

ZONE : RES- ENLR- RESIDENTIAL NEIGHBORHOOD LOW RISE
UNDER BY-LAW 2024-19 AS AMENDED

LOT AREA =	1393.54 m2 (15000 S.F.)
LOT DIMENSIONS	30.48m x 45.72m (100ft x150ft)

REQUIREMENTS	ZONING BY-LAW	PROPOSED
COVERAGE		
GROUND FLOOR	4500 SQ.FT = 30 %	284.56 m2 =3063 SQ.FT = 20.38 %
SECOND FLOOR	3000 SQ.FT = 20 %	284.56 m2 = 3063 SQ.FT = 20.38 %
MAIN FLOOR HEIGHT	1.20 M (ABOVE ESTABLISHED GRADE)	0.62 M (ABOVE ESTABLISHED GRADE)
FRONT SETBACK	SETBACK OF 39 LAURELEAF ROAD 19.68 M.	15.21 M.
REAR SETBACK	25 % OF LOT DEPTH (11.43 M)	13.1 M
MAX. BUILDING HEIGHT	10 M	10.12 M
MAX. WALL HEIGHT	7 M	7.16 M
SIDES SETBACK (NORTH)	5.4 M	5.4
SIDES SETBACK (SOUTH)	2 M	1.80 M
DRIVE WAY AREA		42 % =205 M2
FRONT LANDSCAPED AREA		58 % = 340 M2

FLOORS	COVERAGE WITH GARAGE	EXCLUDING GARAGE
GROUND FLOOR	284.56M2 = 3063 SQ.FT	280.2= 3017 SQ.FT
SECOND FLOOR	284.56M2 = 3063 SQ.FT	
TOTAL GR. & 2ND. FL.	569.12M2= 6126 SQ.FT.	

BASEMENT FLOOR	305M2 = 3282 S.F.	
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REQUESTED VARIANCES TO THE ZONE : RES- ENLR- RESIDENTIAL
NEIGHBORHOOD LOW RISE UNDER BY-LAW 2024-19 AS AMENDED

