDSCAPED AREA	1,051.72	37.9%
PAVED AREA	195.00	7.0%
BUILDING COVERAGE	1,526.59	55.0%
TOTAL	2,773.32	100.0%

TOTAL BUILDING STATISTICS	SM	M	#
TOTAL GROSS FLOOR AREA	3,234.63	-	-
TOTAL COVERAGE	1,526.59	-	-
MAXIMUM BUILDING HEIGHT	-	12.00	-
TOTAL RESIDENTIAL UNITS	-	-	15
FLOOR SPACE INDEX	-	-	1.2

BUILDING	TOTAL GFA		COVERAGE		# OF UNITS	4-BED UNITS	5-BED UNITS	5-BED + D UNITS	STOREYS (ABOVE GR)
	SM	SF	SM	SF					
BLOCK 1	1,628.27	17,526.54	805.78	8,673.34	8	7	0	1	3
BLOCK 2	530.42	5,709.42	218.95	2,356.78	2	0	0	2	3
BLOCK 3	1,075.94	11,581.31	501.86	5,402.00	5	4	0	1	3
TOTAL	3,234.63	34,817.27	1,526.59	16,432.12	15	11	0	4	

VEHICLE PARKING PROVIDED			
RESIDENTIAL	RATIO	# OF UNITS	NO. OF SPACES
TOTAL PARKING	2.00 /unit	15	30

LOT GRADING



REVIEWED
REVIEWED AS MODIFIED
REVISE AND RE-SUBMIT FOR REVIEW
NOT REVIEWED

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect.
Builder to verify lateral elevations prior to digging foundation.

Date Nov 15 2024 By C. Falchuk

- NOTES:**
1. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD.
 2. BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
 3. FOR DETAILS OF THE PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.
 4. FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUBGRADE AND BE A MINIMUM OF 1.22M BELOW FINISHED GRADE.
 5. BUILDER TO CONFIRM SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION.
 6. BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES.

16	ISSUED FOR SPA	2024-11-15	SA
15	ISSUED FOR COORDINATION	2024-10-07	SA
14	ISSUED TO CLIENT	2024-03-07	SA
13	ISSUED TO CLIENT	2022-11-07	SA
12	ISSUED TO CLIENT	2022-10-26	SA
11	ISSUED TO CLIENT	2022-10-07	SA
10	ISSUED TO CLIENT	2022-09-20	SA
9	ISSUED FOR SPA	2022-08-04	SA
8	ISSUED TO CLIENT	2022-07-12	SA
7	ISSUED TO CLIENT	2022-04-12	SA
6	ISSUED TO CLIENT	2022-04-01	SA
5	ISSUED TO CLIENT	2022-03-31	SA
4	ISSUED TO CLIENT	2021-12-14	SA
3	ISSUED TO CLIENT	2021-12-13	SA
2	ISSUED TO CLIENT	2021-12-08	SA
1	ISSUED TO CLIENT	2021-09-24	SA

No. DESCRIPTION: YYYY-MM-DD BY

DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD.

BASE CURB ELEVATION TO BE CHECKED VS. GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.

FOR DETAILS OF PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.

BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES.

BUILDER TO CONFIRM SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION.

FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUBGRADE AND BE A MINIMUM OF 1.22M BELOW FINISHED GRADE.

THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, AND ALL OTHER ENGINEERING INFORMATION, AND INTERIOR DESIGN AND LANDSCAPE CONSTRUCTION MUST CONFORM TO ALL APPLICABLE LAWS, CODES AND REQUIREMENTS. ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING AND SPECIFICATIONS IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Cassidy + Company
Residential Design Consultants

60 RANDALL DRIVE,
SUITE 11, AJAX,
ONTARIO L1S 6L3
T:905-619-1270
F:905-619-1269

Client
FOREST HILL HOMES LTD.

Project Name
CORNELL TOWNS
3 STOREY TOWNHOUSE & SEMI-DETACHED DEVELOPMENT
CITY OF MARKHAM

Sheet Title
SITE PLAN

Drawn by: ASP
Checked by: SA
Date: AUG. 2022

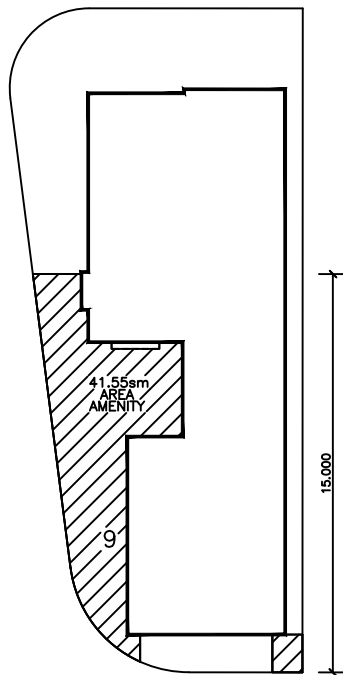
Scale: 1 : 150
Project No: 2021-44

Drawing No:
A1.0

NOTES:

1. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
2. ALL DOWNSPOUTS TO BE AT REAR OF UNIT.
3. BASE CURB ELEVATION TO BE CHECKED VS. GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
4. FOR DETAILS OF THE PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.
5. BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES
6. OLD OAK LANE IS NOT CONSTRUCTED YET. THIS PLAN TO BE REVIEWED VS. AS-BUILT DRAWINGS PRIOR TO BUILDING CONSTRUCTION.
7. FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUB-GRADE AND BE A MINIMUM 1.22m BELOW FINISHED GRADE.
8. *STM AND SAN INVERTS SHOWN ARE PROPOSED, NOT AS-BUILT. BUILDER TO CONFIRM INVERT ELEVATIONS PRIOR TO DIGGING FOUNDATION

NOTE:
THIS LOT DOES NOT CONTAIN AN ACCESSORY DWELLING UNIT

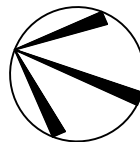


LEGEND

- GM → GAS METER
FFE → FINISHED FLOOR ELEVATION
TFW → TOP OF FOUNDATION WALL
TBS → TOP OF BASEMENT SLAB
USF → UNDERSIDE FOOTING
USFR(REAR) → UNDERSIDE FOOTING REAR
USFG → UNDERSIDE FOOTING GARAGE
TEF → TOP OF ENGINEERED FILL
R → NUMBER OF RISERS
WOD → WALKOUT DECK
LOB → LOOK OUT BASEMENT
WOB → WALKOUT BASEMENT
REV → REV PLAN
STD → STANDARD PLAN
D → DOOR LOCATION
B → BELL VAULT
C → CALBE TV
CB → CATCH BASIN
DB → DOUBLE CATCH BASIN
EF → ENGINEERED FILL
H → HYDRANT
SL → STREET LIGHT
WV → WATER VALVE
MB → MAIL BOX
TR → TRANSFORMER
WC → WATER CONNECTION
SS → STORM + SAN. CONNECTION (2 LOTS)
SS1 → STORM + SAN. CONNECTION (1 LOT)
AC → A/C CONDENSER
RD → ROOF DOWNSPOUT TO SPLASH PAD
SD → SWALE DIRECTION
CL → CHAIN LINK FENCE
PF → PRIVACY FENCE
SB → SOUND BARRIER
FB → FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
MAX 3:1 SLOPE

NOTE:
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENCE

DRAWN BY: JP DATE: FEB 2023
SCALE: 1 : 250 LOT NUMBER: LOT 9



JAMES PIGGOTT
Residential Design Consultant

3A King Street South, Suite 4
Cookstown Ont. L0L 1L0
(705) 458 8433

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.2.5. OF DIVISION C OF THE
JAMES PIGGOTT NAME SIGNATURE 25146
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.2.1. OF DIVISION C OF THE
JAMES PIGGOTT FIRM NAME 34700

