

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No. \_\_\_\_\_  
ZONE \_\_\_\_\_


LEGEND	
FFE FINISHED FLOOR ELEVATION	SP SUMP PUMP
TFW TOP OF FOUNDATION WALL	BP BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	CP CABLE PEDESTAL
USF UNDER SIDE FOOTING	CB CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	ENG ENGINEERED FILL
R NUMBER OF RISERS TO GRADE	HC HYDRO CONNECTION
WOD WALKOUT DECK	FD FIRE HYDRANT
LOB LOOKOUT BASEMENT	SL STREET LIGHT
WOB WALK OUT BASEMENT	MB MAIL BOX
WUB WALK UP BASEMENT	TR TRANSFORMER
REV REVERSE PLAN	SC SEWER CONNECTIONS 2 LOTS
STD STANDARD PLAN	SL SEWER CONNECTIONS 1 LOT
△ DOOR	WC WATER CONNECTION
○ WINDOW	WV WATER VALVE CHAMBER
ACG AIR CONDITIONING	HV HYDRANT AND VALVE
DS DOWN SPOUT TO SPLASH PAD	HM HYDRO METER
DS DOWNSPOUT CONNECTED TO STM	GM GAS METER
SD SWALE DIRECTION	MS MANHOLE - STORM
SP SIGN POST	MS MANHOLE - SANITARY
(XX) - MARKETING LOT NO.	

————X———— CHAINLINK FENCE  
————XX———— PRIVACY FENCE  
————XXX———— SOUND BARRIER  
———— FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE  
NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	15-FEB-25	PP	
2	ISSUED FINAL	20-MAR-25	PP	MSA
3	ISSUED FINAL	26-MAR-25	PP	MSA
4	REVISED TEMPLATE AS PER WD	04-JUNE-25	PP	MSA



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WWW.THEPLUSGROUP.CA

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: JUN-10-2025  
SIGNATURE: 

CLIENT  
**KYLEMORE HOMES**  
PROJECT/LOCATION  
**YORK DOWNS  
MARKHAM, ONTARIO  
PHASE 1A**  
DRAWING  
**SITE PLAN**

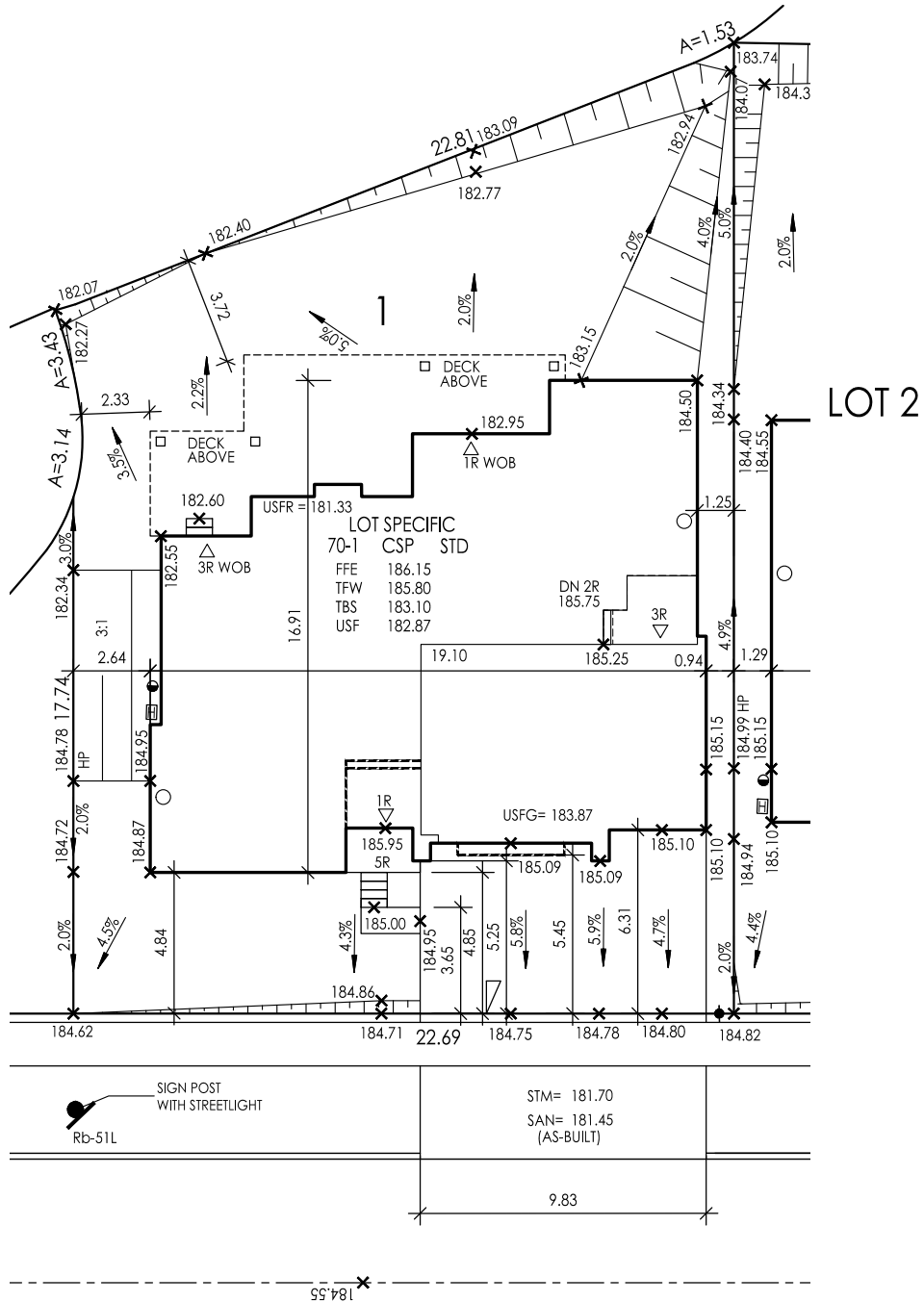
DRAWN BY	SCALE
PP	1:250
PROJECT No.	LOT NUMBER
20011	1

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
JUNE 10, 2025  
**FINAL** BY:   
This stamp is only for the purposes of design control and carries no other professional obligations.

LOT 1

MODEL	GARAGE DIM. W x L (m)	COVERAGE (m2)	LOT AREA (m2)	COVERAGE (%)	G.F.A. (m2)	LOT FRONTAGE (m)	LOT DEPTH (m)	BUILDING HEIGHT (m)
70-01 LOT SPECIFIC	6.09 X 9.75	256.59	652.75	N/A	432.74	22.69	33.01	10.28