AS PER (25.129475.000.00.ZPR) LIST Date : 9/16/2025

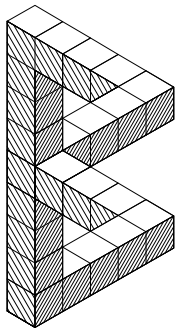
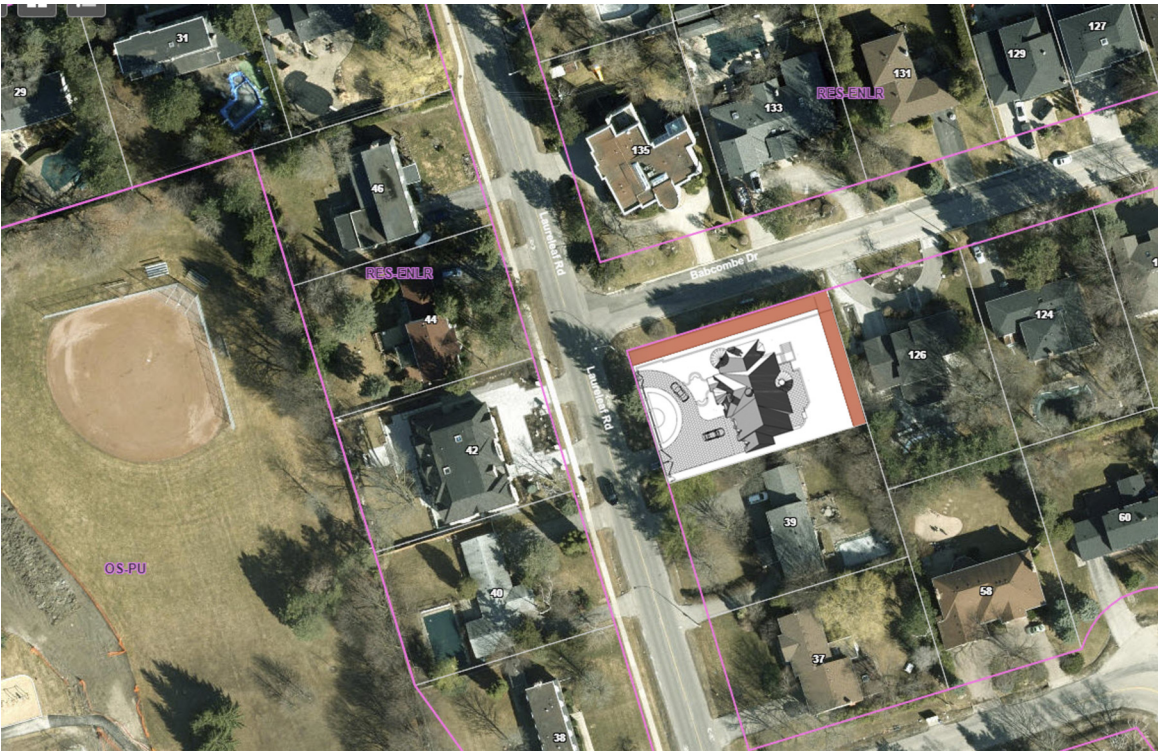
MAX. BUILDING COVERAGE	★ ① AS PER BY-LAW 2024-19 SPECIAL STANDARD (XIV) COMBINED MAIN BUILDING COVERAGE TO PERMIT A COMBINED MAIN BUILDING COVERAGE IS 500 M2 PROPOSED COMBINED BUILDING COVERAGE IS 569.12 M2
MIN FRONT YARD SETBACK	★ ② AS PER BY-LAW 2024-19; 6.3.2.2.f) MINIMUM FRONT YARD SETBACK IS AVERAGE FRONT SETBACK OF NEIGHBORING LOTS,19.68 M. (CORNER LOT) PROPOSED MINIMUM FRONT SETBACK IS 15.21 M
MAX. SECOND FLOOR COVERAGE	★ ③ AS PER AS PER BY- LAW 2024-19; SECTION 6.3.2.2 c)MAXIMUM SECOND FLOOR COVERAGE IS 20 % OF LOT AREA = 278.7 M2 PROPOSED SECOND FLOOR COVERAGE IS 284.56 M2 = 20.38% OF LOT AREA
MAXIMUM MAIN WALL HEIGHT	★ ④ AS PER ZONING BY- LAW 2024-19; SECTION 6.3.2.2 J)-MAXIMUM OUTSIDE WALL HEIGHT TO PERMIT AN OUTSIDE WALL HEIGHT 7 METERS PROPOSED MAXIMUM OUTSIDE WALL IS 7.16METERS
COMBINES SIDE YARDS SETBACKS	★ ⑤ AS PER ZONING BY- LAW 2024-19; SECTION 6.3.2.2 I)-MINIMUM INTERIOR YARDS TO PERMIT COMBINED INTERIOR SIDE YARD IS 25% OF LOT FRONTAGE, 7.62 METERS PROPOSED MAXIMUM OUTSIDE WALL IS 7.4 METERS (5.4 M+2M)
STAIR TO ACCESS A PROCH	★ ⑥ AS PER BY LAW 2024-19; SECTION4.8.10.2d9(iv) ENCROACHMENTS OF PORCH INTO REQUIRED YARDS, STAIR TO ACCESS A PORCH MAX. 0.45 M., PROPOSED STAIR WITH 3 RISERS PROJECTS 0.60 M BEYOND PERMITTED PORCH