CLIENT
FOREST HILL HOMES

PROJECT/LOCATION
CORNELL – PHASE 7

MARKHAM, ONTARIO

DRAWING
SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No 65M-4545
ZONE R2 * 190 * 192
LOT NUMBER 9
No. OF STOREYS 2
MEAN HEIGHT (m) 8.23 M

REVISIONS

NO	DATE	
1	27/2/2023	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-



UNIT 8
TH-2
ELEV. 'A3'
BLOCK A
FRONT ELEVATION

UNIT 7
TH-1 INT. REV.
ELEV. 'A1'

UNIT 6
TH-1 INT.
ELEV. 'A1'

UNIT 5
TH-1 INT. REV.
ELEV. 'A2'

UNIT 4
TH-1 INT.
ELEV. 'A2'

UNIT 3
TH-1 INT. REV.
ELEV. 'A1'

UNIT 2
TH-1 INT.
ELEV. 'A1'

UNIT 1
TH-1 END REV.
ELEV. 'A2'

SPATIAL SEPARATION	
WALL AREA *	584.71 FT ² (53.14 MT)
LIMITING DISTANCE *	43'-0" (13.35 M) @ 64.30%
MAX. ALLOWABLE OPENINGS *	3452.83 FT ² (321.32 MT)
OPENINGS PROVIDED *	933.21 FT ² (86.51 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



UNIT 1
TH-1 END REV.
ELEV. 'A2'
BLOCK A
REAR ELEVATION

UNIT 2
TH-1 INT.
ELEV. 'A1'

UNIT 3
TH-1 INT. REV.
ELEV. 'A1'

UNIT 4
TH-1 INT.
ELEV. 'A2'

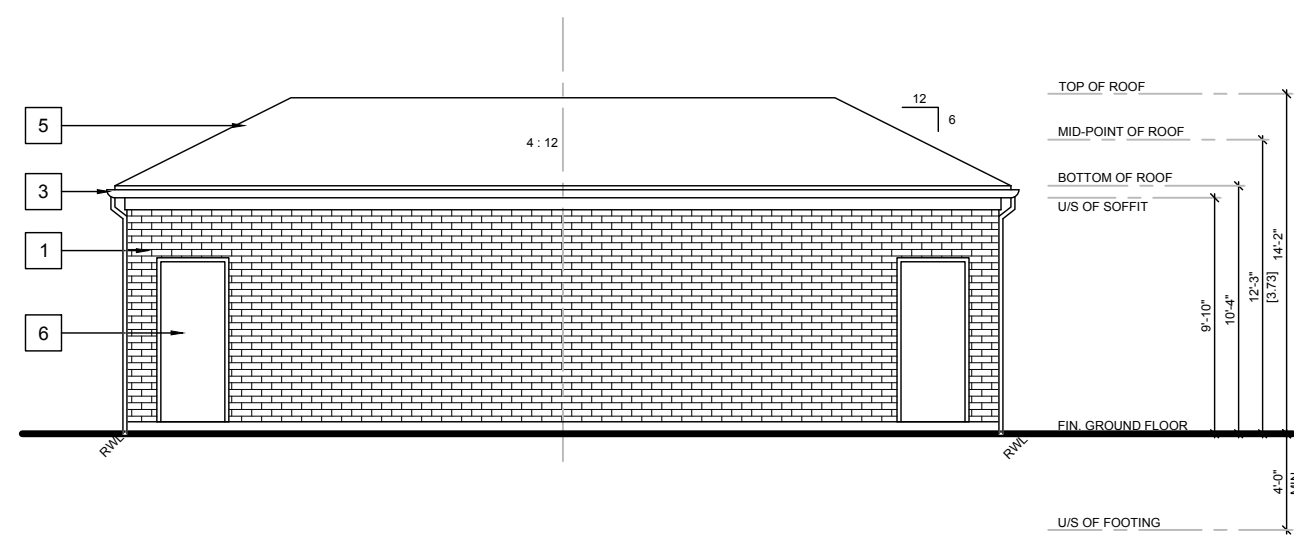
UNIT 5
TH-1 INT. REV.
ELEV. 'A2'

UNIT 6
TH-1 INT.
ELEV. 'A1'

UNIT 7
TH-1 INT. REV.
ELEV. 'A1'

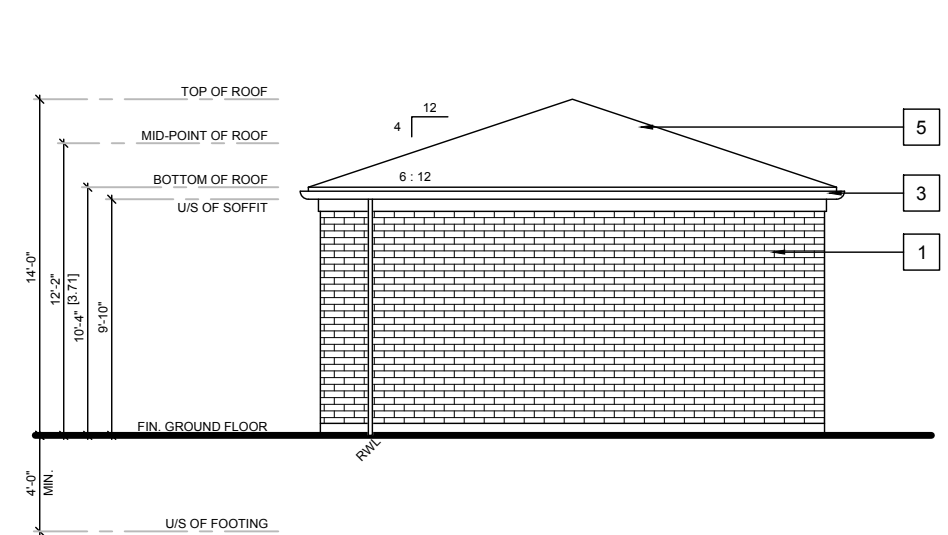
UNIT 8
TH-2
ELEV. 'A3'

SPATIAL SEPARATION	
WALL AREA *	1389.99 FT ² (127.14 MT)
LIMITING DISTANCE *	19'-11" (4.96 M) @ 52.75%
MAX. ALLOWABLE OPENINGS *	4462.02 FT ² (414.37 MT)
OPENINGS PROVIDED *	603.90 FT ² (56.38 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



