

Memorandum to the City of Markham Committee of Adjustment

August 27, 2025

File: A/091/25
Address: 16 Summerfeldt Crescent, Markham
Agent: Four Seasons Sunrooms (Nour Elgendy)
Hearing Date: Wednesday, September 10, 2025

The following comments are provided on behalf of the Central Team:

The Applicant is requesting relief from the following requirements of the “Residential – Established Neighbourhood Low Rise (RES-ENLR)” Zone in By-law 2024-19, as amended, to permit:

- a) **By-law 2024-19, Section 6.3.2 I)**: a minimum interior side yard setback of 1.50 metres, whereas the by-law requires a minimum interior side yard setback of 1.80 metres; and
- b) **By-law 2024-19, Section 6.3.2.I)**: a minimum combined interior side yard setback of 3.33 metres, whereas the by-law requires a minimum combined interior side yard setback of 4.0 metres;

as it relates to a proposed single storey rear sunroom addition.

BACKGROUND

Property Description

The 580.37 m² (6,247.05 ft²) subject lands are located on the west side of Summerfeldt Crescent, and generally north of Carlton Road and west of Village Parkway (the “Subject Lands”) (refer to Appendix “A” – Aerial Photo). The Subject Lands are located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. The surrounding area is undergoing a transition with newer dwellings being developed as infill developments.

There is an existing single detached dwelling on the property, which according to assessment records was constructed in 1973.

Proposal

The Applicant is proposing to construct a rear 217.24 m² (2,338.35 ft²) sunroom addition (the “Proposed Development”) (refer to Appendix “B” – Plans).

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and updated on July 17, 2024)

The Official Plan designates the Subject Lands as “Residential Low Rise”, which permits low-rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official Plan outlines infill development criteria for the “Residential Low Rise”

designation with respect to height, massing, and setbacks. These criteria are established to ensure that infill developments are appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street, while accommodating a diversity of building styles. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, development is required to meet the general intent of the above noted development criteria. In addition, regard shall be had for the retention of existing trees and vegetation. Planning Staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

Zoning By-law 2024-19

The Subject Lands are zoned “Residential – Established Neighbourhood Low Rise” (RES-ENLR) under By-law 2024-19, as amended, which permits one single detached dwelling per lot.

Zoning Preliminary Review (ZPR) Undertaken

The Owner has completed a Zoning Preliminary Review (ZPR) on May 29, 2025 to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Reduced Interior Side Yard Setback

The Applicant is requesting a minimum interior side yard setback of 1.50 m (4.92 ft) whereas the By-law requires a minimum interior side yard setback of 1.80 m (5.90 ft) and a minimum combined side yard setback of 3.33 m (10.92 ft) whereas the By-law requires 4.00 m (13.12 ft). This represents a decrease of 0.30 m (0.98 ft), and 0.67 m (2.20 ft) respectively.

The two variances are related to the southern portion of the Proposed Development which is setback 1.50 m (4.92 ft) from the south (interior) side property line, whereas the existing dwelling is setback 1.94 m (6.36 ft). This results in a Proposed Development with a 0.43 m (1.42 ft) projection beyond the southerly wall of the existing dwelling. However, Staff note that this neighbourhood is characterized by dwellings with side yard setbacks ranging between 1.22 m (4.00 ft) to 1.83 m (6.00 ft). As such, Staff are of the opinion that the requested variances are minor in nature and will not have a marked impact to adjacent properties or to the character of the neighbourhood.

PUBLIC INPUT SUMMARY

No written submissions were received as of September 2, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



Brendan Chiu, Planner I, Central District

REVIEWED BY:



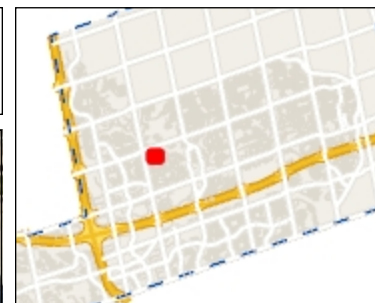
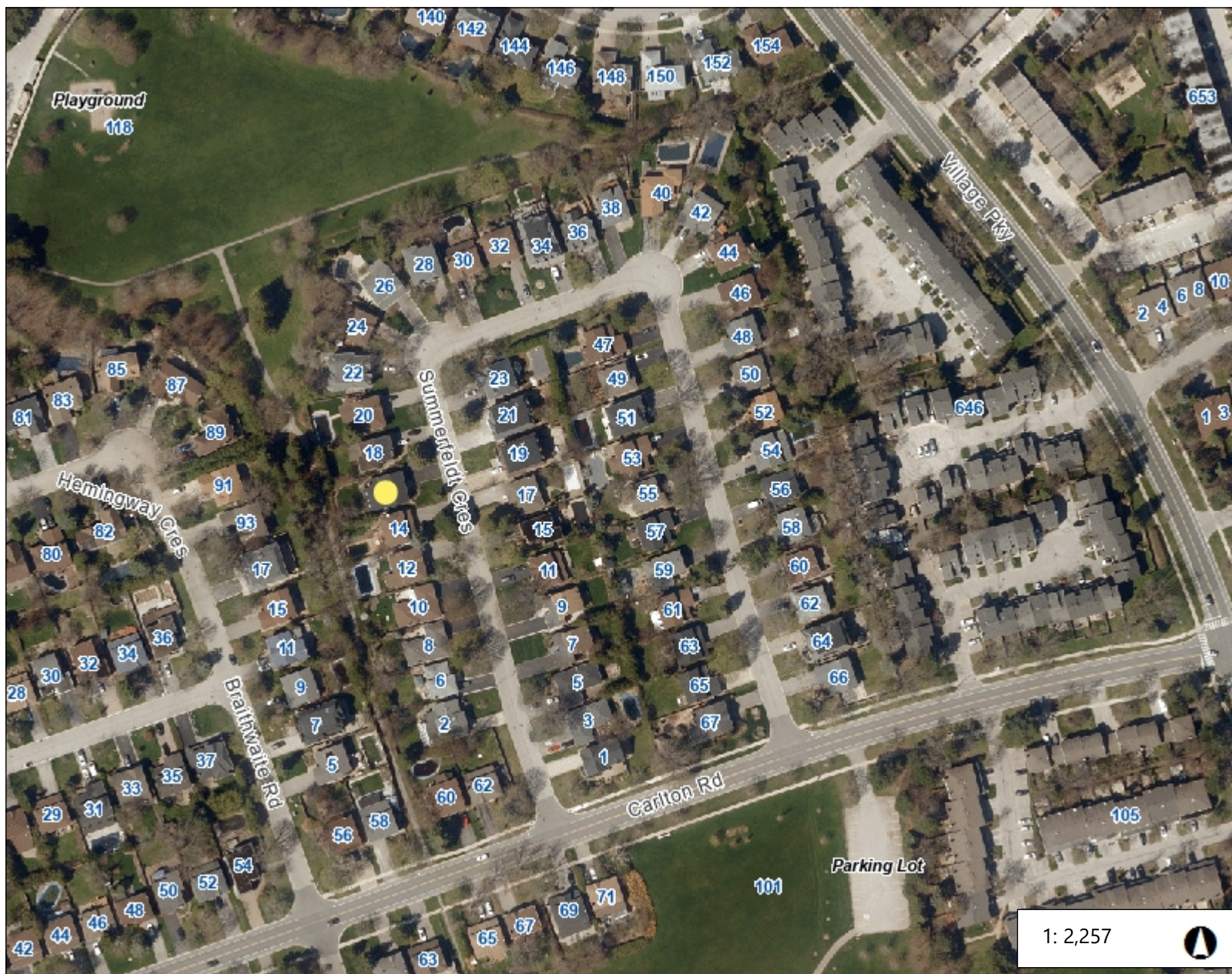
Melissa Leung, RPP MCIP, Senior Planner, Central District

APPENDICES

Appendix "A" – Aerial Photo

Appendix "B" – Plans

Appendix "C" – A/091/25 Conditions of Approval



Legend

- Subject Lands
- 16 Summerfeldt Crescent

1: 2,257



Notes

114.7 0 57.33 114.7 Meters

NAD_1983_UTM_Zone_17N
© City of Markham

DISCLAIMER: The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email cgis@markham.ca and you will be directed to the appropriate department.