BLOCK 11



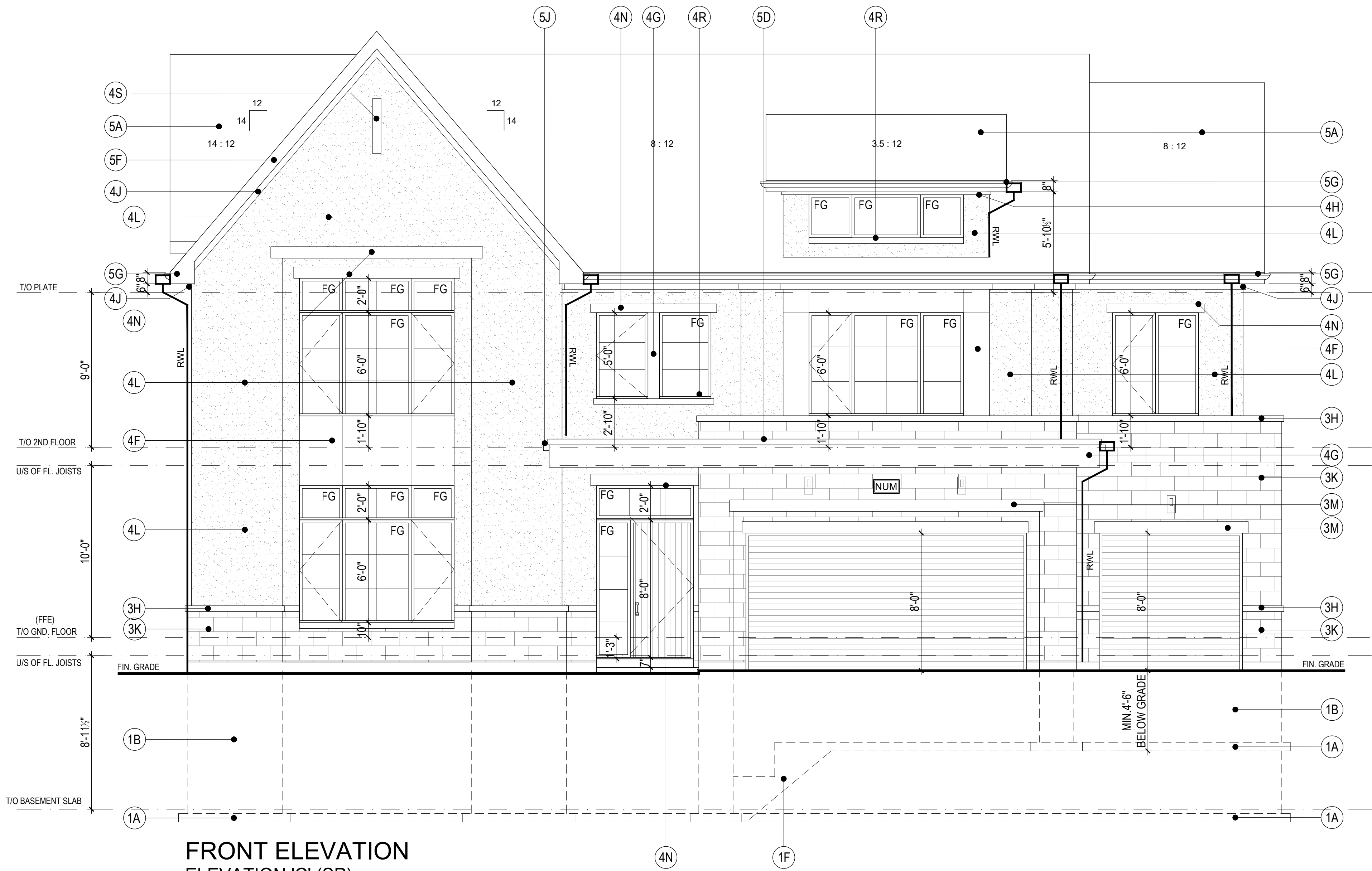
BALANCE CRESCENT

LOT 1

- REVIEWED FOR:
- Grade as being in conformity with the drainage concepts shown on the lot grading plans prepared by Stantec Consulting Ltd.
  - Conformance with the approved composite utility plans.
  - Conformance with City of Markham grading standards.

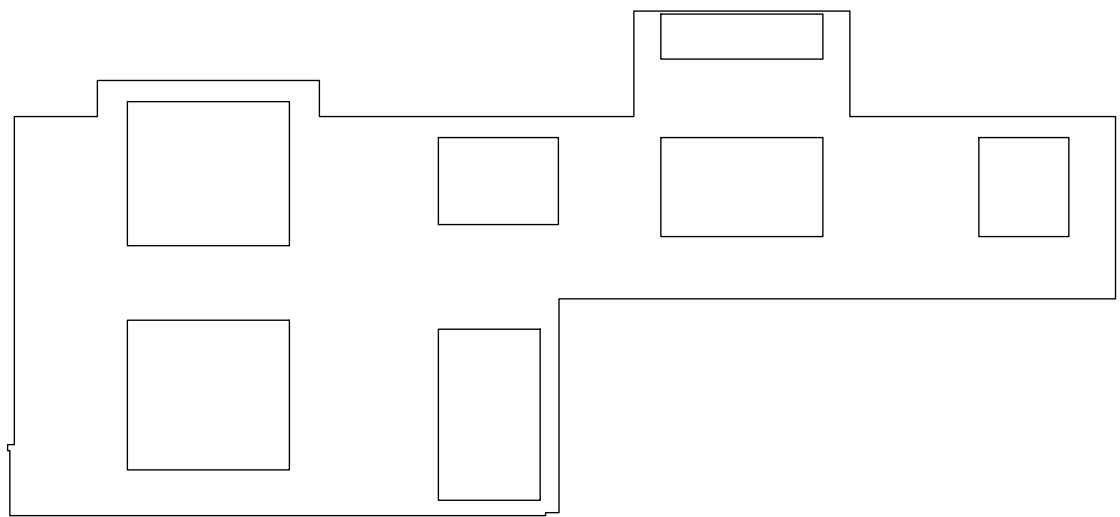
Date: JUN 06, 2025 Reviewed by: 

STANTEC CONSULTING LTD.



FRONT ELEVATION  
ELEVATION 'C' (SP)

SCALE 1/4"=1'-0"



FRONT ELEV "A"  
TOTAL EBF AREA= 1079.58 FT2 OR 100.3 M2  
ELEV. A: EBF-1 =1079.58 SF = 100.3 m2  
LD = 1.2 m  
UO % = 30.7%  
UO = 332.24 SF= 30.9 M2

FOOTINGS & FOUNDATIONS	SIDING / STUCCO & TRIM FEATURES
1A) POURED CONCRETE STRIP FOOTING	4A) PREFINISHED FIBRE CEMENT HORIZONTAL / VERTICAL SIDING
1B) POURED CONCRETE FOUNDATION WALL	4B) PREFINISHED FIBRE CEMENT PANEL CLADDING
1C) PRECAST CONC. STEPS/ NUMBER TO SILL GRADE	4C) 2" SIDING TRIM
1D) GALVANIZED METAL AREAWAY DRAIN TO WEEPERS	4D) 4" SIDING TRIM
1E) POURED CONCRETE SILL	4E) 6" SIDING TRIM
1F) STEPPED FOOTING MAX. RISE 3" MIN. RUN 24" MIN. 4" BELOW GRADE	4F) PREFINISHED METAL PANEL
	4G) PREFINISHED METAL
	4H) 2" ALUM. CLAD FRIEZE BOARD
	4J) 4" ALUM. CLAD FRIEZE BOARD
	4K) 6" ALUM. CLAD FRIEZE BOARD
	4L) STUCCO
	4M) 4" STUCCO TRIM
	4N) 6" STUCCO TRIM
	4P) 8" STUCCO TRIM
	4R) 4" STUCCO SILL (SLOPED)
	4S) STUCCO NICHE DETAIL
	4T) METAL NICHE DETAIL
	4U) 10" ALUMINUM CLAD WOOD TRIM
EXTERIOR FEATURES	ROOFING
2A) POST W/CLADDING	5A) ASPHALT SHINGLES
2B) 12" PAINTED FIBERGLASS COLUMN C/W 1" BASE + CAPITAL	5B) PREFINISHED METAL ROOFING
2C) WOOD BRACKET	5C) PREFINISHED METAL ROOFING (STANDING SEAM)
2D) DECORATIVE VENT LOUVER	5D) PREFINISHED METAL CAP FLASHING
2E) DECORATIVE PREFINISHED ALUM. RAIL & PICKETS	5E) 6" PREFIN. ALUMIN. FASCIA
2F) P.T. W/ RAILING	5F) 4" PREFIN. ALUM. EAVESTROUGH OR 6" PREFIN. ALUMIN. FASCIA
	5G) 10" W/ ROOF VENT, TYPICAL
	5H) 10" W/ ROOF VENT, TYPICAL
	5J) PREFINISHED METAL SCUPPER
MASONRY FEATURES	
3A) BRICK VENEER	
3B) SOLDIER COURSE	
3C) SOLDIER COURSE C/W PRECAST KEYSTONE	
3D) SOLDIER COURSE W/ ROWLOCK ABOVE C/W PRECAST KEYSTONE	
3E) STACKED BOND	
3F) ROWLOCK COURSE	
3G) TYPICAL BRICK QUION, 1 1/2 BRICK WIDE, 4 COURSES HIGH, 1 BRICK COURSE SPACING, PROJECTED 1" FROM BRICK FACE	
3H) PRECAST CONCRETE SILL, PROJECTED 2"	
3I) BRICK DETAIL PROJECTED 1/2"	
3J) STONE VENEER	
3K) 8" HIGH MANUFACTURED STONE LINTEL	
3M) 8" HIGH MANUFACTURED STONE LINTEL	
3N) PRECAST CONCRETE / CUT STONE	

- All drawings are the property of the Architect and must be returned upon request.  
Contractor shall check all dimensions and report any discrepancies to the Architect before proceeding with the work.  
The contractor and/or engineer shall verify all footing elevations and soil bearing capacity prior to excavation and the commencement of work.  
DO NOT SCALE DRAWINGS

CR	6	JUN 05, 2024	ISSUED FOR PERMIT COORDINATION
CR	5	MAY 02, 2024	ISSUED FOR COORDINATION
CR	4	FEB 26, 2024	ISSUED FOR COORDINATION
CR	3	FEB 07, 2024	ISSUED FOR COORDINATION
CR	2	MAR 13, 2023	ISSUED FOR COORDINATION
CR	1	NOV 08, 2023	ISSUED FOR COORDINATION
no.	date	revision	



770 BROWNS LINE, TORONTO, ON M3W 3W2 • T(416) 252-5679 • F(416) 252-9637

owner  
KYLEMORE HOMES  
10080 KENNEDY ROAD  
MARKHAM, ONTARIO  
L6C 19N  
project  
ANGUS GLEN - SOUTH VILLAGE  
MARKHAM, ONTARIO

drawing  
MODEL 70-1C (SP)  
FRONT ELEVATION

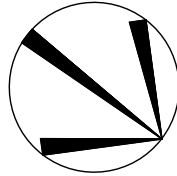
scale 1/4"=1'-0"  
date DEC 2021  
drawn CR  
chk'd BB  
project number 20.146

A-6

**BUILDING STATISTICS**

REG. PLAN No. \_\_\_\_\_

ZONE \_\_\_\_\_



—X—	CHAINLINK FENCE
—XX—	PRIVACY FENCE
—XXX—	SOUND BARRIER
— — —	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR  
TO CONFORM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT  
MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	24-AUG-23	RP	
2	ISSUED FINAL	30-OCT-23	RP	
3	REVISED PER ENG COMM	06-FEB-24	RP	
4	REV. PER PM'S COMMENT	26-NOV-24	PP	MSA
5	ISSUED FINAL	09-DEC-24	PP	MSA