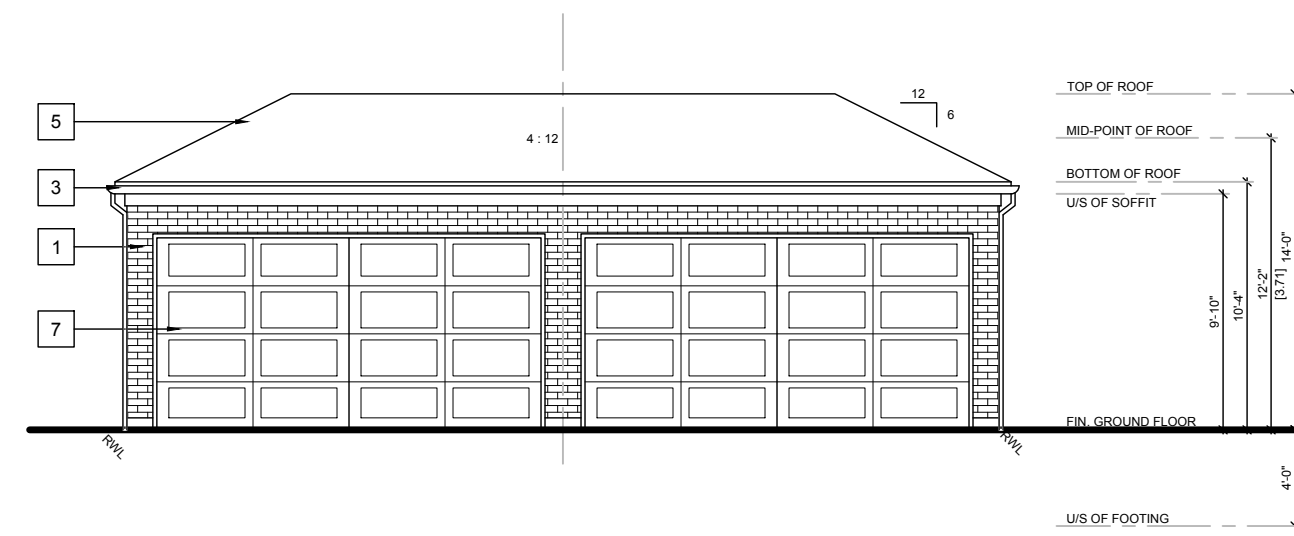
TYPE 'G1' GARAGE
(UNITS 2-7,12-15)
FRONT ELEVATION

SPATIAL SEPARATION	
WALL AREA *	397.28 FT ² (36.37 MT)
LIMITING DISTANCE *	8'-2" (2.50 M) @ 20.00%
MAX. ALLOWABLE OPENINGS *	71.46 FT ² (6.64 MT)
OPENINGS PROVIDED *	0.00 FT ² (0.00 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



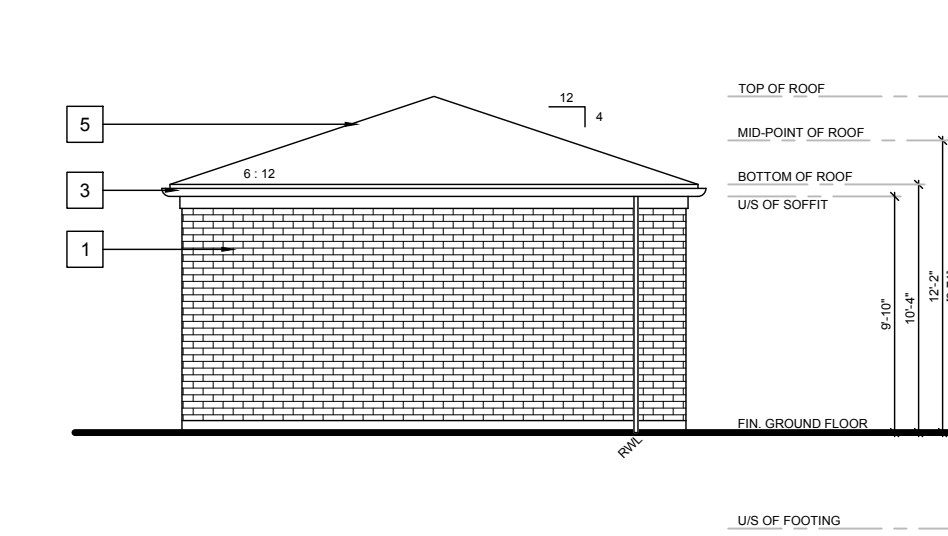
TYPE 'G1' GARAGE
(UNITS 2-7,12-15)
LEFT SIDE ELEVATION

SPATIAL SEPARATION	
WALL AREA *	206.50 FT ² (19.20 MT)
LIMITING DISTANCE *	2'-0" (0.61 M) @ 0.00%
MAX. ALLOWABLE OPENINGS *	0.00 FT ² (0.00 MT)
OPENINGS PROVIDED *	0.00 FT ² (0.00 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



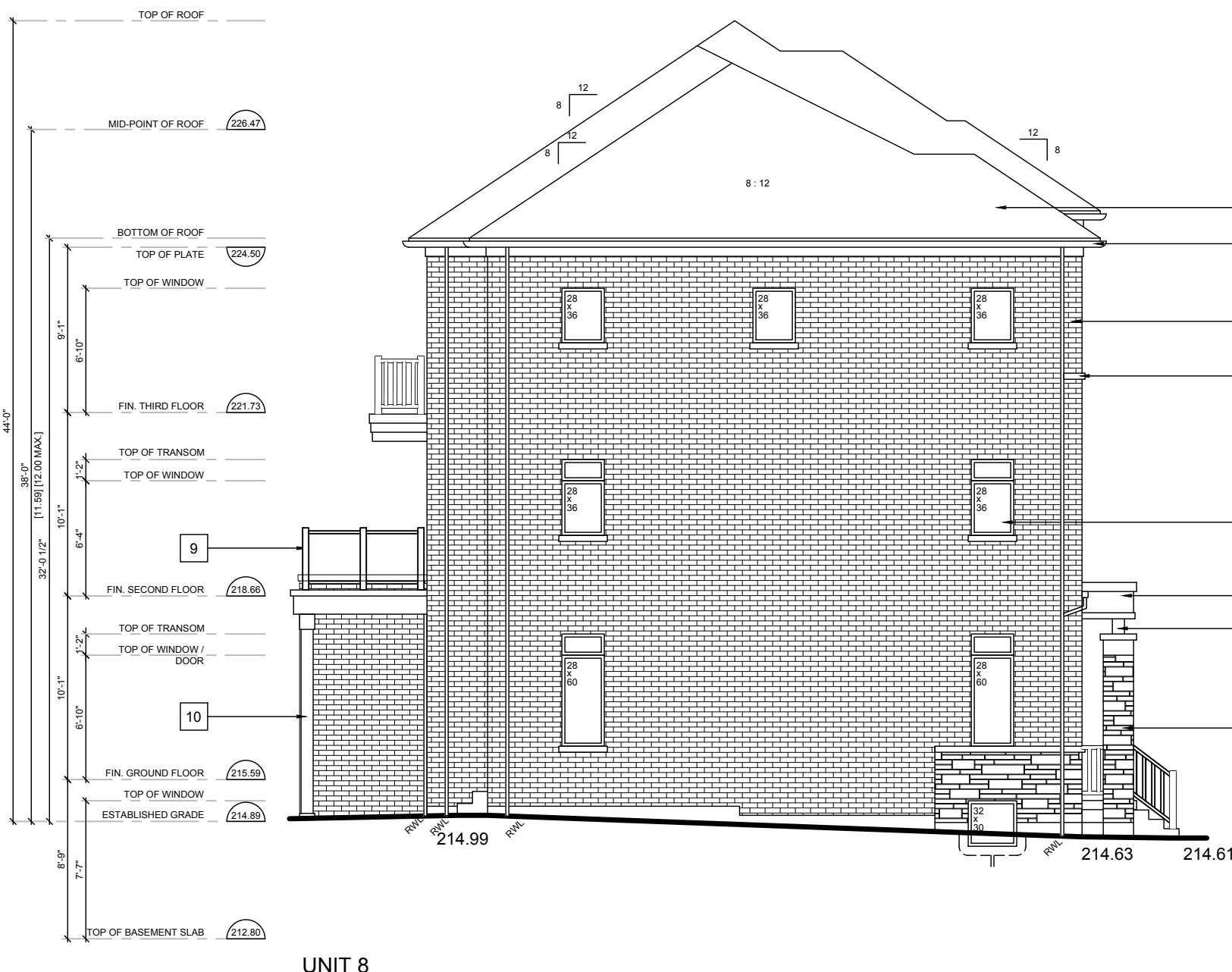
TYPE 'G1' GARAGE
(UNITS 2-7,12-15)
REAR ELEVATION