41 Laureleaf Road
LOT 6
REGISTERED PLAN M-896
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK

AUGUST, 2025

List of Drawings

A201- Cover-Sheet	COVER SHEET
SS-1- Topo-Survey	EXISTING TOPOGRAPHIC SURVEY PLAN
NEW SS-1- Aerial-Photo	SITE PHOTO SHOWING FRONT SETBACKS
A201- Site-Plan	PROPOSED SITE PLAN
A201- Landscaping-Ratio	FRONT & REAR LANDSCAPING RATIO PLAN
A201- Basement-Floor-Plan	BASEMENT FLOOR PLAN
A201- Ground-Floor-Plan	GROUND FLOOR PLAN
A201- Second-Floor-Plan	SECOND FLOOR PLAN
A201- Second-Floor-Openings	SECOND FLOOR OPENINGS PLAN
A201- Roof-Plan	ROOF PLAN
A201- Front-Elevation	FRONT ELEVATION (LAURELEAF RD.)
A201- Rear-Elevation	REAR ELEVATION
A201- North-Elevation	NORTH ELEVATIONS (BOMBCOMBE RD.)
A201- South-Elevation	SOUTH ELEVATION (INTERIOR SIDE)

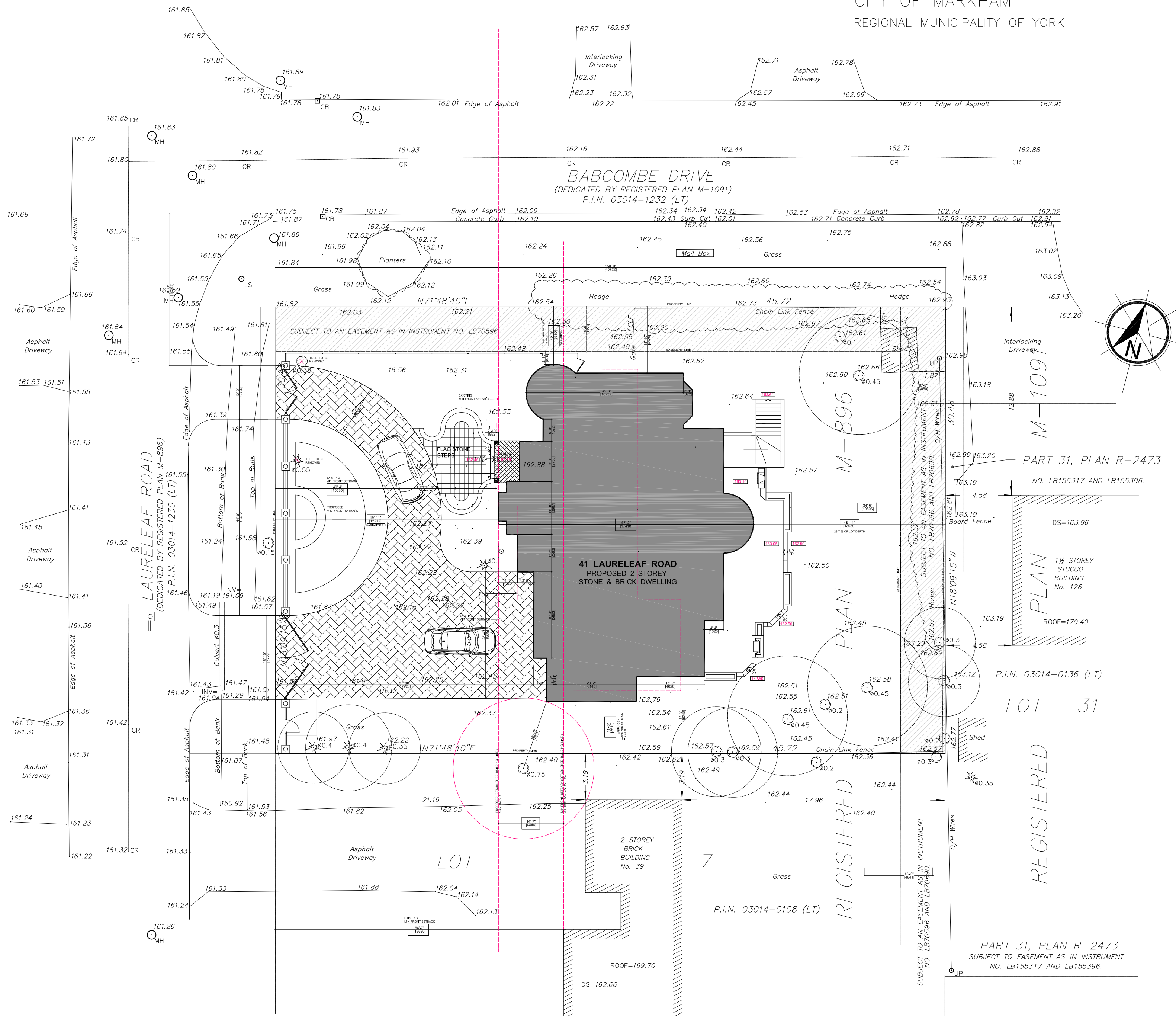


Bijan HOMES Ltd.

DESIGN / BUILD

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Toronto, ON, M4N 1B2
Phone : (416) 627- 6175
Fax : (416) 485- 2109
Email : bj4mj@yahoo.com

LOT 6
REGISTERED PLAN M-896
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK



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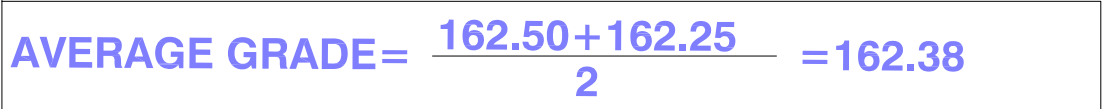
PROJECT TITLE