**RN**  
**DESIGN**

WWW.RNDESIGN.COM  
T:905-738-3177  
WWW.THEPLUSGROUP.CA

QUALIFIED DESIGNER BCIN:	47245
FIRM BCIN:	26995
DATE:	

SIGNATURE: \_\_\_\_\_

CLIENT  
KYLEMORE HOMES

PROJECT/LOCATION

YORK DOWNS  
MARKHAM, ONTARIO  
PHASE 1A

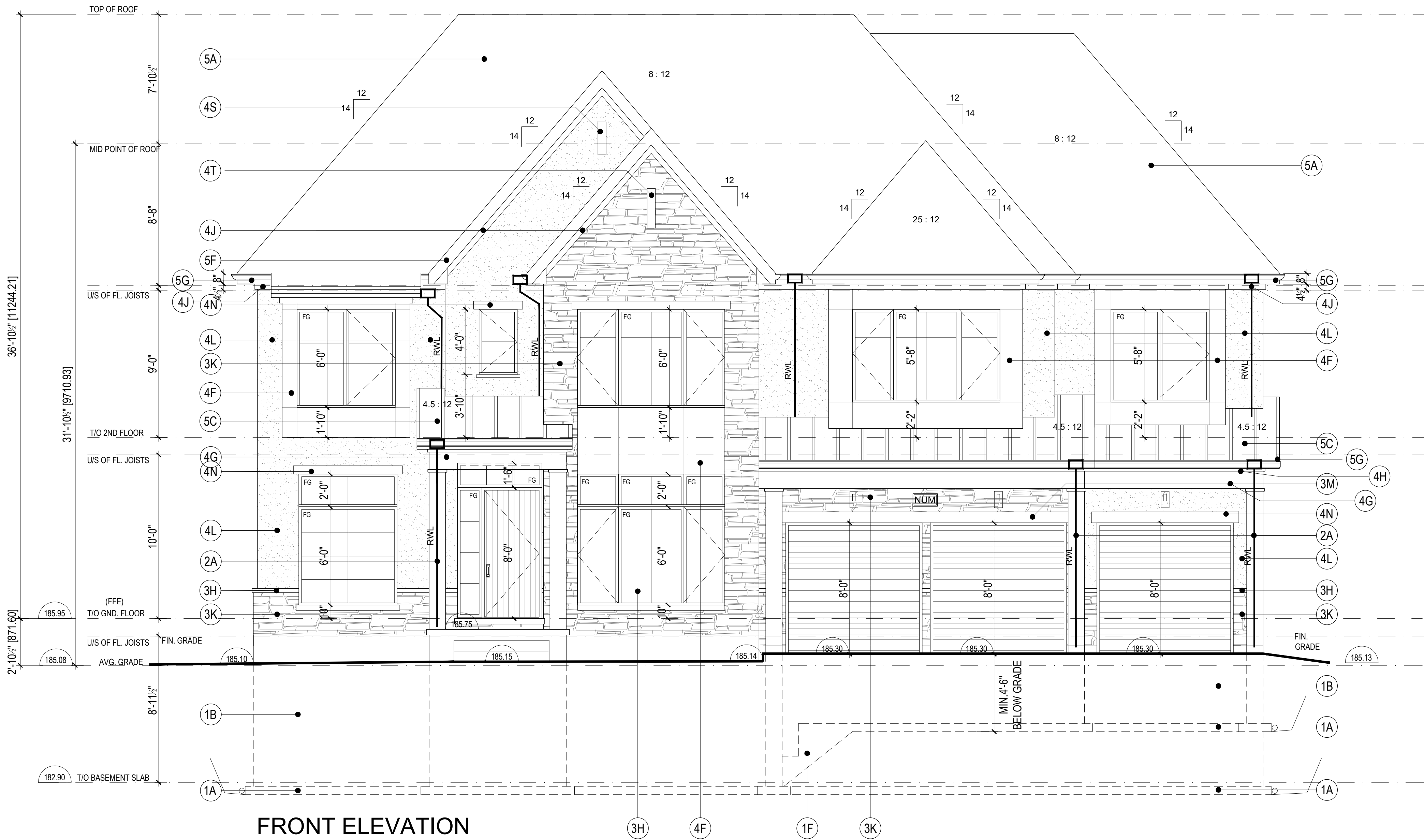
DRAWING

SITE PLAN

DRAWN BY RP	SCALE 1:250
PROJECT No. 20011	LOT NUMBER 2

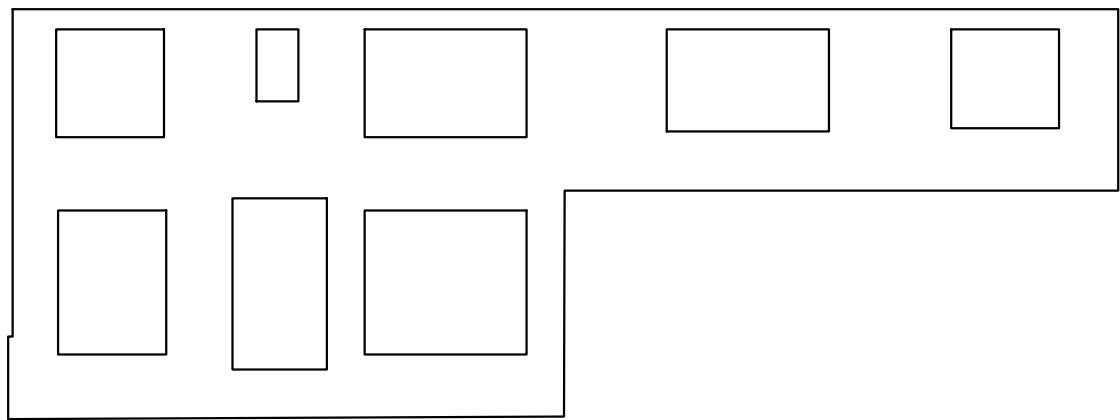
MODEL	GARAGE DIM. W x L (m)	COVERAGE (m2)	LOT AREA (m2)	COVERAGE (%)	G.F.A. (m2)	LOT FRONTAGE (m)	LOT DEPTH (m)	AMENITY SPACE (m2)	BUILDING HEIGHT (m)
70-01 'B' STD	6.10 X 9.22	287.96	708.17	N/A	505.85	21.34	33.01	257.21	9.62





FRONT ELEVATION  
ELEVATION 'B'

SCALE 1/4"=1'-0"



FRONT ELEV			
ELEV. B:	EBF=	1002.55	SF = 93.14 M2
	L/D=	9.8	M
	U/O=	353.2	SF = 32.81 M2
	U/O%	35.23	%

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DO NOT SCALE DRAWINGS

no.	date	revision
1	MARCH 17TH, 2025	ISSUED FOR PERMIT

FOOTINGS & FOUNDATIONS	SIDING / STUCCO & TRIM FEATURES
(1A) POURED CONCRETE STEP FOOTING	(4A) PREFORMED FIBRE CONCRETE HORIZONTAL / VERTICAL SIDING
(1B) POURED CONCRETE FOUNDATION WALL	(4B) PREFORMED FIBRE CONCRETE PANEL CLADDING
(1C) PRECAST CONG. STEPS ALLOWED TO SLOPE GRADE	(4C) 2" SIDING TRIM
(1D) GALVANIZED METAL AREAWAY DRAIN TO WEDGERS	(4D) 4" SIDING TRIM
(1E) POURED CONCRETE SILL	(4E) 6" SIDING TRIM
(1F) STEPPED FOOTING MAX. RISE 24" MIN. SLOPE 1:4 MIN 4'-0" BELOW GRADE	(4F) PREFORMED METAL PANEL
	(4G) PREFORMED METAL PANEL
	(4H) 2" ALUM. CLAD FREEZE BOARD
	(4J) 4" ALUM. CLAD FREEZE BOARD
	(4K) 6" ALUM. CLAD FREEZE BOARD
	(4L) STUCCO
	(4M) 4" STUCCO TRIM
	(4N) 6" STUCCO TRIM
	(4P) 8" STUCCO TRIM
	(4R) STUCCO (B&L GROUP)
	(4S) STUCCO NICHE DETAIL
	(4T) METAL NICHE DETAIL
	(4U) 1" ALUMINUM CLAD WOOD TRIM
MASONRY FEATURES	ROOFING
(3A) BRICK VENEER	(5A) ASPHALT SHINGLES
(3B) SOLIDER COURSE	(5B) PREFORMED METAL ROOFING
(3C) SOLIDER COURSE W/ PRECAST KEYSTONE	(5C) PREFORMED METAL ROOFING (STANDING SEAM)
(3D) SOLIDER COURSE W/ PRECAST KEYSTONE	(5D) PREFORMED METAL CAP FLASHING
(3E) SOLIDER COURSE W/ PRECAST KEYSTONE	(5E) 6" PREFR. ALUMIN. FASCIA
(3F) SOLIDER COURSE W/ PRECAST KEYSTONE	(5F) 6" PREFR. ALUMIN. FASCIA
(3G) SOLIDER COURSE W/ PRECAST KEYSTONE	(5G) 6" PREFR. ALUM. GAVESTHROUGH ON 6" PREFR. ALUMIN. FASCIA
(3H) PRECAST CONCRETE SILL PROJECTED 2"	(5H) 10"X10" ROOF VENT. TYPICAL
(3I) BRICK DETAIL PROJECTED 12"	(5I) PREFORMED METAL SCUPPER
(3J) STONE VENEER	
(3K) 6" HIGH MANUFACTURED STONE UNITS	
(3L) 6" HIGH MANUFACTURED STONE UNITS	
(3M) PRECAST CONCRETE / GOLF STONE	