SPATIAL SEPARATION	
WALL AREA *	397.28 FT ² (36.37 MT)
LIMITING DISTANCE *	10'-11" (4.96 M) @ 53.00%
MAX. ALLOWABLE OPENINGS *	189.36 FT ² (17.59 MT)
OPENINGS PROVIDED *	0.00 FT ² (0.00 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



TYPE 'G1' GARAGE
(UNITS 2-7,12-15)
RIGHT SIDE ELEVATION

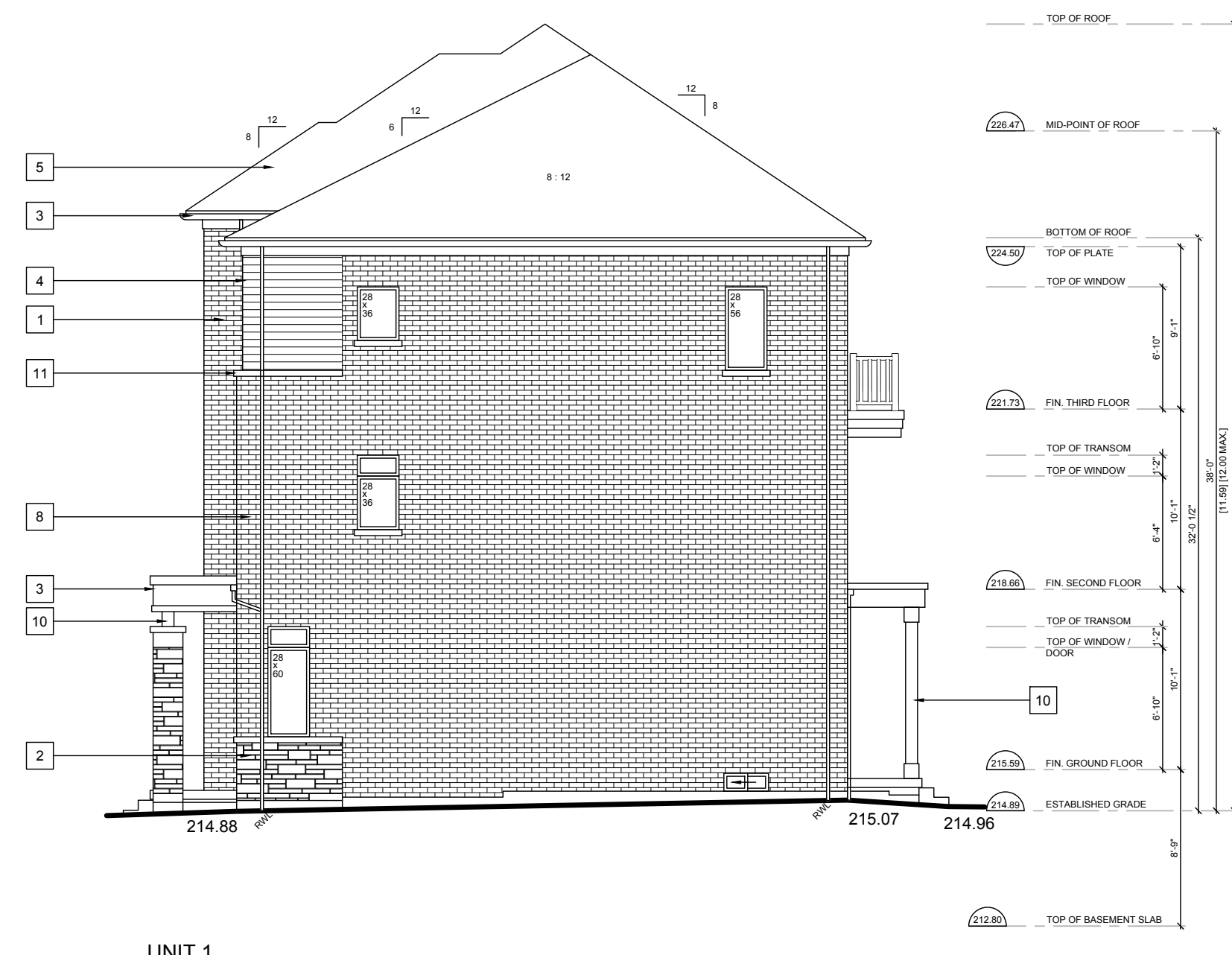
SPATIAL SEPARATION	
WALL AREA *	206.50 FT ² (19.20 MT)
LIMITING DISTANCE *	2'-0" (0.61 M) @ 0.00%
MAX. ALLOWABLE OPENINGS *	0.00 FT ² (0.00 MT)
OPENINGS PROVIDED *	0.00 FT ² (0.00 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



UNIT 8
TH-2
ELEV. 'A3'

BLOCK A
LEFT SIDE ELEVATION

SPATIAL SEPARATION	
WALL AREA *	1036.09 FT ² (96.04 MT)
LIMITING DISTANCE *	4'-2" (1.28 M) @ 7.00%
MAX. ALLOWABLE OPENINGS *	72.74 FT ² (6.75 MT)
OPENINGS PROVIDED *	47.26 FT ² (4.42 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP



UNIT 1
TH-1 END REV.
ELEV. 'A2'

BLOCK A
RIGHT SIDE ELEVATION

SPATIAL SEPARATION	
WALL AREA *	1066.00 FT ² (98.14 MT)
LIMITING DISTANCE *	4'-11" (1.50 M) @ 7.00%
MAX. ALLOWABLE OPENINGS *	74.62 FT ² (6.93 MT)
OPENINGS PROVIDED *	26.32 FT ² (2.45 MT) STANDARD (GLASS ONLY)
	0.00 FT ² (0.00 MT) W/ BSMT. WALK-UP

LEGEND - COLOUR PACKAGE 1

- 1 MASONRY:
FACE BRICK
BRAMPTON BRICK - ROYAL GRAY
- 2 MASONRY:
FACE STONE
BRAMPTON BRICK - DOVER
- 3 ALUMINUM CLAD DETAILS:
KAYCAN - CHARCOAL
- 4 METAL SIDING AND TRIM:
ASH GREY
- 5 ROOF:
CERTANTEED XT25 - MOIRE BLACK
- 6 FRONT DOORS AND FRAMES:
INKWELL - SW 6992
- 7 GARAGE DOORS AND FRAMES:
INKWELL - SW 6992
- 8 WINDOWS AND PATIO DOORS:
BROWNS - IRON ORE
- 9 RAILINGS:
TBD - IRON ORE
- 10 COLUMNS:
PAINTABLE - CHARCOAL
- 11 PRECAST STONE AND SILL:
NATURAL

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No.	DESCRIPTION	DATE	BY
4	ISSUED FOR SPA	2024-11-06	SA
3	ISSUED FOR CLIENT REVIEW	2024-03-07	SA
2	ISSUED FOR CLIENT REVIEW	2023-06-06	SA
1	ISSUED FOR SPA	2022-08-08	SA

Cassidy + Company Residential Design Consultants		60 RANDALL DRIVE, SUITE 11, AJAX, ONTARIO L1S 8L3 T:905-619-1270 F:905-619-1269
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Client	FOREST HILL HOMES LTD.
Project Name	CORNELL TOWNS 3 STOREY TOWNHOUSE & SEMI-DETACHED DEVELOPMENT CITY OF MARKHAM

BLOCK A ELEVATIONS

Drawn by: ASP	Checked by: SA	Date: AUG. 2022
Scale: 1 : 100	Drawing No. A2.1	
Project No. 2021-44		

1. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
2. ALL DOWNSPOUTS TO BE AT REAR OF UNIT.
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8. BUILDER TO CONFIRM SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION

I, Richard F. Merrill, certify that the Plans/
Drawings comply with the approved
architectural control guidelines. This
stamp is ONLY for the purposes of design
control and carries no other professional
obligation.