**41 LAURELEAF RD.
CITY OF MARKHAM**

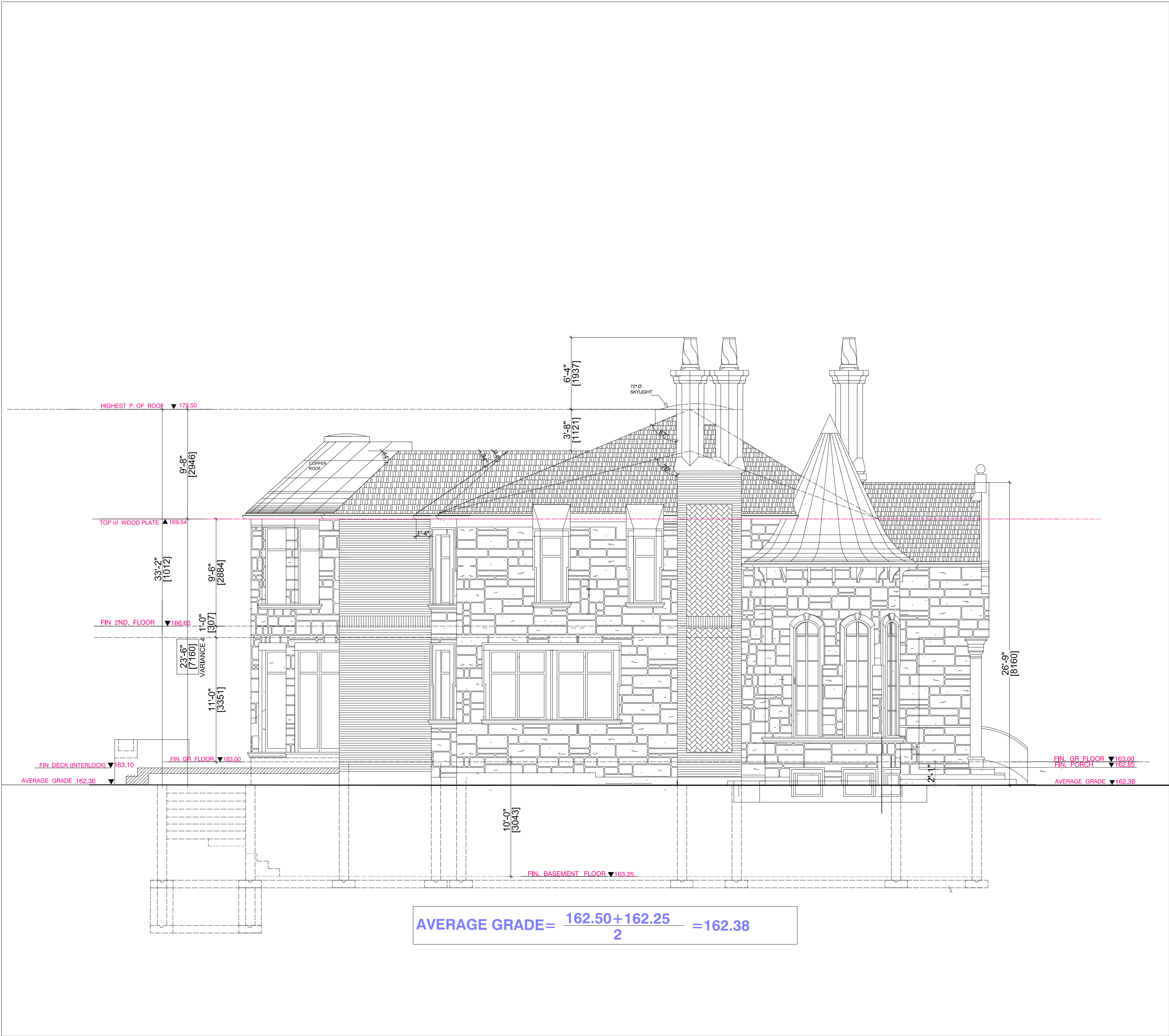
DWG. TITLE

PROPOSED SITE PLAN

DESIGN	B.J.	DWG. NO. A201-Site-Plan
DRAWN	M.C.	
DATE	JUNE 2025	
CHECKED	B.J.	
SCALE	1/16" = 1'-0"	
PROJ. NO.	1083-BH159	



DESIGN	B.J.	
DRAWN	M.C.	
DATE	JULY 2025	
CHECKED	B.J.	
SCALE	3/16" = 1'-0"	DWG. NO.
PROJ. NO.	1083-BH159	A201-Front Elev



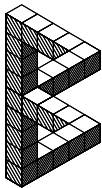
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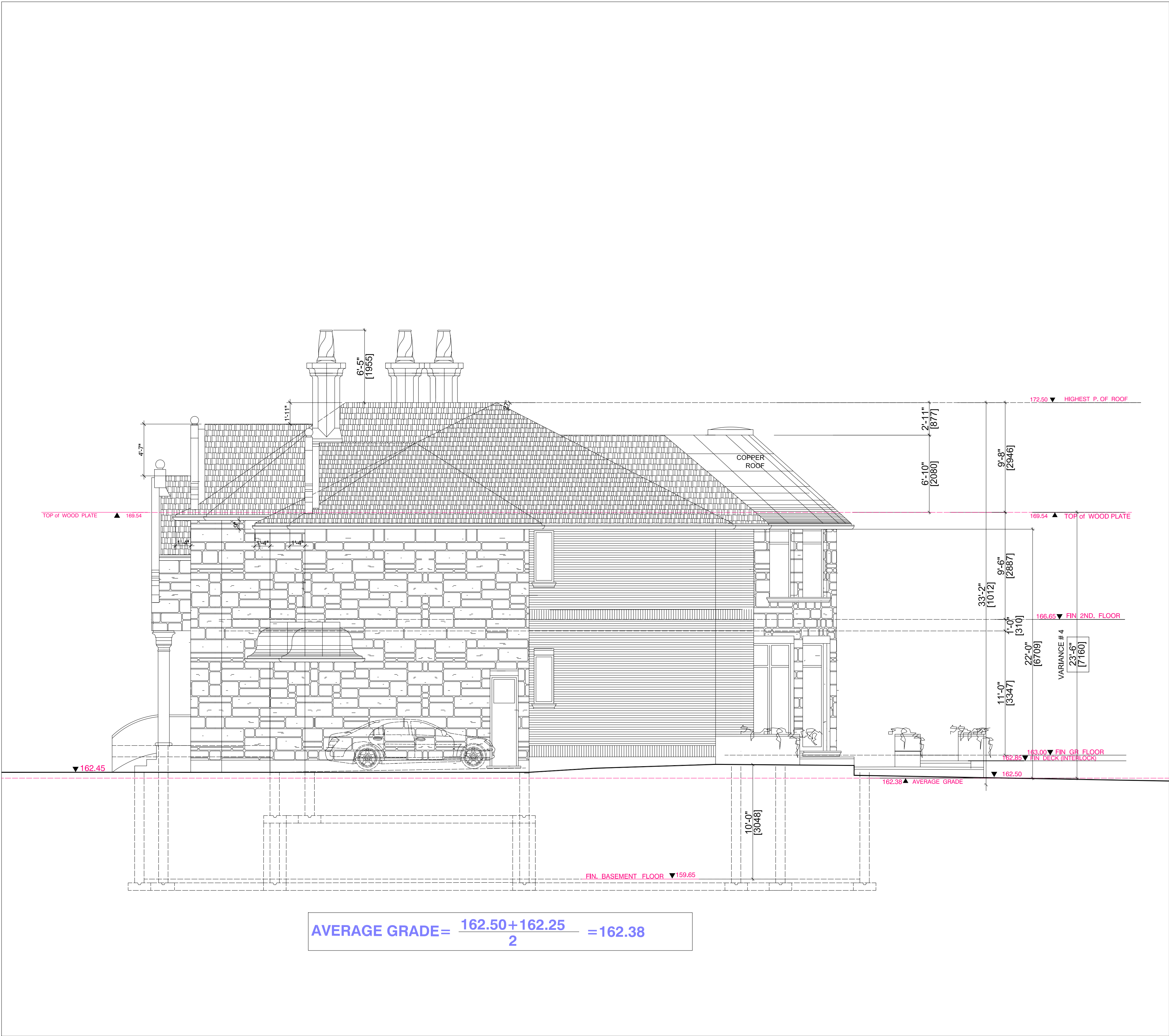