**gumb**  
ARCHITECTURE  
770 BROWN'S LINE, TORONTO, ON M6W 2K2, T44H5 522-9579 FAX 416 252-9537

owner  
**KYLEMORE HOMES**  
10080 KENNEDY ROAD  
MARKHAM, ONTARIO  
L3C 1S1

project  
**ANGUS GLEN - SOUTH VILLAGE**  
MARKHAM, ONTARIO

drawing  
**MODEL 70-1 (LOT 2)**  
FRONT ELEVATIONS  
ELEVATION 'B'

scale 1/4"=1'-0"

date FEB 2025

drawn CR

chk'd BB

project number 20.146

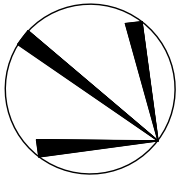
**A-5**

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No. \_\_\_\_\_

ZONE \_\_\_\_\_



LEGEND

FFE FINISHED FLOOR ELEVATION

TFW TOP OF FOUNDATION WALL

TBS TOP OF BASEMENT SLAB

USF UNDER SIDE FOOTING

USFR UNDER SIDE FOOTING @ REAR

USFG UNDER SIDE FOOTING @ GARAGE

R NUMBER OF RISERS TO GRADE

WOD WALKOUT DECK

LOB LOOKOUT BASEMENT

WOB WALK OUT BASEMENT

WUB WALK UP BASEMENT

REV REVERSE PLAN

STD STANDARD PLAN

△ DOOR

○ WINDOW

ACG AIR CONDITIONING

DOWN SPOUT TO SPLASH PAD

DOWN SPOUT CONNECTED TO STM

SWALE DIRECTION

SIGN POST

SUMP PUMP

BELL PEDESTAL

CABLE PEDESTAL

CATCH BASIN

DBL. CATCH BASIN

ENGINEERED FILL

HYDRO CONNECTION

FIRE HYDRANT

STREET LIGHT

MAIL BOX

TRANSFORMER

SEWER CONNECTIONS 2 LOTS

SEWER CONNECTIONS 1 LOT

WATER CONNECTION

WATER VALVE CHAMBER

HYDRANT AND VALVE

HYDRO METER

GAS METER

MANHOLE - STORM

MANHOLE - SANITARY

—X— CHAINLINK FENCE

—XX— PRIVACY FENCE

—XXX— SOUND BARRIER

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	24-AUG-23	RP	
2	ISSUED FINAL	30-OCT-23	RP	
3	REVISED PER ENG COMM	06-FEB-24	RP	
4	REV. PER PM'S COMMENT	26-NOV-24	PP	MSA
5	ISSUED FINAL	09-DEC-24	PP	MSA

RN DESIGN

WWW.RNDESIGN.COM  
T:905-738-3177  
WWW.THEPLUSGROUP.CA

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245

FIRM BCIN: 26995

DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

CLIENT

KYLEMORE HOMES

PROJECT/LOCATION

YORK DOWNS  
MARKHAM, ONTARIO  
PHASE 1A

DRAWING

SITE PLAN

DRAWN BY

RP

SCALE

1:250

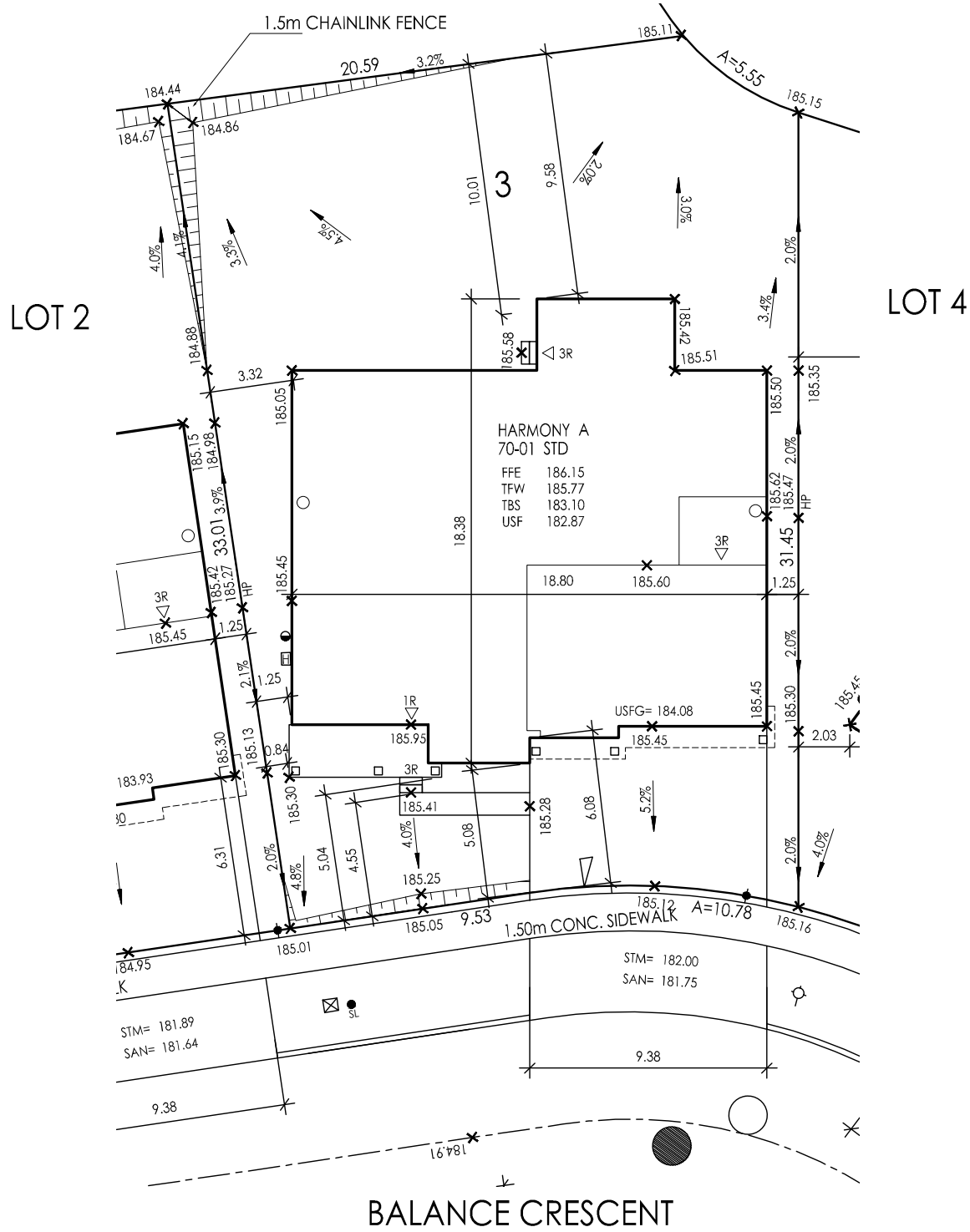
PROJECT No.