Date: October 5, 2021

Reviewed for: Final Review

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REVIEWED
REVIEWED AS MODIFIED
REVISE AND RE-SUBMIT FOR REVIEW
NOT REVIEWED

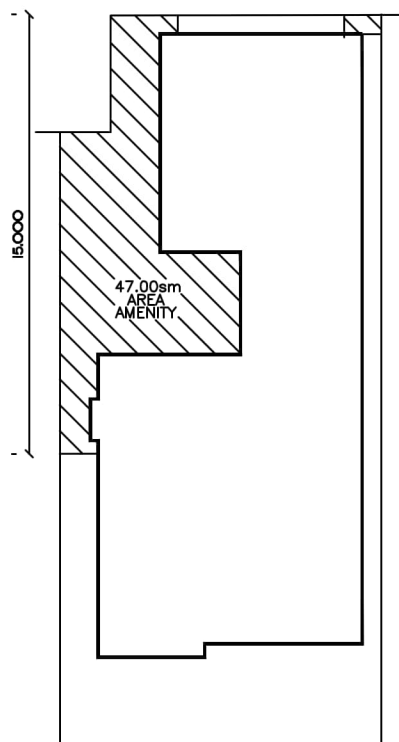
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Builder to verify lateral elevations prior to digging foundation.

Date OCT. 1, 2021

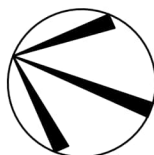
GM →	GAS METER
FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDERSIDE SIDE FOOTING
USFR(REAR)	UNDERSIDE SIDE FOOTING REAR
USFG	UNDERSIDE SIDE FOOTING GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS
WOD	WALKOUT DECK
LOB	LOOK OUT BASEMENT
WOB	WALKOUT BASEMENT
REV	REV PLAN
STD	STANDARD PLAN
▷	DOOR LOCATION
⊠	BELL VAULT
⊞	CALBE TV
□	CATCH BASIN
□	DOUBLE CATCH BASIN
⊗	ENGINEERED FILL
◇	HYDRANT
●	STREET LIGHT
⊗	WATER VALVE
⊠	MAIL BOX
—	TRANSFORMER
—	WATER CONNECTION
△	STORM + SAN. CONNECTION (2 LOTS)
△	STORM + SAN. CONNECTION (1 LOT)
⊞	A/C CONDENSER
○→	ROOF DOWNSPOUT TO SPLASH PAD
→	SWALE DIRECTION
—x—	CHAIN LINK FENCE
—xx—	PRIVACY FENCE
—xxx—	SOUND BARRIER
—	FOOTING TO BE EXTENDED TO 1.25' (MIN) BELOW GRADE
	MAX 3:1 SLOPE

NOTE:
THIS LOT DOES NOT CONTAIN AN ACCESSORY
DWELLING UNIT



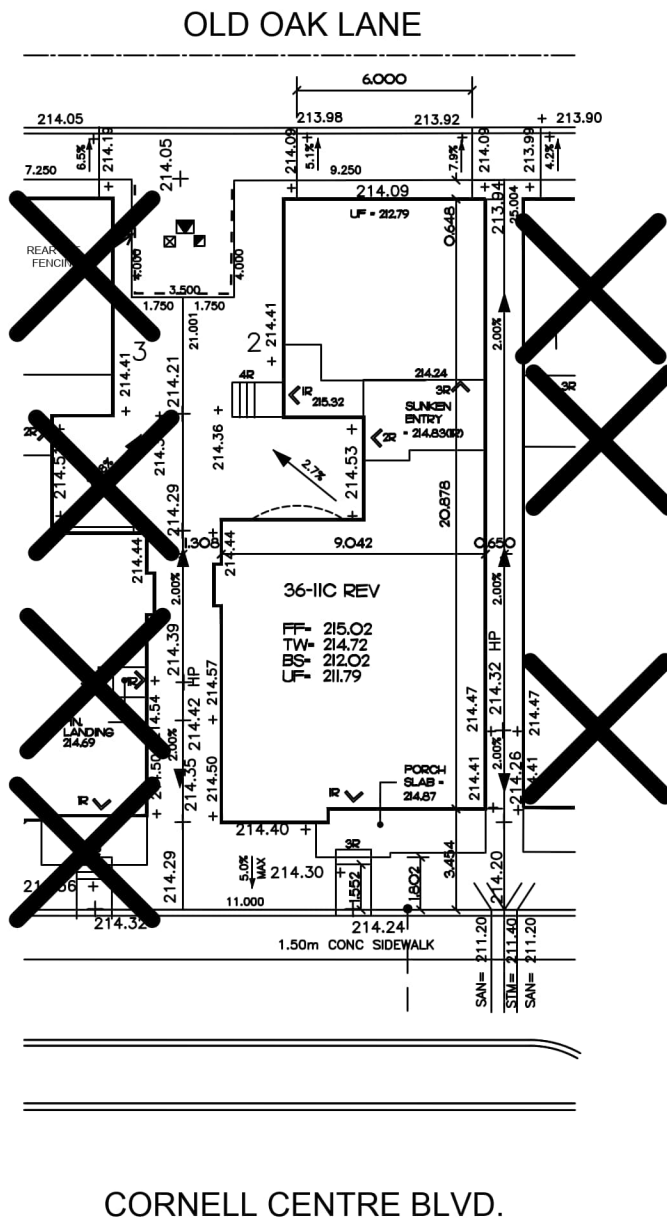
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STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES.
IF MIN DIMENSIONS ARE NOT MAINTAINED BUILDER IS
TO RELOCATE AT HIS OWN EXPENSE

DRAWN BY: JP	DATE: AUGUST 2021
SCALE: 1 : 250	LOT NUMBER: LOT 2



JAMES PIGGOTT
Residential Design Consultant

3A King Street South, Suite 4
Cookstown Ont. L0L 1L0
(705) 458 8433



CLIENT
FOREST HILL HOMES

PROJECT/LOCATION
CORNELL — PHASE 9
MARKHAM, ONTARIO

DRAWING SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No	65M-4545
ZONE	R2 * 190 * 192
LOT NUMBER	2
No. OF STOREYS	2
MEAN HEIGHT (m)	7.77M

REVISIONS

NO	DATE	
1	20/9/2021	GRADES REVISED AS PER WSP COMMENTS
2	—	—
3	—	—
4	—	—
5	—	—

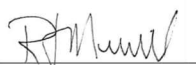
NOTES:

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8. BUILDER TO CONFIRM SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION

R.F. Merrill
2218045 Ontario Limited

Design Control Review

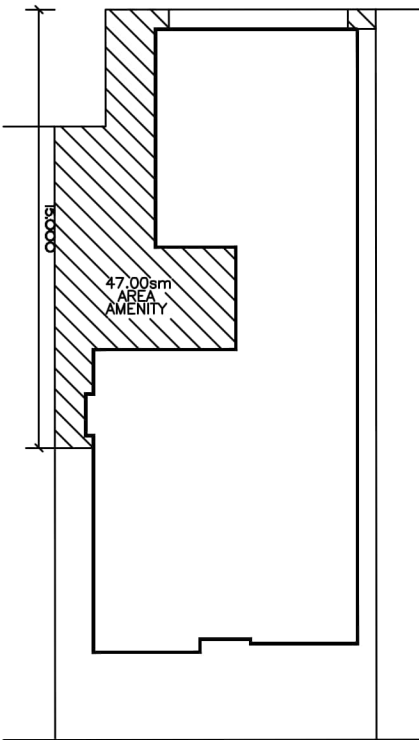
I, Richard F. Merrill, certify that the Plans/
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obligation.

