

Memorandum to the City of Markham Committee of Adjustment

November 17, 2025

File: A/138/25
Address: 570 & 590 Enterprise Boulevard, Markham
Agent: Gatzios Planning + Development Consultants Inc.
Hearing Date: Wednesday, November 26, 2025

The following comments are provided on behalf of the Central Team:

The Applicant is requesting relief from the following requirements of the MC-D2*19(H) & MC-PS2 Zones under By-law 2004-196, as amended, as it relates to a proposed high-rise mixed-use development. The variance requested is to permit:

a) **Amending By-law 2022-103, Schedule H2:**

a maximum of 1,368 residential units, whereas the By-law permits a maximum of 1,350 units.

BACKGROUND

Property Description

The 5.12 acre (2.07 hectare) subject property (the “Subject Lands”) are located on the north side of Enterprise Boulevard, west of the Stouffville-GO rail line and east of Bill Crothers Drive (refer to Appendix “B” – Aerial Photo). The property is located within Markham Centre.

History

This application is related to Minor Variance application [A/159/23](#) in which the Committee of Adjustment (“COA”) approved the increase of the maximum number of residential units from 1,350 to 1,360 units in October 2023 (refer to Appendix “A” – Notice of Decision). The subsequent Site Plan application SPC 21 137365 for a mixed-use development comprised of three high-rise towers ranging in height from 36 to 44 storeys with 1,360 residential units was approved in November 2023. Construction for this development is currently underway.

This application is also related to Condominium applications CNDO 25 137112 and 25 137113, which are currently under review.

Proposal

In response to market demands for more affordable smaller sized units, the Owner proposes to introduce an additional eight residential units beyond the previously approved COA unit count, consisting of studio and one-bedroom units within Buildings 1 and 2 (the “Proposed Development”; refer also to Appendix “C” – Site Plan and Statistics). No changes to the building footprint, density, or building height are required to accommodate the additional eight residential units.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and updated on July 17, 2024)

The policies of the 2014 Official Plan state that until an updated Secondary Plan is approved, the provisions of the 1987 Town of Markham Official Plan (“1987 OP”), as amended by the Markham Centre Secondary Plan (“OPA 21”), shall apply to the Subject Lands.

Markham Centre Secondary Plan - OPA 21

The Proposed Development is located entirely within the “Community Amenity Area – Major Urban Place” area under the existing in-force OPA 21. Site-Specific Official Plan Amendment 257 (“OPA 257”), permits a high density mixed use development with 1,350 units on the Subject Lands. Notwithstanding the maximum units identified in OPA 257, the 1987 OP and OPA 21 permits minor modifications without amendments to the plan.

Planning Staff have had regard for the requirements of the Official Plan, as amended, in the preparation of the comments provided below.

Zoning By-Law 2004-196

The Proposed Development is located within the “Markham Centre Downtown Two*19 (MC-D2*19)” zone in the Markham Centre Zoning By-law 2004-196, amended by Site-Specific Zoning Amendment By-law 2022-103 (“By-law 2022-103”), which permits a high-density residential development with a maximum of 1,350 residential units. As previously noted, Minor Variance application A/159/23 permitted an increase of 10 additional residential units.

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) on October 31, 2025 (ZPR 25 137091) to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Proposed Additional Units

The Applicant is proposing to introduce an additional eight units to respond to market demands for more studio and one-bedroom units.

The additional eight residential units represent an increase of approximately 0.6% of the overall permitted units of 1,360 that was previously approved by COA and a 1.3% increase from the 1,350 units permitted under the Official Plan and Zoning By-law. The

additional eight residential units also represent an increase in the building net floor area (“NFA”) to 94,983 m² (1,022,388 ft²) which is within the maximum permitted NFA of 95,000 m² (1,022,571 ft²) under By-law 2022-103. As such and given that Staff have received no objections from internal and external reviewers for the variance request, Planning Staff are satisfied that the proposed variance is minor and meets the intent of the Official Plan and By-law.