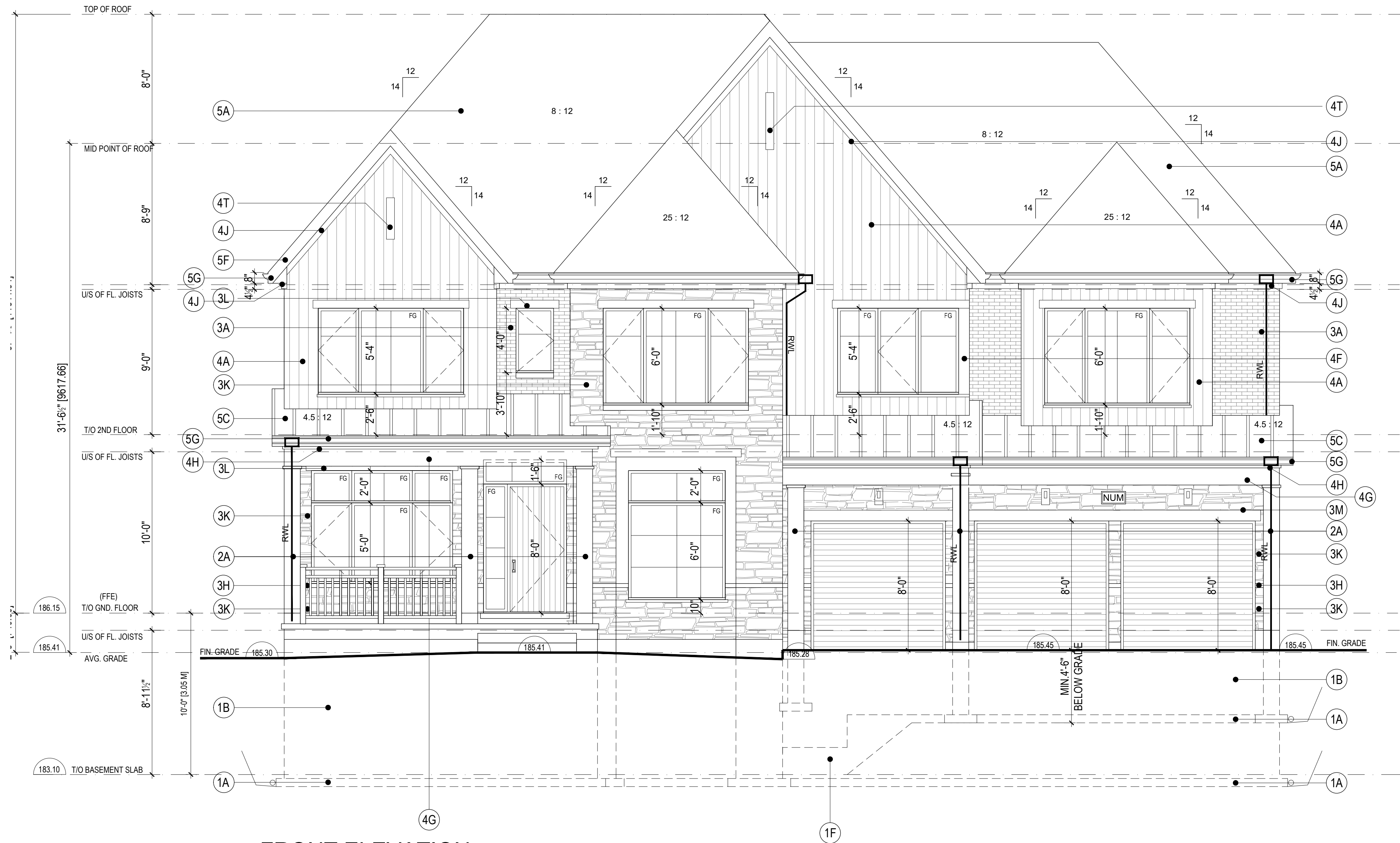
20011

LOT NUMBER

3

LOT 3									
MODEL	GARAGE DIM. W x L (m)	COVERAGE (m2)	LOT AREA (m2)	COVERAGE (%)	G.F.A. (m2)	LOT FRONTAGE (m)	LOT DEPTH (m)	AMENITY SPACE (m2)	BUILDING HEIGHT (m)
70-01 'A' STD	6.10 X 9.22	287.34	744.97	N/A	506.32	21.15	33.11	275.11	9.54





FRONT ELEVATION  
ELEVATION 'A'

SCALE 1/4"=1'-0"

FRONT ELEV				
ELEV. A:	EBF=	1022.63	SF =	95.00
	L/D=	5.08	M	
	U/O=	363.56	SF =	33.78
	U/O%	35.55	%	

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DO NOT SCALE DRAWINGS

CR	1	MARCH 27TH, 2025	ISSUED FOR PERMIT
no.	date	revision	

FOOTINGS & FOUNDATIONS	SIDING / STUCCO & TRIM FEATURES
(1A) POURED CONCRETE STEEP FOOTING	(4A) PREPARED FIBRE CONCRETE HORIZONTAL / VERTICAL SIDING
(1B) POURED CONCRETE FOUNDATION WALL	(4B) PREPARED FIBRE CEMENT PANEL CLADDING
(1C) PRECAST CONC. STEPS W/ALUMINUM TOE BOARD	(4C) 2" SIDING TRIM
(1D) GALVANIZED METAL AREAWAY DOWN TO WASTERS	(4D) 4" SIDING TRIM
(1E) POURED CONCRETE BILL	(4E) 6" SIDING TRIM
(1F) STEEPED FOOTING WALL 8'-0" MIN. 4'-0" BELOW GRADE	(4F) PREPARED METAL PANEL
	(4G) PREPARED METAL BOARD
	(4H) 2" ALUM. CLAD FREEZE BOARD
	(4J) 4" ALUM. CLAD FREEZE BOARD
	(4K) 4" ALUM. CLAD FREEZE BOARD
	(4L) STUCCO
	(4M) 4" STUCCO TRIM
	(4N) 6" STUCCO TRIM
	(4P) 8" STUCCO TRIM
	(4R) 4" STUCCO BILL (SLOPED)
	(4S) STUCCO NICHE DETAIL
	(4T) METAL NICHE DETAIL
	(4U) 1" ALUMINUM CLAD WOOD TRIM
MASONRY FEATURES	ROOFING
(3A) BRICK VENEER	(5A) ASPHALT SHINGLES
(3B) SOLID BRICK COURSE	(5B) PREPARED METAL ROOFING
(3C) SOLID BRICK COURSE W/ PRECAST KEYSTONE	(5C) PREPARED METAL ROOFING
(3D) SOLID BRICK COURSE W/ HOLLOW BLOCK W/ PRECAST KEYSTONE	(5D) PREPARED METAL ROOFING
(3E) STACED BRICK	(5E) 4" PREP. ALUMIN. FASCIA
(3F) ROWLOCK COURSE	(5F) 4" PREP. ALUMIN. FASCIA
(3G) TYPICAL BRICK COURSE 1.5 BRICK WIDE 1.5 COURSES HIGH	(5G) 4" PREP. ALUM. GAVESTHROUGH ON 4" PREP. ALUMIN. FASCIA
(3H) PRECAST CONCRETE BILL PROJECTED 2"	(5H) 12"x12" ROOF VENT. TYPICAL
(3I) BRICK DETAIL PROJECTED 12"	(5J) PREPARED METAL SCUPPER
(3K) STONE VENEER	
(3L) 6" HIGH MANUFACTURED STONE UNIT	
(3M) 6" HIGH MANUFACTURED STONE UNIT	
(3N) PRECAST CONCRETE / CUT STONE	

**gumb ARCHITECTURE**  
290 QUEEN STREET - UNIT 202, TORONTO, ON M5C 3L2 - (416) 252-5879

owner  
**KYLEMORE HOMES**  
10080 KENNEDY ROAD  
MARKHAM, ONTARIO  
L3C 1S1

project  
**ANGUS GLEN - SOUTH VILLAGE**  
MARKHAM, ONTARIO

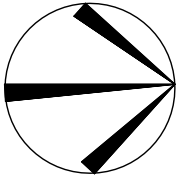
drawing  
**MODEL 70-1(A)(LOT 3)**  
FRONT ELEVATION  
ELEVATION 'A'

scale 1/4"=1'-0"  
date DEC 2021  
drawn CR  
chk'd BB  
project number 20.146

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No. \_\_\_\_\_  
ZONE \_\_\_\_\_




LOT 4

MODEL	GARAGE DIM. W x L (m)	COVERAGE (m2)	LOT AREA (m2)	COVERAGE (%)	G.F.A. (m2)	LOT FRONTAGE (m)	LOT DEPTH (m)	AMENITY SPACE (m2)	BUILDING HEIGHT (m)
70-01 'C' STD	6.10 x 9.22	292.95	941.77	N/A	482.91	22.43	31.45	398.22	9.61

LEGEND	
FFE FINISHED FLOOR ELEVATION	SP SUMP PUMP
TFW TOP OF FOUNDATION WALL	BP BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	CP CABLE PEDESTAL
USF UNDER SIDE FOOTING	CB CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	ENG ENGINEERED FILL
R NUMBER OF RISERS TO GRADE	HC HYDRO CONNECTION
WOD WALKOUT DECK	FD FIRE HYDRANT
LOB LOOKOUT BASEMENT	SL STREET LIGHT
WOB WALK OUT BASEMENT	MB MAIL BOX
WUB WALK UP BASEMENT	TR TRANSFORMER
REV REVERSE PLAN	SC SEWER CONNECTIONS 2 LOTS
STD STANDARD PLAN	SL SEWER CONNECTIONS 1 LOT
△ DOOR	WC WATER CONNECTION
○ WINDOW	WV WATER VALVE CHAMBER
AC AIR CONDITIONING	HV HYDRANT AND VALVE
DS DOWN SPOUT TO SPLASH PAD	HM HYDRO METER
DS DOWN SPOUT CONNECTED TO STM	GM GAS METER
SD SWALE DIRECTION	MS MANHOLE - STORM
SP SIGN POST	MS MANHOLE - SANITARY

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	24-AUG-23	RP	
2	ISSUED FINAL	30-OCT-23	RP	
3	REVISED PER ENG COMM	06-FEB-24	RP	
4	RE-SITE PER ELEV C	15-NOV-24	PP	
5	REV. PER PM'S COMMENT	26-NOV-24	PP	MSA
6	ISSUED FINAL	09-DEC-24	PP	MSA



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I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47245  
FIRM BCIN: 26995  
DATE:

SIGNATURE: \_\_\_\_\_

CLIENT

KYLEMORE HOMES

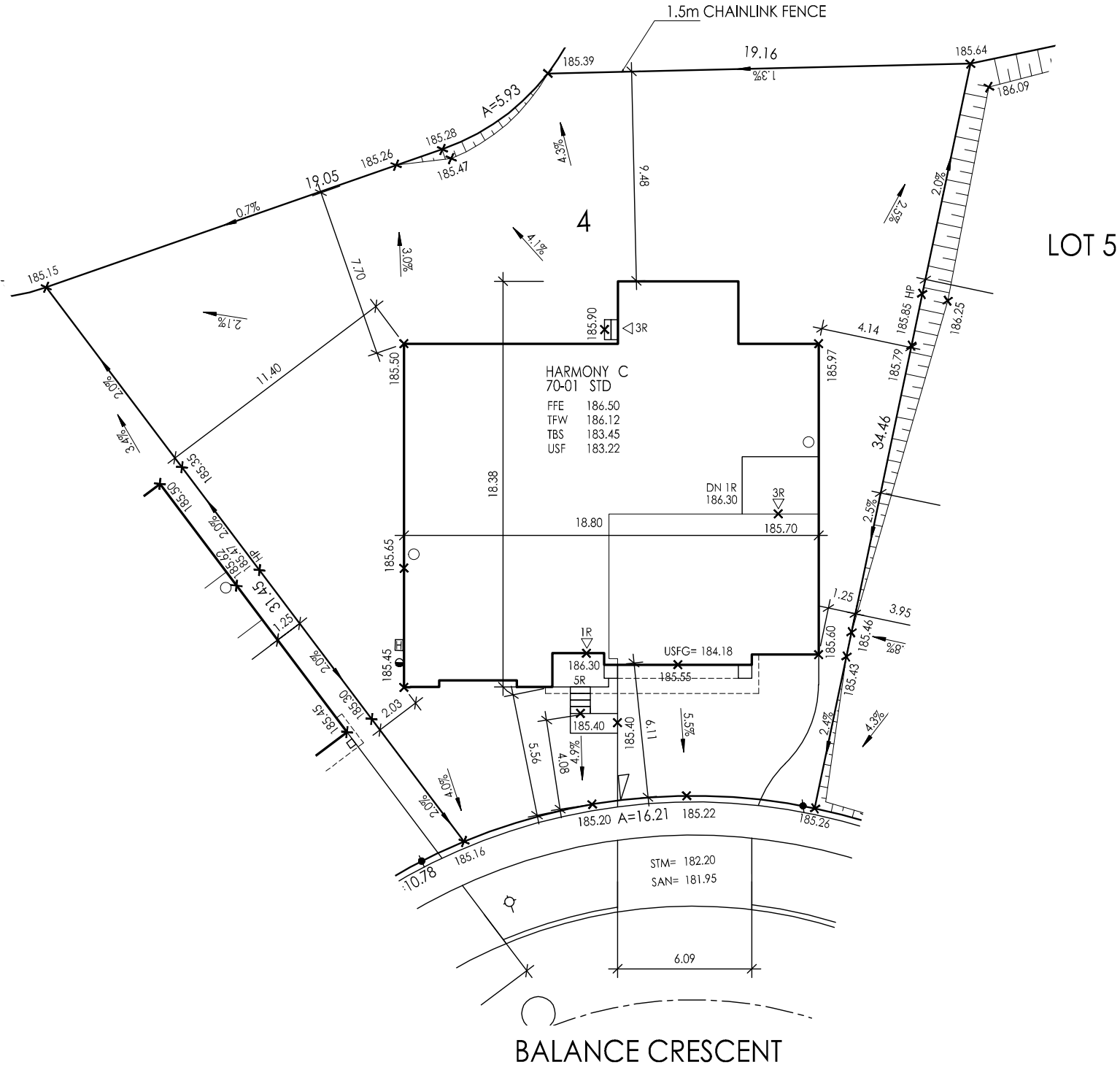
PROJECT/LOCATION

YORK DOWNS  
MARKHAM, ONTARIO  
PHASE 1A

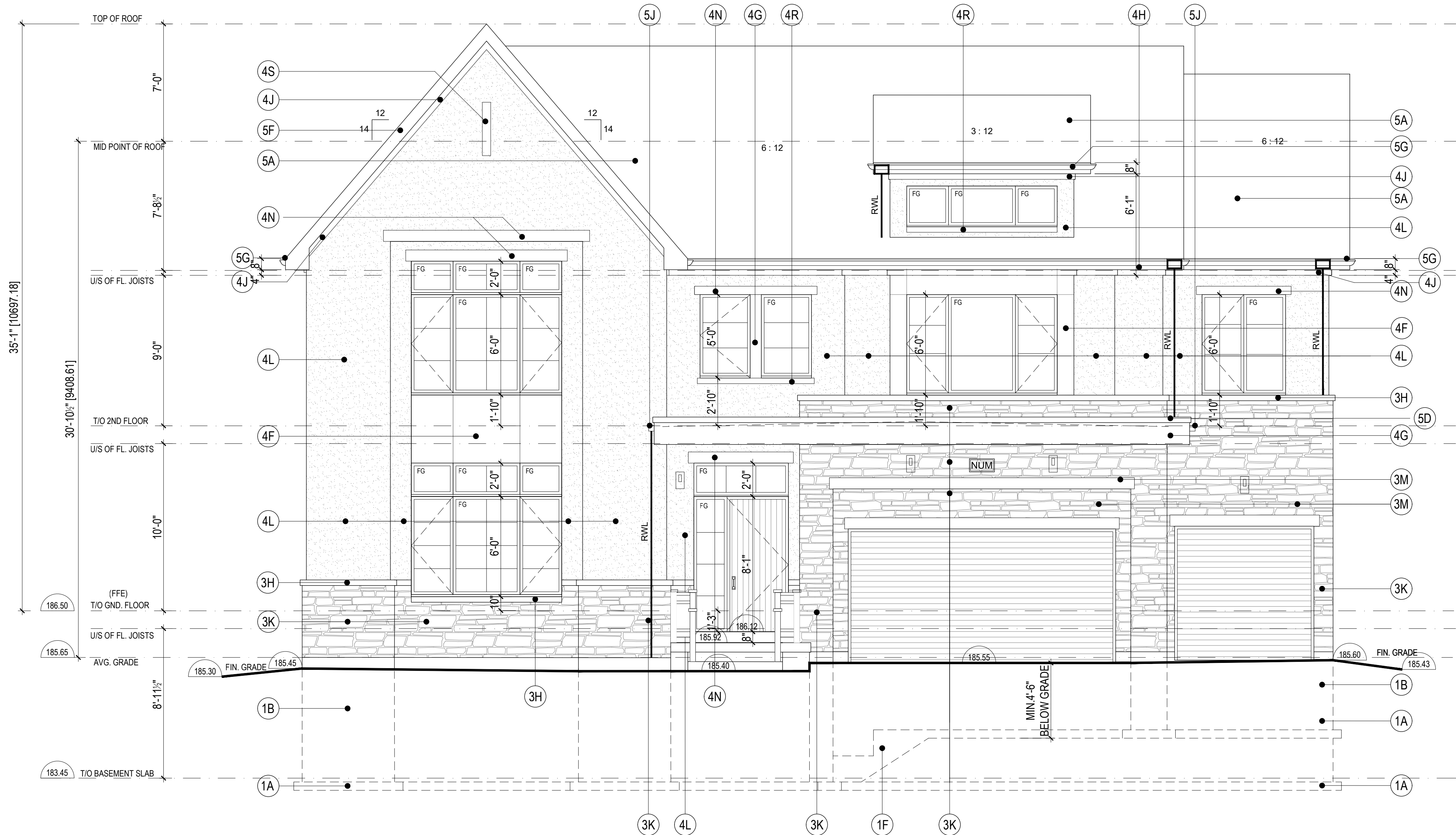
DRAWING

SITE PLAN

DRAWN BY	SCALE
RP	1:250
PROJECT No.	LOT NUMBER
20011	4







FRONT ELEVATION  
ELEVATION 'C'

SCALE 1/4"=1'-0"

FRONT ELEV				
ELEV. C:	EBF=	1116.46	SF =	103.72
	L/D=	5.56	M	
	U/O=	336.747	SF =	31.28
	U/O%	30.16	%	

- All drawings are the property of the Architect and must be returned upon request.  
Contractor shall check all dimensions and report any discrepancies to the Architect before proceeding with the work.  
The contractor and/or engineer shall verify u/s footing elevations and soil bearing capacity prior to excavation and the commencement of work.  
DO NOT SCALE DRAWINGS