Appendix B

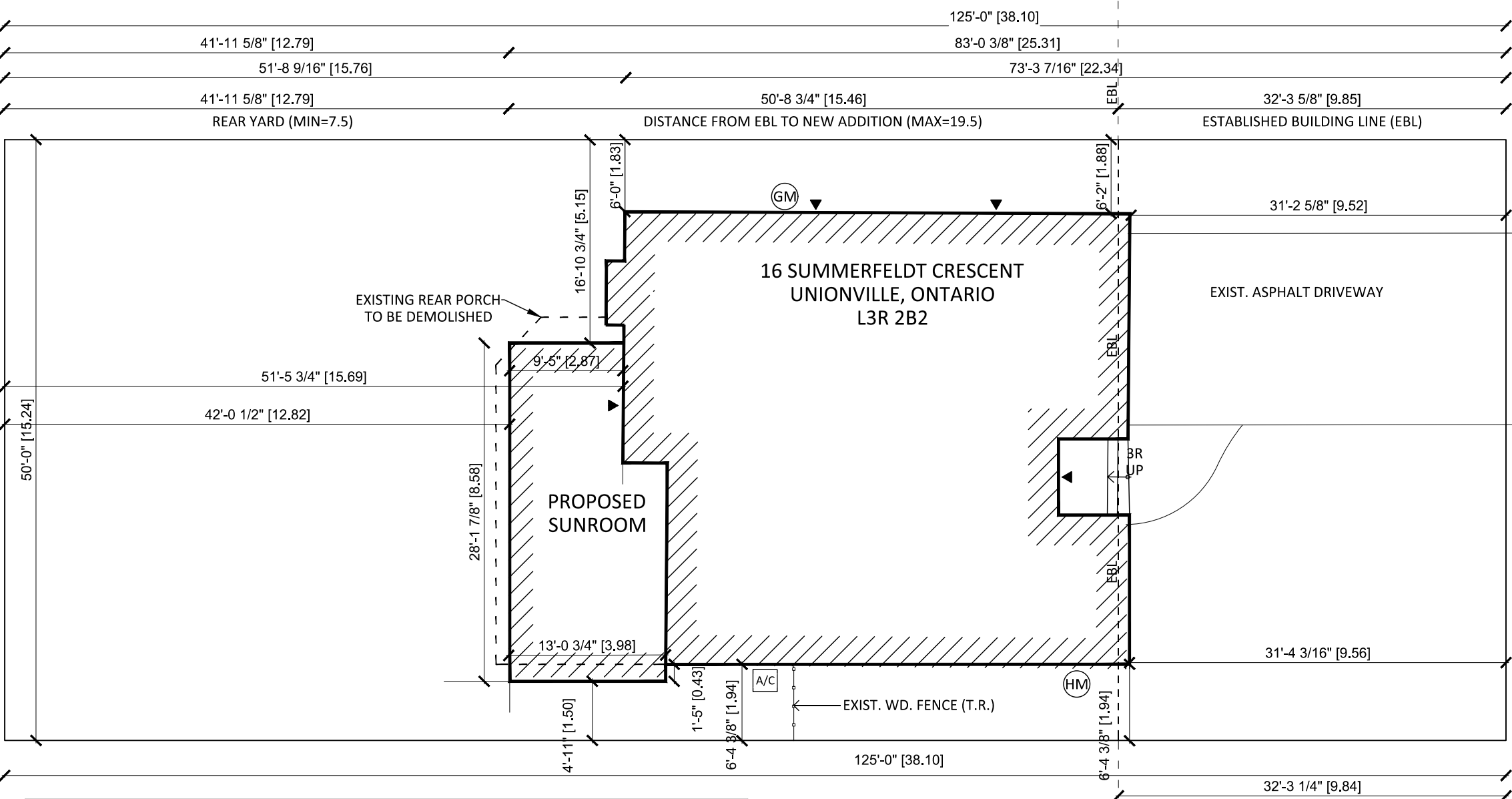
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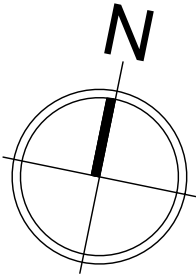
Date:

9/3/2025

MM/DD/YYYY



SITE STATISTICS (RES-ENLR)		
	REQUIRED / PERMITTED	PROVIDED
LOT AREA		LOT = 6250.00 Sq. Ft. / 580.64 Sq. M.
LOT COVERAGE (MAX)	35%	EXISTING DWELLING = 1526.80 Sq. Ft. / 141.85 Sq. M. = 24.42% PROPOSED ADDITION = 331.0 Sq. Ft. / 30.76 Sq. M = 5.3% PROPOSED COVERAGE = 1857.80 Sq. Ft. / 172.60 Sq. M = 29.72%
MAIN BUILDING COVERAGE (MAX)	30%	EXISTING DWELLING = 1526.80 Sq. Ft. / 141.85 Sq. M. = 24.42% PROPOSED ADDITION = 331.0 Sq. Ft. / 30.76 Sq. M = 5.3% PROPOSED COVERAGE = 1857.80 Sq. Ft. / 172.60 Sq. M = 29.72%
FRONT YARD SETBACK (MIN)	The average front yard setback of the neighbouring lots	AS LEGALLY EXISTED
SIDE YARD SETBACK (MIN)	1.8M	1.50 M
REAR YARD SETBACK (MIN)	7.5M	12.82M
HEIGHT (MAX)	7.0M	AS LEGALLY EXISTED +/- (GRADE TO RIDGE)



