



CITY:	MARKHAM, ON
MUNICIPAL ADDRESS	
	13 EBERLY WOODS DR, MARKHAM

SCOPE OF WORK
- PERMIT DRAWING FOR TWO STEPS SIDE DOOR STAIRCASE

LEGEND	
EXISTING WALL	
PROPOSED WALL	
CONCRETE WALL	
WALLS TO BE REMOVED	
BEAM	
FLOOR JOIST	
POST	
HSS POST	
ROUND POST	
PROPERTY LINE	
FENCE	
REVISION CLOUD	
REVISION NUMBER	
MIN 45 MIN FIRE SEPARATION	
SUPPLY AIR REGISTER	
RETURN AIR GRILLE	
EXHAUST FAN	
FLOOR DRAIN	
SMOKE DETECTOR AND SMOKE ALARM	
CARBON MONOXIDE DETECTOR/ALARM	
SPRINKLER	

ABBREVIATIONS			
ABV	ABOVE	MAX	MAXIMUM
ADD	ADDITIONAL	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MIN	MINIMUM
BLW	BELOW		
BOT	BOTTOM	NLB	NON-LOAD BEARING
		NTS	NOT TO SCALE
CL	CENTERLINE	OC	ON CENTER
COL	CLOSET	OPEN	OPENING
C/W	COLUMN	O.F	OUTER FACE
CONC	COMPLETE WITH CONCRETE	PL	PLATE
		PC	PRECAST
CONT	CONTINUOUS	PROJ	PROJECTION
DP	DEPTH	PRO	PROPOSED
DET	DETAIL	R/W	REINFORCED WITH
DIA	DIAMETER		
DJ	DOUBLE JOIST	SD	SHORT DIRECTION
		STIF	STIFFENER
DWL	DOWEL	STRU	STRUCTURAL
EF	EACH FACE	THK	THICKNESS
EW	EACH WAY	T&B	TOP AND BOTTOM
ELEC	ELECTRICAL		
EP	ELECTRICAL PANEL	TOC	TOP OF CONCRETE
		TOF	TOP OF FLOOR
EL	ELEVATION	TOR	TOP OF ROOF
EQ	EQUAL	TOS	TOP OF STEEL
EX	EXISTING	TOW	TOP OF WALL
EXPJ	EXPANSION JOINT		
EXT	EXTERIOR	TJ	TRIPLE JOIST
		TYP	TYPICAL
F	FURNACE	U/S	UNDERSIDE
FIN	FINISHED	UNO	UNLESS NOTED OTHERWISE
FP	FIREPLACE	UL	UPPER LAYER
FL	FLOOR		
FD	FLOOR DRAIN	VER	VERTICAL
		WIC	WALKING CLOSET
FT	FOOTING	WIN	WINDOW
FDN	FOUNDATION WALL	WPL	WALL PLATE
GALV	GALVANIZED	WH	WATER HEATER
H	HEIGHT		
HOR	HORIZONTAL	WWF	WELDED WIRE FABRIC
		W	WIDTH
I.F	INNER FACE	W/	WITH
INT	INTERIOR		
LB	LOAD BEARING		
LD	LONG DIRECTION		
LL	LOWER LAYER		

DRAWING LIST
A-00 COVER SHEET
A-01 SITE PLAN
A-02 EX. BASEMENT PLAN
A-03 PRO. BASEMENT PLAN
A-04 EX. GROUND FLOOR PLAN
A-05 PRO. GROUND FLOOR PLAN
A-06 EX. SECOND FLOOR PAN

STANDARDS, LOADS & ASSUMPTIONS:
THE ENGINEERING HAS PERFORMED BASED ON THE LATEST UPDATE OF THE 2024 ONTARIO BUILDING CODE COMPENDIUM, WHICH IS A REGULATION MADE UNDER THE BUILDING CODE ACT, 1992, AND ALSO THE REFERRED STANDARDS.
STRUCTURAL DESIGN BASIS: NO STRUCTURAL ALTERATION CONSIDERED IN DESIGN. ALL EXISTING STRUCTURAL COMPONENTS TO REMAIN.

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LICENSED PROFESSIONAL ENGINEER

2025-04-24

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PROVINCE OF ONTARIO

DRAWINGS ARE SEALED FOR THE PROPOSED ALTERATIONS ONLY. ANY OTHER WORK IS BEYOND THE SCOPE OF WORK.

DISCLAIMER:
- No warranty, express or implied, is made regarding the accuracy of dimensions or levels. All dimensions and levels must be verified on-site before work begins, and any discrepancies must be reported for review. These drawings are not for quantity estimation.
- The thickness and compositions of walls and floors, as well as other concealed or unobservable components, have not been determined, and no liability is assumed.
- Shoring, site grading, and flood control are beyond the engineer's scope, and no liability is assumed.
- Soil bearing capacity and groundwater levels must be assessed by a geotechnical engineer before construction. Consult the local building department for soil-bearing capacity information.