AR	1	MARCH 26TH 2025	ISSUED FOR PERMIT
no.		date	revision

FOOTINGS & FOUNDATIONS	SIDING / STUCCO & TRIM FEATURES
(1A) POURED CONCRETE STRIP FOOTING	(4A) PREFINISHED FIBRE CEMENT HORIZONTAL / VERTICAL SIDING
(1B) POURED CONCRETE FOUNDATION WALL	(4B) PREFINISHED FIBRE CEMENT PANEL CLADDING
(1C) PRECAST CONC. STEPS / NUMBER TO SUIT GRADE	(4C) 2" SIDING TRIM
(1D) GALVANIZED METAL AREAWAY DRAIN TO WEEPERS	(4D) 1" SIDING TRIM
(1E) POURED CONCRETE SILL	(4E) 1" SIDING TRIM
(1F) STEPPED FOOTING MAX. RISE 24" MIN. RUN 24" MIN. 4'-0" BELOW GRADE	(4F) PREFINISHED METAL PANEL
	(4G) PREFINISHED METAL BOARD
	(4H) 2" ALUM. CLAD FRIEZE BOARD
	(4J) 1" ALUM. CLAD FRIEZE BOARD
	(4K) 6" ALUM. CLAD FRIEZE BOARD
	(4L) STUCCO
	(4M) 4" STUCCO TRIM
	(4N) 6" STUCCO TRIM
	(4P) 8" STUCCO TRIM
	(4R) 4" STUCCO SILL (SLOPED)
	(4S) STUCCO NICHE DETAIL
	(4T) METAL NICHE DETAIL
	(4U) 10" ALUMINUM CLAD WOOD TRIM
EXTERIOR FEATURES	ROOFING
(2A) POST WELDCLADDING	(5A) ASPHALT / SHINGLES
(2B) 12" PAINTED FIBERGLASS COLUMN C/W 1" BASE + CAPITAL	(5B) PREFINISHED METAL ROOFING (STANDING SEAM)
(2C) WOOD BRACKET	(5C) PREFINISHED METAL ROOFING (STANDING SEAM)
(2D) DECORATIVE VENT LOUVER	(5D) PREFINISHED METAL CAP FLASHING
(2E) DECORATIVE PREFINISHED ALUM. RAIL & PICKETS	(5E) 6" PREFIN. ALUMIN. FASCIA
(2F) P.T. WD RAILING	(5F) 6" PREFIN. ALUMIN. FASCIA
	(5G) 4" PREFIN. ALUM. EAVESTHROUGH ON 6" PREFIN. ALUMIN. FASCIA
	(5H) 10" WD VENT. TYPICAL
	(5J) PREFINISHED METAL SCUPPER
MASONRY FEATURES	
(3A) BRICK VENEER	
(3B) SOLDIER COURSE	
(3C) SOLDIER COURSE C/W PRECAST KEYSTONE	
(3D) SOLDIER COURSE W/ ROWLOCK ABOVE C/W PRECAST KEYSTONE	
(3E) STACKED BOND	
(3F) ROWLOCK COURSE	
(3G) TYPICAL BRICK COURSE: 13 BRICK WIDE 4 COURSES HIGH 1 BRICK COURSE SPACING PROJECTED 1" FROM BRICK FACE	
(3H) PRECAST CONCRETE SILL PROJECTED 2"	
(3J) BRICK DETAIL PROJECTED 12"	
(3K) STONE VENEER	
(3L) 8" HIGH MANUFACTURED STONE UNTEL	
(3M) 8" HIGH MANUFACTURED STONE UNTEL	
(3N) PRECAST CONCRETE / CUT STONE	

**gumb ARCHITECTURE**  
290 QUEEN STREET - UNIT 220, TORONTO, ON M5C 5L2 - T416) 252-5679

owner  
**KYLEMORE HOMES**  
10080 KENNEDY ROAD  
MARKHAM, ONTARIO  
L6C 19N

project  
**ANGUS GLEN - WEST VILLAGE**  
146 ANGUS GLEN BLVD  
MARKHAM, ONTARIO

drawing  
**MODEL 70-1 (C)(LOT 4)**  
FRONT ELEVATION

scale 1/4"=1'-0"  
date DEC 2021  
drawn CR  
chk'd BB  
project number 20.146

**A-5**

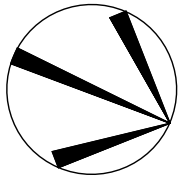


NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No. \_\_\_\_\_

ZONE \_\_\_\_\_



LEGEND

FFE FINISHED FLOOR ELEVATION

TFW TOP OF FOUNDATION WALL

TBS TOP OF BASEMENT SLAB

USF UNDER SIDE FOOTING

USFR UNDER SIDE FOOTING @ REAR

USFG UNDER SIDE FOOTING @ GARAGE

R NUMBER OF RISERS TO GRADE

WOD WALKOUT DECK

LOB LOOKOUT BASEMENT

WOB WALK OUT BASEMENT

WUB WALK UP BASEMENT

REV REVERSE PLAN

STD STANDARD PLAN

△ DOOR

○ WINDOW

AC AIR CONDITIONING

DOWN SPOUT TO SPLASH PAD

DOWN SPOUT CONNECTED TO STM

SWALE DIRECTION

● SIGN POST

SUMP PUMP

BELL PEDESTAL

CABLE PEDESTAL

CATCH BASIN

DBL. CATCH BASIN

ENGINEERED FILL

HYDRO CONNECTION

FIRE HYDRANT

STREET LIGHT

MAIL BOX

TRANSFORMER

SEWER CONNECTIONS 2 LOTS

SEWER CONNECTIONS 1 LOT

WATER CONNECTION

WATER VALVE CHAMBER

HYDRANT AND VALVE

HYDRO METER

GAS METER

MANHOLE - STORM

MANHOLE - SANITARY

—X— CHAINLINK FENCE

—XX— PRIVACY FENCE

—XXX— SOUND BARRIER

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	24-AUG-23	RP	
2	ISSUED FINAL	30-OCT-23	RP	
3	REVISED PER ENG COMM	06-FEB-24	RP	

RN

DESIGN

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T:905-738-3177

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QUALIFIED DESIGNER BCIN:

47245

FIRM BCIN:

26995

DATE:

SIGNATURE: \_\_\_\_\_

CLIENT

KYLEMORE HOMES

PROJECT/LOCATION

YORK DOWNS

MARKHAM, ONTARIO

PHASE 1A

DRAWING

SITE PLAN

DRAWN BY

RP

SCALE

1:250

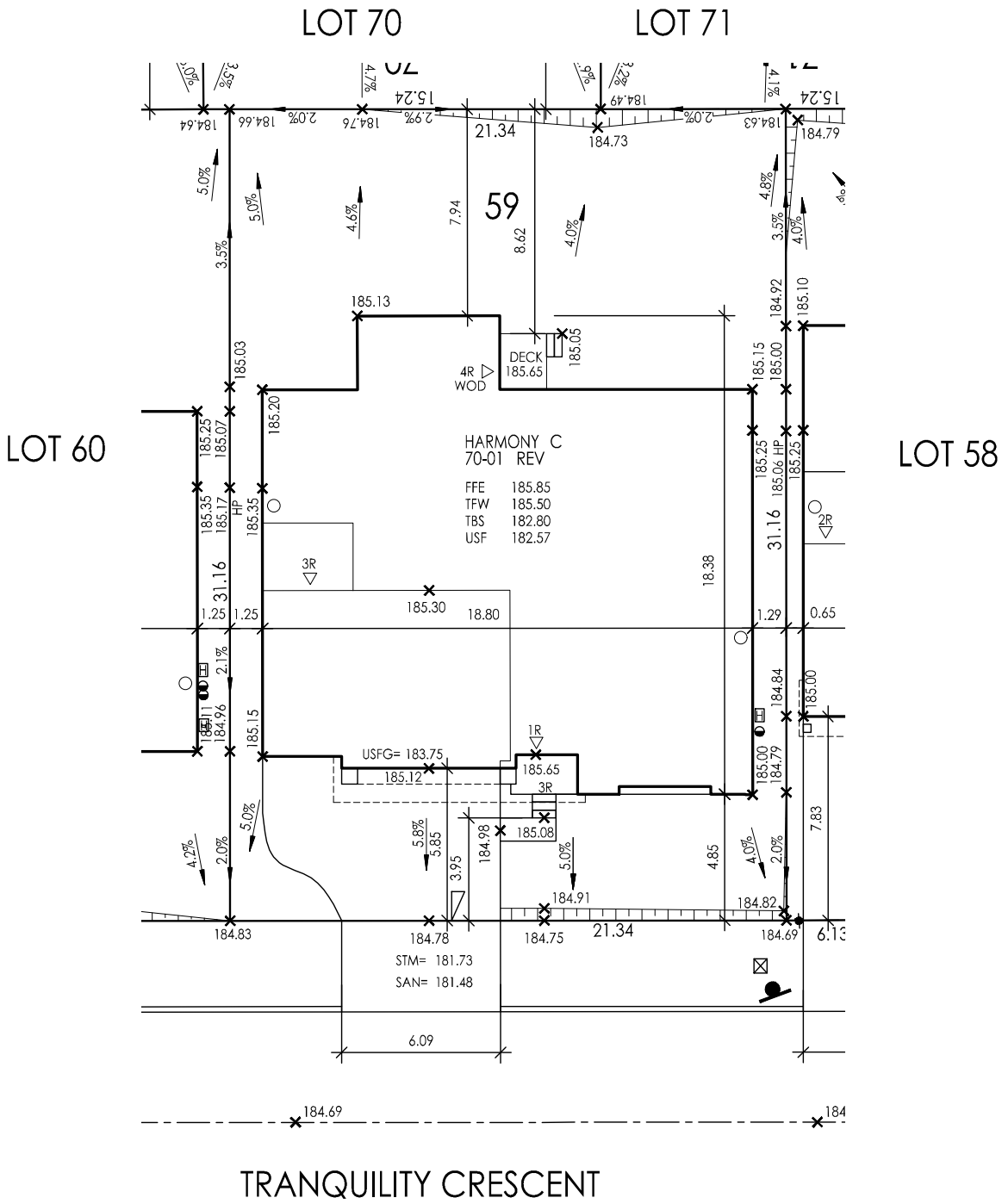
PROJECT No.