Site Plan

Appendix B

File:

25.10705.000-000000

Date:

9/3/2025

MM/DD/YYYY

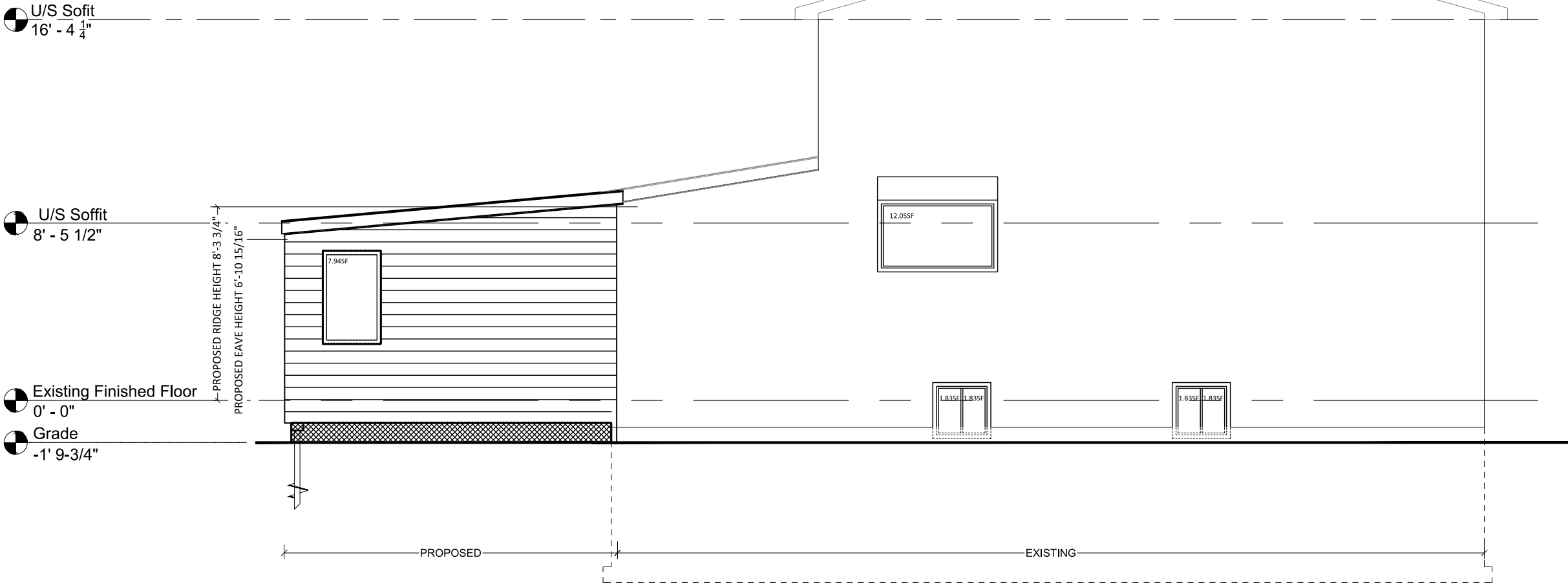
GLAZED OPENING
CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

South Elevation			
#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
3	Existing		19.37
1	New		7.94

Spatial Calculations			
Exposing Building Face	831.22	S.F.	
	77.22	S.M.	