PUBLIC INPUT SUMMARY

No written submissions were received as of November 17, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix “D” for conditions to be attached to any approval of this application.

PREPARED BY:



Barton Leung, Senior Planner, Central District

REVIEWED BY:



Melissa Leung, RPP, MCIP, Senior Planner, Central District

LIST OF APPENDICES

Appendix "A" – Notice of Decision – MNV Application A/159/23

Appendix "B" – Aerial Photo

Appendix "C" – Site Plan and Statistics

Appendix "D" – Conditions



October 20, 2023



Gatzios Planning + Development Consultants Inc. (James Koutsovitis)
701 Mount Pleasant Road, Floor 3
Toronto, Ontario M4S 2N4

Dear Sir/Madam,

**RE: Enterprise Boulevard, Markham
CON 5 PT LOT 9 RP 65R27018 PART 4
A/159/23**

Attached please find a copy of the Committee of Adjustment resolution regarding the above, from the meeting of Wednesday, October 18, 2023.

Yours truly,

Shawna Houser, CPT
Secretary-Treasurer
Committee of Adjustment

Attachments

cc Deanna Schlosser, Senior Planner, Central District
David Johnston, Zoning and Compliance
Elizabeth Martelluzzi, Senior Planner
Building Inspection
Enterprise Boulevard Inc (Jonathan Karavos)
File copy

The Corporation of the City of Markham · Committee of Adjustment
101 Town Centre Boulevard, Markham, ON L3R 9W3 · tel. 905.475.4721 fax. 905.479.7768



COMMITTEE OF ADJUSTMENT

NOTICE OF DECISION

I hereby certify that the attached is a true copy of the decision of the Committee of Adjustment in the matter of Application No. A/159/23 which was **approved** at a hearing held on Wednesday, October 18, 2023. A written appeal of this decision must be received **no later than Tuesday, November 7, 2023. After this date the decision becomes final and binding and cannot be appealed.**

Appeals to the Ontario Land Tribunal may be served personally by appointment, by email to coa@markham.ca, or sent by registered mail to the Secretary Treasurer, Committee of Adjustment, accompanied by a cheque in the amount of **\$400.00**, payable to **the Minister of Finance**, and must give reasons for the appeal. When filing an appeal to the Ontario Land Tribunal, please note there will be an additional City of Markham administration fee of \$263.50 plus HST, the fee must be paid at the time of the appeal submission to the Committee of Adjustment. **The reasons for the appeal must be provided, or the Ontario Land Tribunal may not consider the appeal to be valid. Please note that a letter of objection filed prior to the hearing date is not considered an official notice of appeal.**

Only the applicant, the Minister or a specified person or public body, as defined under subsection 1(1) of the Planning Act, that has an interest in the matter may appeal decisions in respect to variance or consent applications to the Ontario Land Tribunal.

A handwritten signature in cursive script that reads 'Shawna Houser'.

Shawna Houser, CPT
Secretary-Treasurer
Committee of Adjustment

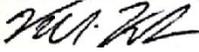
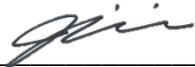


Committee of Adjustment Resolution

File Number: A/159/23
 Hearing Date: Wednesday, October 18, 2023
 Owner(s): Enterprise Boulevard Inc (Jonathan Karavos)
 Agent: Gatzios Planning + Development Consultants Inc. (James Koutsovitis)
 Property Address: Enterprise Boulevard, Markham
 Legal Description: CON 5 PT LOT 9 RP 65R27018 PART 4
 Zoning: By-law 2004-196, as amended, MC-D2*19(H) & MC-PS2
 Official Plan: Mixed Use High Rise & Greenway
 Ward: 3