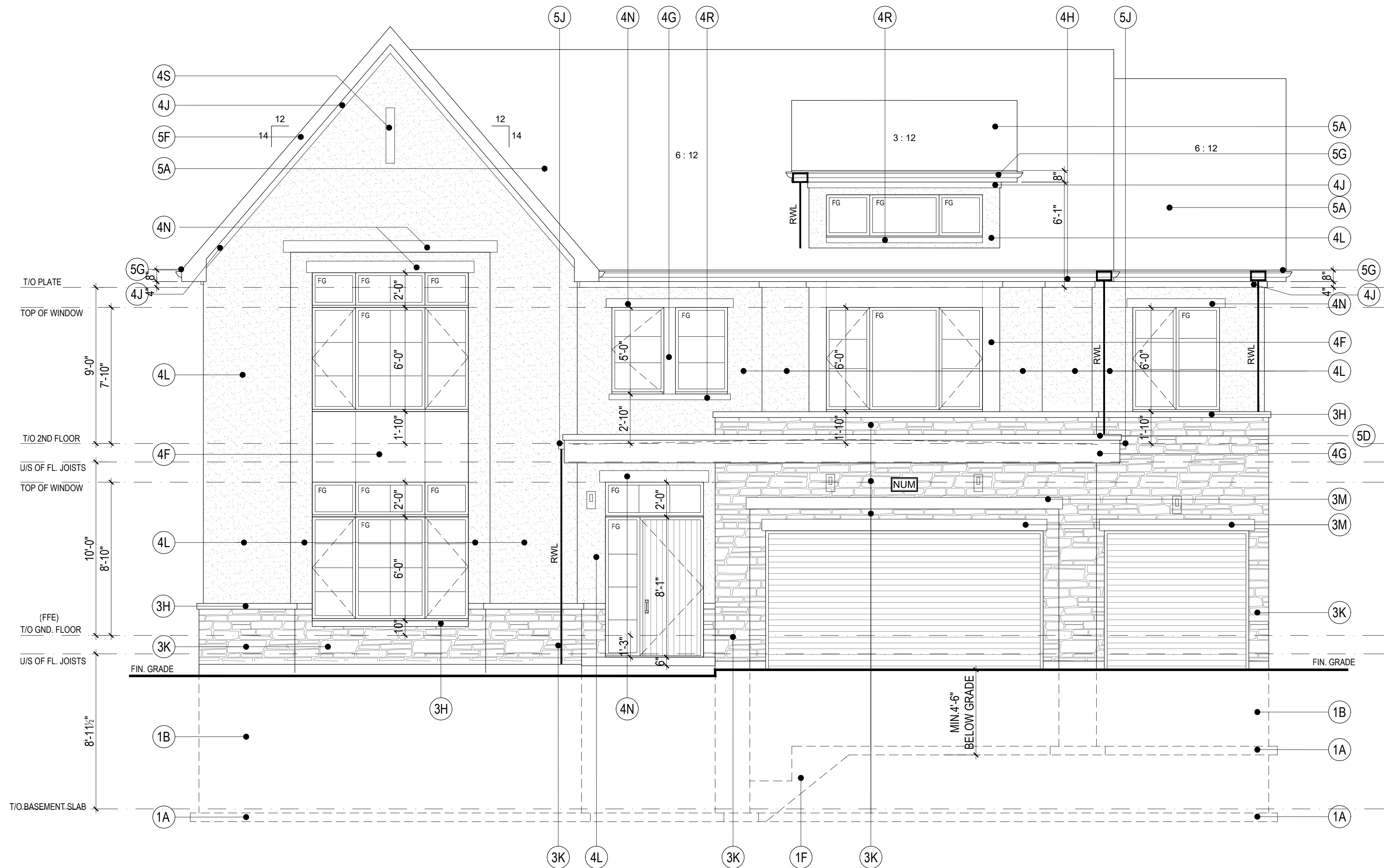
20011

LOT NUMBER

59

LOT 59									
MODEL	GARAGE DIM. W x L (m)	COVERAGE (m2)	LOT AREA (m2)	COVERAGE (%)	G.F.A. (m2)	LOT FRONTAGE (m)	LOT DEPTH (m)	AMENITY SPACE (m2)	BUILDING HEIGHT (m)
70-01 C	9.22 X 6.10	292.95	664.88	N/A	482.91	21.34	31.16	215.24	9.42





## FRONT ELEVATION ELEVATION 'C'

SCALE 1/4"=1'-0"

FOOTINGS & FOUNDATIONS	SIDING / STUCCO & TRIM FEATURES
(1A) POURED CONCRETE STRIP FOOTING	(4A) PREFINISHED FIBRE CEMENT HORIZONTAL / VERTICAL SIDING
(1B) POURED CONCRETE FOUNDATION WALL	(4B) PREFINISHED FIBRE CEMENT PANEL CLADDING
(1C) PRECAST CONC. STEPS / NUMBER TO SUIT GRADE	(4C) 2" SIDING TRIM
(1D) GALVANIZED METAL AREAWAY DRAIN TO WEEDERS	(4D) 4" SIDING TRIM
(1E) POURED CONCRETE SILL	(4E) 1" SIDING TRIM
(1F) STEPPED FOOTING MAX. RISE 24" MIN. RUN 24" MIN. 4'-0" BELOW GRADE	(4F) PREFINISHED METAL
	(4G) PREFINISHED METAL
	(4H) 2" ALUM. CLAD FRIEZE BOARD
	(4J) 4" ALUM. CLAD FRIEZE BOARD
	(4K) 6" ALUM. CLAD FRIEZE BOARD
	(4L) STUCCO
	(4M) 4" STUCCO TRIM
	(4N) 6" STUCCO TRIM
	(4P) 8" STUCCO TRIM
	(4R) 4" STUCCO SILL (SLOPED)
	(4S) STUCCO NICHE DETAIL
	(4T) METAL NICHE DETAIL
	(4U) 10" ALUMINUM CLAD WOOD TRIM
MASONRY FEATURES	ROOFING
(3A) BRICK VENEER	(5A) ASPHALT SHINGLES
(3B) SOLDIER COURSE	(5B) PREFINISHED METAL ROOFING
(3C) SOLDIER COURSE C/W PRECAST KEYSTONE	(5C) PREFINISHED METAL ROOFING STANDING SEAM
(3D) SOLDIER COURSE W/ ROWLOCK ABOVE C/W PRECAST KEYSTONE	(5D) PREFINISHED METAL CAP FLASHING
(3E) STACKED BOND	(5E) 8" PREFIN. ALUMIN. FASCIA
(3F) ROWLOCK COURSE	(5F) 8" PREFIN. ALUMIN. FASCIA
(3G) TYPICAL BRICK GLAZING: 13 BRICK WIDE 4 COURSES HIGH 1 BRICK COURSE SPACING PROJECTED 1" FROM BRICK FACE	(5G) 4" PREFIN. ALUMIN. EAVESTHROUGH ON 8" PREFIN. ALUMIN. FASCIA
(3H) PRECAST CONCRETE SILL PROJECTED 12"	(5H) 10" W/ 10" ROOF VENT. TYPICAL
(3J) BRICK DETAIL PROJECTED 12"	(5I) PREFINISHED METAL SCUPPER
(3K) STONE VENEER	
(3L) 8" HIGH MANUFACTURED STONE UNTEL	
(3M) 8" HIGH MANUFACTURED STONE UNTEL	
(3N) PRECAST CONCRETE / CUT STONE	

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no.	date	revision
CR 8	JUL 12, 2024	ISSUED FOR PERMIT COORDINATION
CR 7	JUN 05, 2024	ISSUED FOR PERMIT COORDINATION
CR 6	JUN 04, 2024	ISSUED FOR COORDINATION
CR 5	MAY 02, 2024	ISSUED FOR COORDINATION
CR 4	FEB 26, 2024	ISSUED FOR COORDINATION
CR 3	FEB 07, 2024	ISSUED FOR COORDINATION
CR 2	NOV 07, 2023	ISSUED FOR COORDINATION
CR 1	FEB 06, 2022	ISSUED FOR COORDINATION

770 BROWN'S LINE, TORONTO, ON M5W 3V2 • T416) 252-5679 • F416) 252-9637

owner

**KYLEMORE HOMES**  
10080 KENNEDY ROAD  
MARKHAM, ONTARIO  
L6C 19N

project

**ANGUS GLEN - WEST VILLAGE**  
146 ANGUS GLEN BLVD  
MARKHAM, ONTARIO

drawing

**MODEL 70-1C (LOT 59)**  
FRONT ELEVATION

scale 1/4"=1'-0"

date DEC 2021

drawn CR

chk'd BB

project number 20.146

A-7