Portion Wall Area
 $77.22 \times 0.08 \text{ (O.B.C.)} = 6.176 \text{ S.M.}$
Limiting Distance 1.62m
Max. % Openings 8%
Openings Allowed 6.176S.M./66.49SQ/FT
Openings Provided 2.53S.M./27.31SQ/FT



Proposed South Elevation

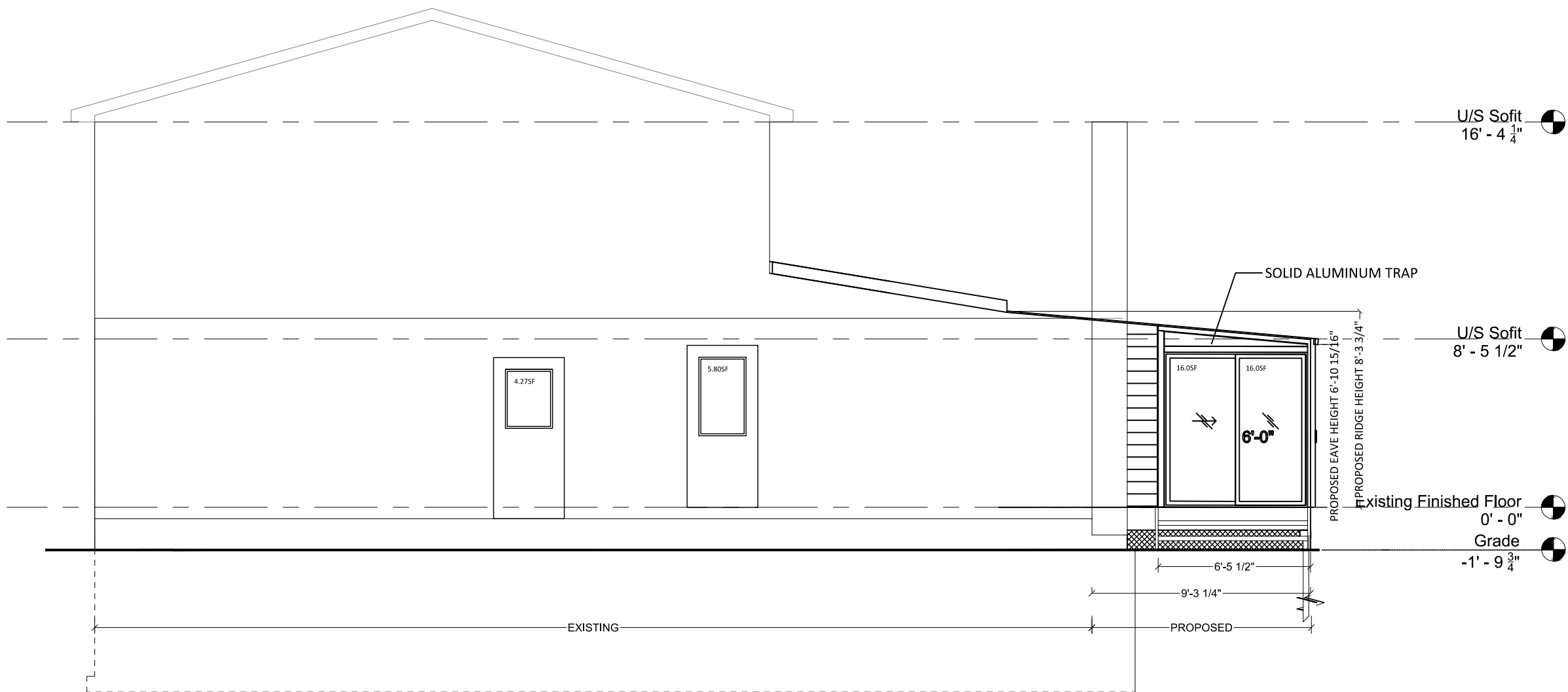
GLAZED OPENING
CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

North Elevation			
#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F)
2	Existing		10.07
1	New		32.00

Spatial Calculations			
Exposing Building Face	814.29	S.F.	
	69.27	S.M.	

Portion Wall Area
 $69.27 \times 0.08 \text{ (O.B.C.)} = 5.54 \text{ S.M.}$
Limiting Distance 1.8m
Max. % Openings 8%
Openings Allowed 5.54S.M./59.63SQ/FT
Openings Provided 3.90S.M./42.07SQ/FT



Proposed North Elevation

GLAZED OPENING
CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

West Elevation

#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F)
3	Existing		23.43
8	New		154.15

Spatial Calculations

Exposing Building Face	685.79 63.71	S.F. S.M.
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Portion Wall Area
63.71 x 0.57 (O.B.C.) = 36.31 S.M.