Last Date of Appeal: Tuesday, November 07, 2023

Moved by: Tom Gutfreund
Seconded by: Arun Prasad

<input checked="" type="checkbox"/>	Arun Prasad	
<input checked="" type="checkbox"/>	Patrick Sampson	
<input checked="" type="checkbox"/>	Kelvin Kwok	
<input checked="" type="checkbox"/>	Jeannie Reingold	
<input checked="" type="checkbox"/>	Tom Gutfreund	
<input checked="" type="checkbox"/>	Sally Yan	

THAT Application No. A/159/23, submitted by Enterprise Boulevard Inc. (Jonathan Karavos), owner of Enterprise Boulevard, Markham, CON 5 PT LOT 9 RP 65R27018 PART 4, requesting relief from the requirements of By-law No. 2004-196, as amended, to permit the following:

- a) **By - law 2004-196, Amended by By-law 2022-103, Schedule H2:**
 a maximum number of 1360 residential units, whereas the By-law permits a maximum of 1,350 units;
- b) **By-law 2004-196, Amended by By-law 2022-103, Schedule H3:**
 a minimum Canadian Geodetic Datum height of 176 metres in Area 1 on Schedule H3, whereas a minimum Canadian Geodetic Datum height of 180 metres is required within Area 1.

c) By-law 2004-196, Amended by By-law 2022-103, Schedule H3:

a minimum Canadian Geodetic Datum height of 176 metres in Area 2 on Schedule H3, whereas the minimum Canadian Geodetic Datum height in Area 2 is 191 metres.

as it relates to high density mixed-used development.

This application is related to SPC 21 137365.

These variance requests be **approved** for the following reasons:

- (a) In the opinion of the Committee, the general intent and purpose of the By-law will be maintained;
- (b) In the opinion of the Committee, the general intent and purpose of the Official Plan will be maintained;
- (c) In the opinion of the Committee, the granting of the variance is desirable for the appropriate development of the lot;
- (d) In the opinion of the Committee, the requested variance is minor in nature.

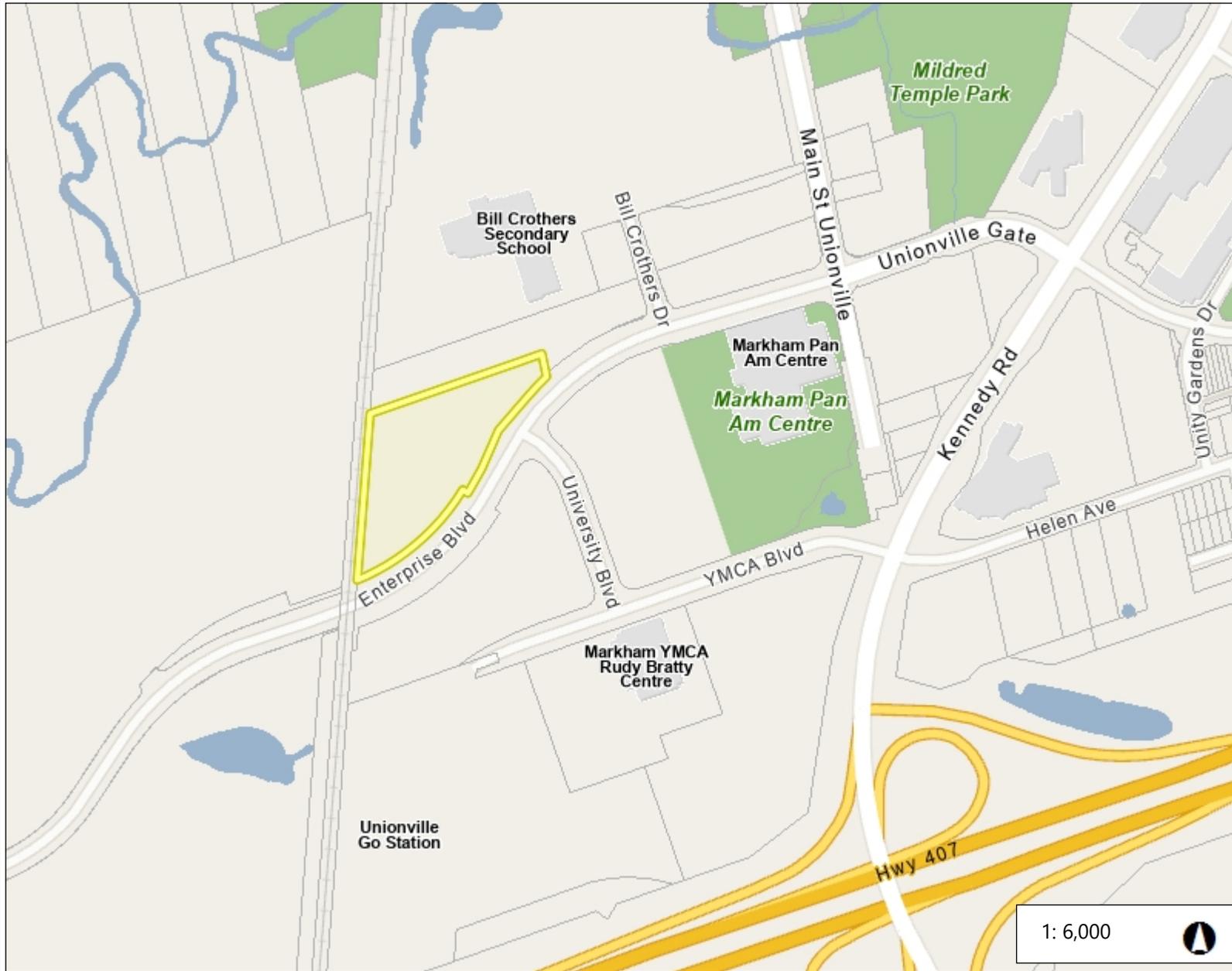
Subject to the following conditions:

- 1. The variances apply only to the proposed development as long as it remains;
- 2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as Appendix "B" to this Staff Report; or further revised by any site plan 'endorsed' or 'approved' drawings under File SPC 21 137365, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

Any and all written submissions relating to this Application that were made to the Committee of Adjustment before its Decision, and any and all oral submissions related to this Application that were made at a public meeting, held under the Planning Act, have been taken into consideration by the Committee of Adjustment in its Decision on this matter.

Resolution Carried

SPECIAL NOTE TO OWNERS AND AGENTS: It is the responsibility of the owner and/or agent to ensure that all conditions of approval are met through the respective departments noted therein. Failure to do so may result in additional approvals being required.



● Subject Lands

Notes

1: 6,000



DISCLAIMER: The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email cgis@markham.ca and you will be directed to the appropriate department.

TOTALS - Buildings 1, 2, 3 and Amenity Podium	
Total Units	1,368
Total GFA (sm)	109,558
Total NFA (sm)	94,983
Residential GFA (sm)	109,370
Residential NFA (sm)	94,795
Non-Residential GFA (sm)	188
Non-Residential NFA (sm)	188
Total Indoor Amenity (sm)	2,310
Total Outdoor Amenity (sm)	4,468

DENSITY		
	hectares	sm
Total Property Area	2.073	20,725
Development Portion	1.674	16,137
Park Portion	0.459	4,587
FSI (Total Property Area)	5.37	
FSI (Development Portion)	6.9	

VEHICULAR PARKING		Ratio	Spaces Req'd	Spaces Provided
Residential Occupant		0.60	821	824
Residential Visitor				
Visitor parking spaces for Apartment Dwellings and Multiple Dwellings shall be shared with all non-residential uses		0.15	206	206
Non-Residential				
1 parking space per 30m2 (MAX. 4 dedicated spaces)			7	
A reduction of up to 3 parking spaces from the combined required totals of visitor parking for residential uses and non-residential uses is permitted.			-3	
Car Share			2	2
Total		0.75	1,033	1,036

Note: The grand total included 24 accessible spaces (11 Type A and 13 Type B)