PROJECT TITLE

41 LAURELEAF RD.
CITY OF MARKHAM

DWG. TITLE

NORTH ELEVATION
(BOBBCOMBE DRIVE VIEW)
(EXTERIOR SIDE)

DESIGN	B.J.	
DRAWN	M.C.	
DATE	JULY 2025	
CHECKED	B.J.	
SCALE	3/16" = 1'-0"	DWG. NO.
PROJ. NO.	1083-BH159	A201-Elev.N



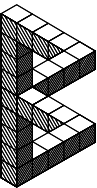
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PROJECT TITLE

**41 LAURELEAF RD.
CITY OF MARKHAM**

DWG. TITLE

**SOUTH ELEVATION
(INTERIOR SIDE VIEW)**

DESIGN	B.J.	
DRAWN	M.C.	
DATE	JULY 2025	
CHECKED	B.J.	
SCALE	3/16" = 1'-0"	DWG. NO.
PROJ. NO.	1083-BH159	A201-Elev.S



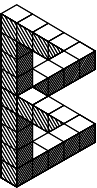
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PROJECT TITLE

**41 LAURELEAF RD.
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DWG. TITLE

**EAST ELEVATION
(BACKYARD VIEW)**

DESIGN	B.J.	DWG. NO. A201-Rear Elev
DRAWN	M.C.	
DATE	JULY 2025	
CHECKED	B.J.	
SCALE	3/16" = 1'-0"	
PROJ. NO.	1083-BH159	