Reviewed by: 

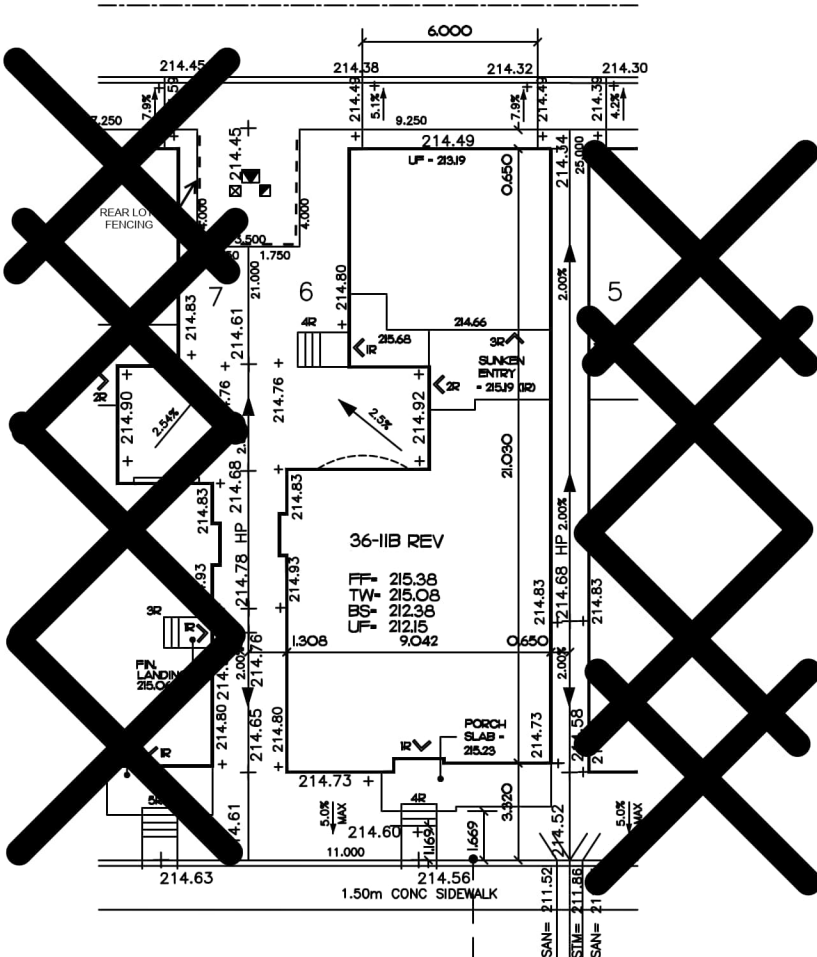
Date: October 5, 2021

Reviewed for: Final Review

NOTE:
THIS LOT DOES NOT CONTAIN AN ACCESSORY
DWELLING UNIT



OLD OAK LANE



CORNELL CENTRE BLVD.

LOT GRADING

wsp

REVIEWED ☒
REVIEWED AS MODIFIED ☐
REVISE AND RE-SUBMIT FOR REVIEW ☐
NOT REVIEWED ☐

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conformity to zoning by-law, which remain the responsibility
of the architect.
Builder to verify lateral elevations prior to digging foundation.

Date OCT. 1, 2021 By Patricia Blashy

LEGEND

- GM → GAS METER
- FFE FINISHED FLOOR ELEVATION
- TFW TOP OF FOUNDATION WALL
- TBS TOP OF BASEMENT SLAB
- USF UNDERSIDE FOOTING
- USFR(REAL) UNDERSIDE FOOTING REAR
- USFG UNDERSIDE FOOTING GARAGE
- TEF TOP OF ENGINEERED FILL
- R NUMBER OF RISERS
- WOD WALKOUT DECK
- LOB LOOK OUT BASEMENT
- WOB WALKOUT BASEMENT
- REV PLAN
- STD STANDARD PLAN
- DOOR LOCATION
- BELL VAULT
- CALBE TV
- CATCH BASIN
- DOUBLE CATCH BASIN
- ENGINEERED FILL
- HYDRANT
- STREET LIGHT
- WATER VALVE
- MAIL BOX
- TRANSFORMER
- WATER CONNECTION
- STORM + SAN. CONNECTION (2 LOTS)
- STORM + SAN. CONNECTION (1 LOT)
- A/C CONDENSER
- ROOF DOWNSPOUT TO SPLASH PAD
- SWALE DIRECTION
- CHAIN LINK FENCE
- PRIVACY FENCE
- SOUND BARRIER
- FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
- MAX 3:1 SLOPE

NOTE:
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS,
STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES.
IF MIN DIMENSIONS ARE NOT MAINTAINED BUILDER IS
TO RELOCATE AT HIS OWN EXPENSE

DRAWN BY:

JP

DATE:

AUGUST 2021

SCALE:

1 : 250

LOT NUMBER:

LOT 6



JAMES PIGGOTT
Residential Design Consultant

3A King Street South, Suite 4
Cookstown Ont. L0L 1L0
(705) 458 8433

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5. OF DIVISION C OF THE

JAMES PIGGOTT 25146

NAME SIGNATURE

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4. OF DIVISION C OF THE

JAMES PIGGOTT 34700

FRM NAME

CLIENT
FOREST HILL HOMES

PROJECT/LOCATION
CORNELL — PHASE 9

MARKHAM, ONTARIO

DRAWING
SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No 65M-4545
ZONE R2 * 190 * 192
LOT NUMBER 6
No. OF STOREYS 2
MEAN HEIGHT (m) 7.82M

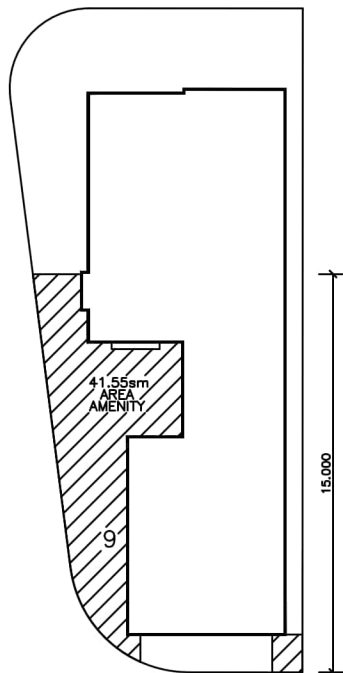
REVISIONS

NO	DATE	
1	20/9/2021	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-

NOTES:

1. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
2. ALL DOWNSPOUTS TO BE AT REAR OF UNIT.
3. BASE CURB ELEVATION TO BE CHECKED VS. GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
4. FOR DETAILS OF THE PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS.
5. BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES
6. OLD OAK LANE IS NOT CONSTRUCTED YET. THIS PLAN TO BE REVIEWED VS. AS-BUILT DRAWINGS PRIOR TO BUILDING CONSTRUCTION.
7. FOOTINGS TO BEAR ON GEOTECHNICALLY APPROVED SUB-GRADE AND BE A MINIMUM 1.22m BELOW FINISHED GRADE.
8. *STM AND SAN INVERTS SHOWN ARE PROPOSED, NOT AS-BUILT. BUILDER TO CONFIRM INVERT ELEVATIONS PRIOR TO DIGGING FOUNDATION