				JOB NO & DATE:
				25222
				MAR 2025
				DRAWN BY: M.M
2	2025/04/24	ISSUED FOR PERMIT	CITY	CHECKED BY: F.F.R
1	2025/04/03	ISSUED FOR PERMIT	CITY	
0	2025/03/31	ISSUED FOR REVIEW	CLIENT	PAPER SIZE: 17"x11"
REV	DATE	DESCRIPTION	NOTE	

SCOPE OF WORK:

PERMIT DRAWING FOR TWO STEPS SIDE DOOR STAIRCASE

ADDRESS:

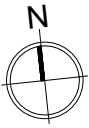
13 EBERLY WOODS DR, MARKHAM

DRAWING TITLE:

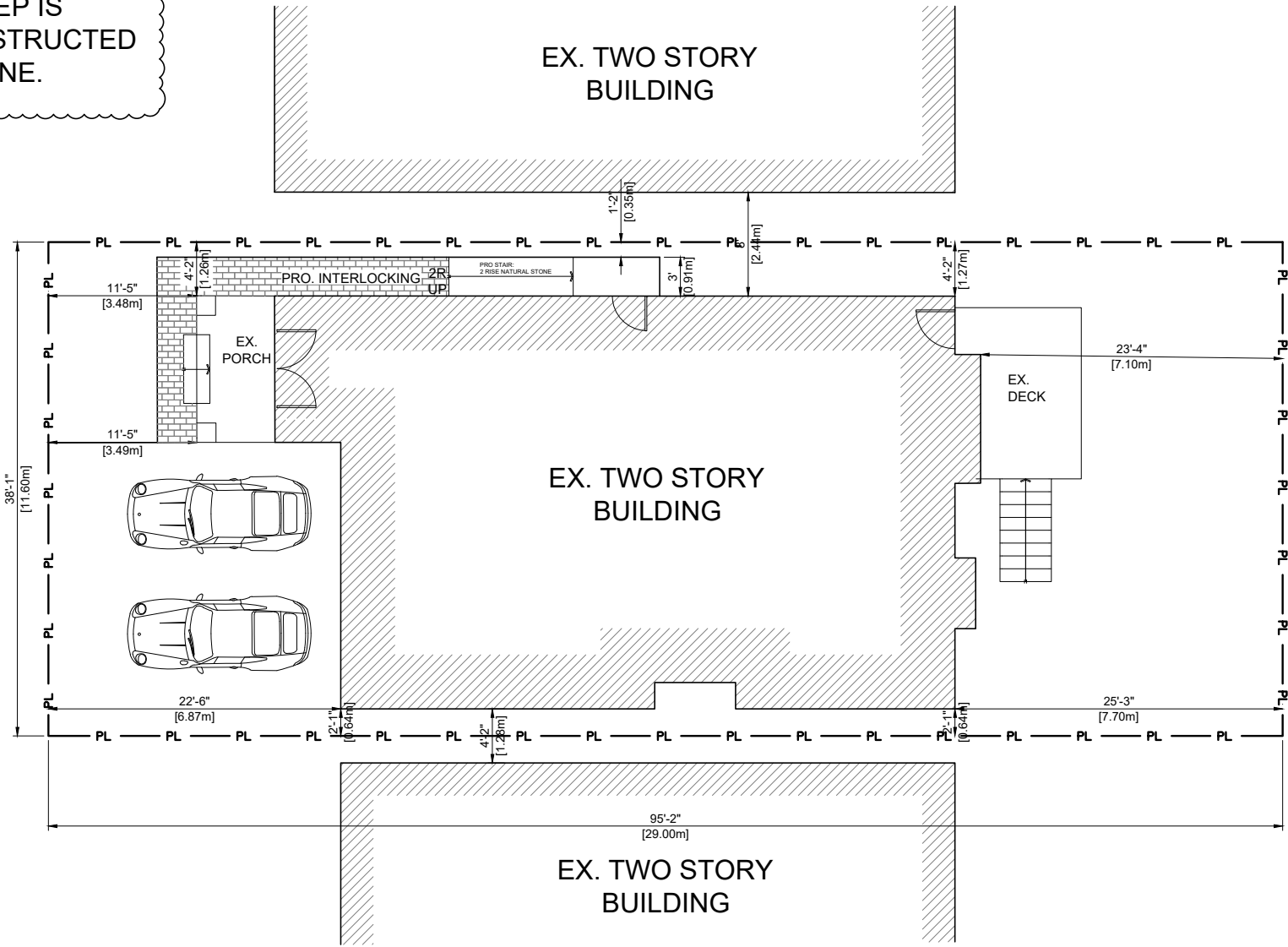
COVER SHEET

REV NO:	PAGE NO:
REV 2	A-00

NOTE:
THE SIDE 2-RISE STEP IS
EXISTING AND CONSTRUCTED
WITH NATURAL STONE.



EBERLY WOODS DR



SITE PLAN

SCALE 1 : 150

SITE STATICS			
LOT AREA: 336.40 M ² / SIDE YARD AREA: 29.84 M ²			
SITE STATISTICS	PERMITTED	EXISTING	PROPOSAL
LOT FRONTAGE	MIN. 10.7 M	11.60 M	-
SIDE SETBACK	1.2 M	1.26 M	-
SIDE SETBACK ENCROACHMENT	NOT CLOSER THAN 0.6 METERS FROM THE RESPECTIVE LOT LINE	1.26 M	0.35 M

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DRAWING TITLE: **SITE PLAN**

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REV 2	A-01