Limiting Distance 6.73m

Max. % Openings 57%

Openings Allowed 36.31S.M./390.84SQ/FT

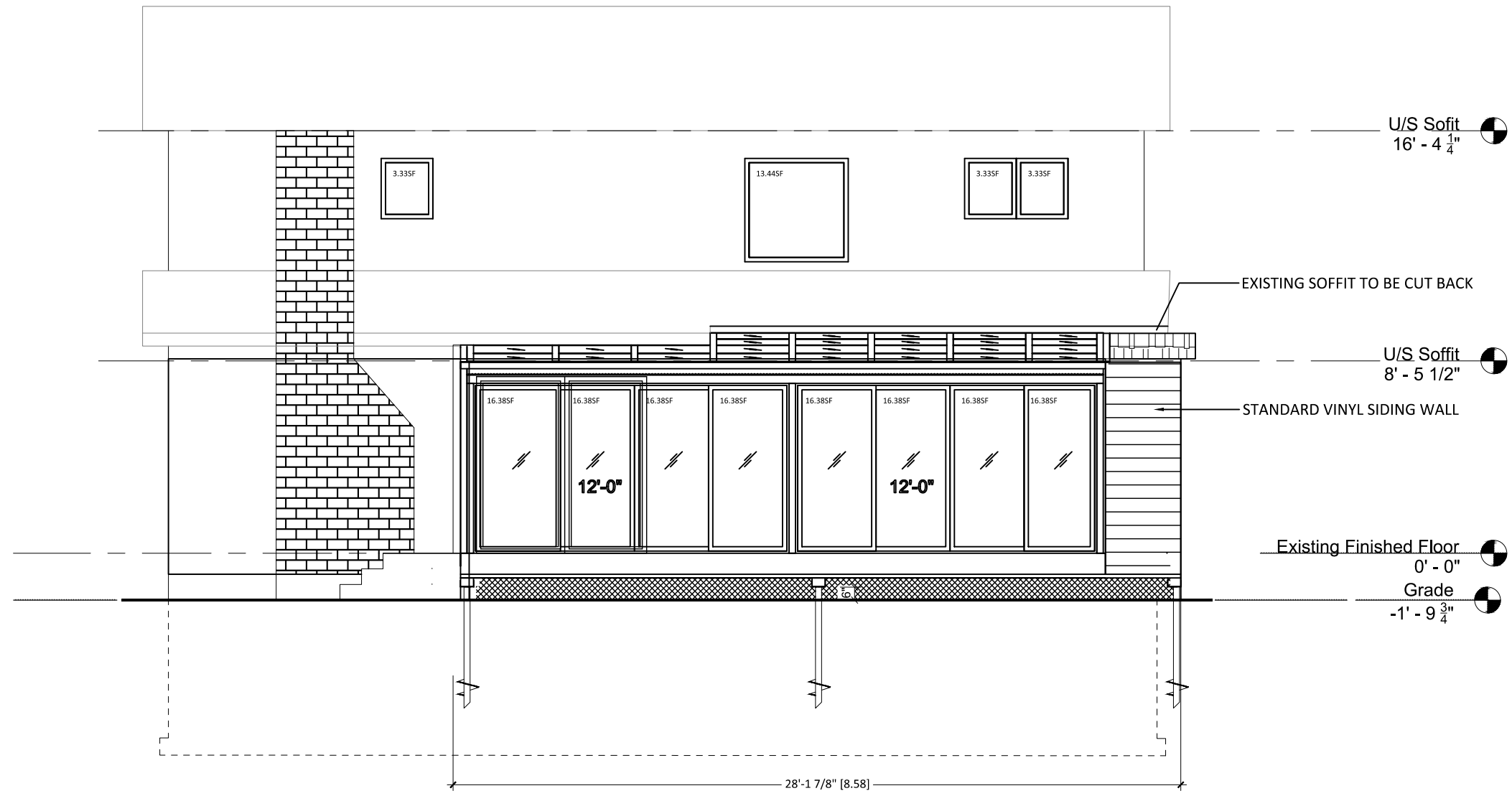
Openings Provided 16.52S.M./177.85SQ/FT

Appendix B

File: 24-10705-000-0000

Date: 9/3/2025

MM/DD/YYYY



Proposed West Elevation

Customer Approval:

Date:

Internal Approval:

Date:

Project Name
Mandeep & Hema Bhullar
16 Summerfeldt Cresnet

Scale
3/16" = 1'-0"

Date
12/06/2024

Revision #
--

Revision Date
--

Sheet No.

A-10

APPENDIX “C”

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/091/25

1. The variances apply only to the Proposed Development as long as it remains;
2. That the variances apply only to the Proposed Development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction;

CONDITIONS PREPARED BY:



Brendan Chiu, Planner I, Central District