NOTE:
THIS LOT DOES NOT CONTAIN AN ACCESSORY DWELLING UNIT



LEGEND

GM →	GAS METER
FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDERSIDE FOOTING
USFR(REAR)	UNDERSIDE FOOTING REAR
USFG	UNDERSIDE FOOTING GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS
WOD	WALKOUT DECK
LOB	LOOK OUT BASEMENT
WOB	WALKOUT BASEMENT
REV	REV PLAN
STD	STANDARD PLAN
D	DOOR LOCATION
B	BELL VAULT
CB	CALBE TV
C	CATCH BASIN
DB	DOUBLE CATCH BASIN
EF	ENGINEERED FILL
H	HYDRANT
SL	STREET LIGHT
WV	WATER VALVE
MB	MAIL BOX
TR	TRANSFORMER
WC	WATER CONNECTION
SC	STORM + SAN. CONNECTION (2 LOTS)
SC1	STORM + SAN. CONNECTION (1 LOT)
AC	A/C CONDENSER
OD	ROOF DOWNSPOUT TO SPLASH PAD
S	SWALE DIRECTION
CL	CHAIN LINK FENCE
PF	PRIVACY FENCE
SB	SOUND BARRIER
FE	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
MS	MAX 3:1 SLOPE

NOTE:
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DRAWN BY:	DATE:
JP	FEB 2023
SCALE:	LOT NUMBER:
1 : 250	LOT 9



JAMES PIGGOTT
Residential Design Consultant

3A King Street South, Suite 4
Cookstown Ont. L0L 1L0
(705) 458 8433

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REQUIRED UNLESS DESIGN IS EXEMPT UNDER 32.1 OF DIVISION C OF THE
JAMES PIGGOTT
NAME
SIGNATURE
25146
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 32.1 OF DIVISION C OF THE
JAMES PIGGOTT
FIRM NAME
34700

CLIENT
FOREST HILL HOMES

PROJECT/LOCATION
CORNELL — PHASE 9

MARKHAM, ONTARIO

DRAWING
SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No 65M-4545
ZONE R2 * 190 * 192
LOT NUMBER 9
No. OF STOREYS 2
MEAN HEIGHT (m) 8.23 M

REVISIONS

NO	DATE	
1	27/2/2023	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-

COUNTRYSIDE STREET

OLD OAK LANE

OLD OAK LANE

R.F. Merrill
2218045 Ontario Limited
Design Control Review

I, Richard F. Merrill, certify that the Plans/
Drawings comply with the approved
architectural control guidelines. This
stamp is ONLY for the purposes of design
control and carries no other professional
obligation.

Reviewed by:

Date: February 19, 2025

Reviewed for: Final Review

LOT GRADING

wsp

REVIEWED ☒
REVIEWED AS MODIFIED ☐
REVISE AND RE-SUBMIT FOR REVIEW ☐
NOT REVIEWED ☐

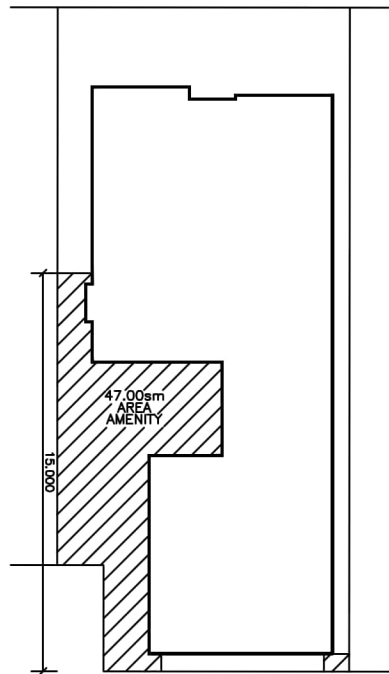
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Builder to verify lateral elevations prior to digging foundation.

Date MAR. 8, 2023 By Patrick Blady

NOTES:

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2. ALL DOWNSPOUTS TO BE AT REAR OF UNIT.
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8. *STM AND SAN INVERTS SHOWN ARE PROPOSED, NOT AS-BUILT. BUILDER TO CONFIRM INVERT ELEVATIONS PRIOR TO DIGGING FOUNDATION

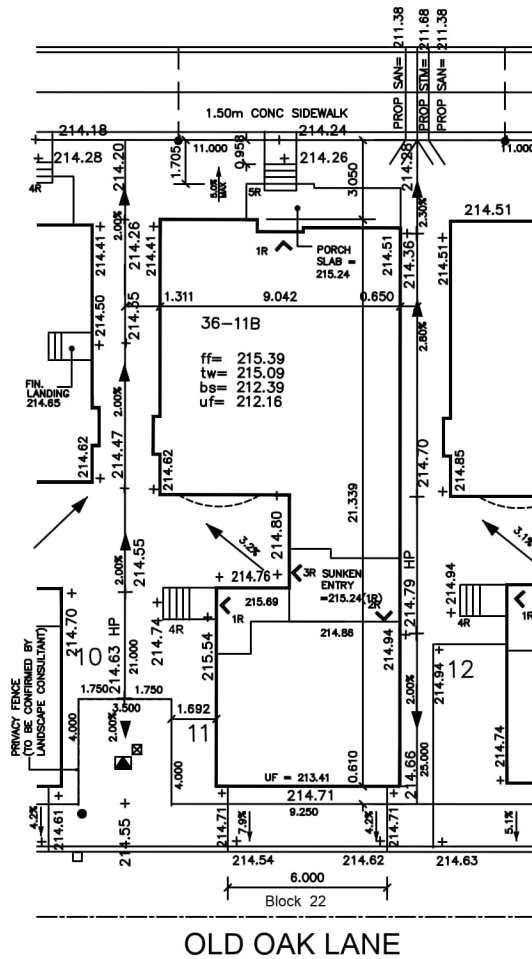
NOTE:
THIS LOT CONTAINS AN ACCESSORY DWELLING UNIT



LEGEND

- GM → GAS METER
FFE FINISHED FLOOR ELEVATION
TFW TOP OF FOUNDATION WALL
TBS TOP OF BASEMENT SLAB
USF UNDERSIDE FOOTING
USFR(REAR) UNDERSIDE FOOTING REAR
USFG UNDERSIDE FOOTING GARAGE
TEF TOP OF ENGINEERED FILL
R NUMBER OF RISERS
WOD WALKOUT DECK
LOB LOOK OUT BASEMENT
WOB WALKOUT BASEMENT
REV REV PLAN
STD STANDARD PLAN
D DOOR LOCATION
B BELL VAULT
C CALBE TV
CB CATCH BASIN
DB DOUBLE CATCH BASIN
E ENGINEERED FILL
H HYDRANT
S STREET LIGHT
V WATER VALVE
M MAIL BOX
T TRANSFORMER
WC WATER CONNECTION
S+ SAN. CONNECTION (2 LOTS)
S+ SAN. CONNECTION (1 LOT)
A/C A/C CONDENSER
R ROOF DOWNSPOUT TO SPLASH PAD
S SWALE DIRECTION
C CHAIN LINK FENCE
P PRIVACY FENCE
S SOUND BARRIER
F FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
MAX 3:1 SLOPE

COUNTRYSIDE STREET



OLD OAK LANE

R.F. Merrill
2218045 Ontario Limited
Design Control Review

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Reviewed by:

Date: February 19, 2025

Reviewed for: Final Review

LOT GRADING



REVIEWED ☒
REVIEWED AS MODIFIED ☐
REVISE AND RE-SUBMIT FOR REVIEW ☐
NOT REVIEWED ☐

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Builder to verify lateral elevations prior to digging foundation.

Date MAR. 8, 2023 By

CLIENT
FOREST HILL HOMES

PROJECT/LOCATION
CORNELL – PHASE 9

MARKHAM, ONTARIO

DRAWING
SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No 65M-4545
ZONE R2 * 190 * 192
LOT NUMBER 11
No. OF STOREYS 2
MEAN HEIGHT (m) 7.96 M

REVISIONS

NO	DATE	
1	27/2/2023	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-

NOTE:
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DRAWN BY: JP DATE: FEB 2023
SCALE: 1 : 250 LOT NUMBER: LOT 11



JAMES PIGGOTT
Residential Design Consultant

3A King Street South, Suite 4
Cookstown Ont. L0L 1L0
(705) 458 8433

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REQUIRED UNLESS DESIGN IS EXEMPT UNDER 32.5. OF DIVISION C OF THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JAMES PIGGOTT 25146

NAME SIGNATURE

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 32.5. OF DIVISION C OF THE ONTARIO BUILDING CODE TO BE A DESIGNER.

JAMES PIGGOTT 34700

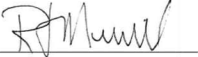
FIRM NAME

NOTES:

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R.F. Merrill
2218045 Ontario Limited
Design Control Review

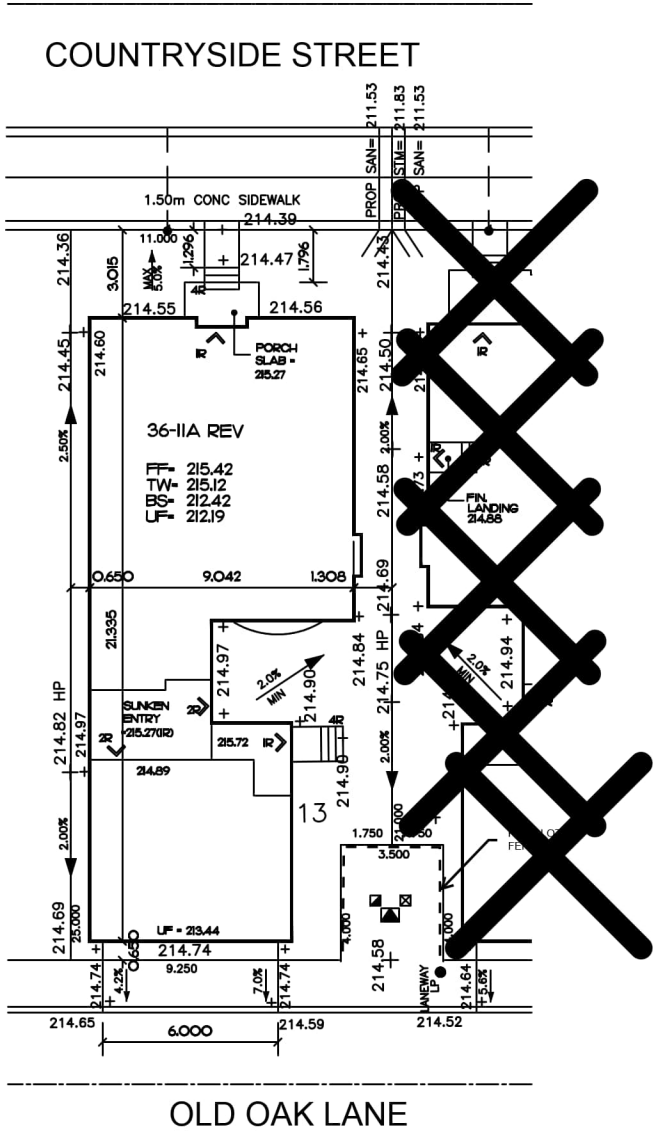
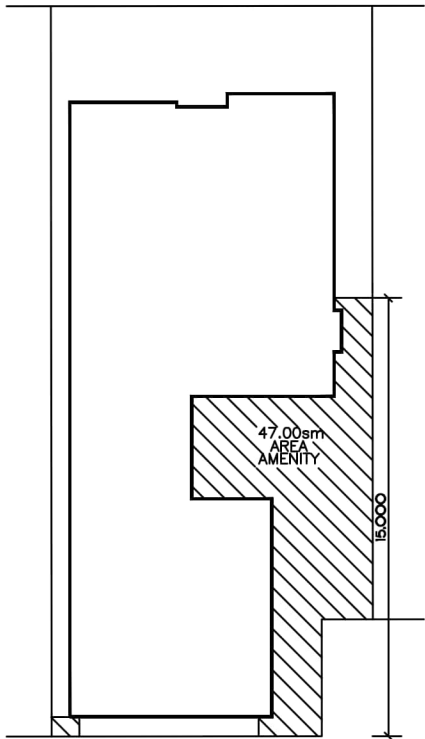
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Reviewed by: 

Date: October 5, 2021

Reviewed for: Final Review

NOTE:
THIS LOT DOES NOT CONTAIN AN ACCESSORY
DWELLING UNIT



LOT GRADING



REVIEWED ☒
REVIEWED AS MODIFIED ☐
REVISE AND RE-SUBMIT FOR REVIEW ☐
NOT REVIEWED ☐

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Date OCT. 1, 2021 By Patricia Blady

LEGEND

- GM → GAS METER
- FFE FINISHED FLOOR ELEVATION
- TFW TOP OF FOUNDATION WALL
- TBS TOP OF BASEMENT SLAB
- USF UNDERSIDE FOOTING
- USFR(REAL) UNDERSIDE FOOTING REAR
- USFG UNDERSIDE FOOTING GARAGE
- TEF TOP OF ENGINEERED FILL
- R NUMBER OF RISERS
- WOD WALKOUT DECK
- LOB LOOK OUT BASEMENT
- WOB WALKOUT BASEMENT
- REV REV PLAN
- STD STANDARD PLAN
- ▽ DOOR LOCATION
- BELL VAULT
- CALBE TV
- CATCH BASIN
- DOUBLE CATCH BASIN
- ENGINEERED FILL
- HYDRANT
- STREET LIGHT
- WATER VALVE
- MAIL BOX
- TRANSFORMER
- WATER CONNECTION
- STORM + SAN. CONNECTION (2 LOTS)
- STORM + SAN. CONNECTION (1 LOT)
- △ A/C CONDENSER
- ROOF DOWNSPOUT TO SPLASH PAD
- SWALE DIRECTION
- × CHAIN LINK FENCE
- ××× PRIVACY FENCE
- ××× SOUND BARRIER
- ××× FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
- MAX 3:1 SLOPE

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TO RELOCATE AT HIS OWN EXPENSE

DRAWN BY: JP DATE: AUGUST 2021
SCALE: 1 : 250 LOT NUMBER: LOT 13



JAMES PIGGOTT
Residential Design Consultant
3A King Street South, Suite 4
Cookstown Ont. L0L 1L0
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NAME SIGNATURE
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4. OF DIVISION C OF THE
JAMES PIGGOTT 34700
NAME SIGNATURE

CLIENT
FOREST HILL HOMES

PROJECT/LOCATION
CORNELL – PHASE 9
MARKHAM, ONTARIO

DRAWING
SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No 65M-4545
ZONE R2 * 190 * 192
LOT NUMBER 13
No. OF STOREYS 2
MEAN HEIGHT (m) 8.03 M

REVISIONS

NO	DATE	
1	20/9/2021	GRADES REVISED AS PER WSP COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-