BICYCLE PARKING				
Floor	Res Long Term	Res Short Term	Retail Short Term	Total
parking level 7	14			14
parking level 6	30			30
parking level 5	90			90
parking level 4	202			202
parking level 3	0	54		54
parking level 2 & GF landscape	0	83	3	86
parking level 1	350			350
Total	686	137	3	826

Use		Ratio	Spaces Req'd	Spaces Provided
Short Term		0.10	137	137
Long Term		0.50	684	686
Retail		0.00	3	3
Total		0.60	824	826

TOTAL UNITS		
Unit Type	TOTAL	Provided (%)
Studio	57	4.2%
1 Bedroom	855	62.5%
2 Bedroom	383	28.0%
3 Bedroom	73	5.3%
Total	1,368	

LOCKERS			
Level	Tower	Subtotal	Total
LS UPPER			
T1&T2	T1&T2	117	117
P7			
T1&T2	T1&T2	94	94
P6			
T1&T2	T1&T2	148	148
P5			
T1&T2	T1&T2	108	108
P4			
T1&T2	T1&T2	56	56
P3			
T1&T2	T1&T2	130	130
T3 - L2			
T3	T3	123	123
P2			
T3	T3	13	13
P1			
T3	T3	73	73
Total		739	739

	PODIUM						TOWER 1			TOWER 2			TOWER 3			RETAIL				
	GFA(sq.m)	GFA(sq.f)	PARKING(sq.m)	PARKING(sq.f)	NFA(sq.m)	NFA(sq.f)	GFA(sq.m)	GFA(sq.f)	NFA(sq.f)	GFA(sq.m)	GFA(sq.f)	NFA(sq.m)	NFA(sq.f)	GFA(sq.m)	GFA(sq.f)	NFA(sq.m)	NFA(sq.f)	GFA/NFA(sq.m)	GFA/NFA(sq.f)	
PI Parking Level	3886	41580.2		9,171	98129.7	919.0	9833.3													
P2/ and Residential GF	3708	39675.6		4284	45838.8	2394.0	25615.8													
P3 Parking Level	351	3755.7		4265	45635.5	244.0	2610.8													
P4 and Residential Level 2	2074	22191.8		4344	46480.8	1676.0	17933.2							661	7072.7	501	5360.7			
P5 and Residential Level 3	2189	23422.3		4638	49626.6	1943.0	20790.1							799	8549.3	744	7960.8			
P6 and Residential Level 4	2211	23657.7		4634	49583.8	1960.0	20972.0							799	8549.3	744	7960.8			
P7 and Residential Level 5 Lower	2278	24374.6		4588	49091.6	1842.0	19709.4							799	8549.3	744	7960.8			
Residential Level 5 Upper	2468	26407.6				1930	20651.0													
Residential Level 6	2408	25765.6				2176	23283.2													
Level 7								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 8								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 9								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 10								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 11								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 12								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 13								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 14								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 15								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 16								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 17								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 18								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 19								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 20								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 21								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 22								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 23								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 24								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 25								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 26								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 27								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 28								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 29								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 30								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 31								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 32								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 33								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 34								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 35								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 36								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 37								800	8560	739	7907	800	8560	738	7897	799	8549.3	744	7960.8	
Level 38								800	8560	739	7907	800	8560	738	7897	419	4483.3			
Level 39								800	8560	739	7907	800	8560	738	7897	81	866.7			
Level 40								800	8560	739	7907	800	8560	738	7897					
Level 41								441	4719			800	8560	738	7897					
Level 42								94	1006			800	8560	738	7897					
Level 43												800	8560	738	7897					
Level 44												800	8560	738	7897					
MPH (Tower 2)															441	4718.7				
MPH (Tower 2)															95	1016.5				
Subtotal	21573	230831.1	35924	384386.8	15084.0	161398.8	27735	296765	25126	268848	30936	331015	28044	300071	29126	311648.2	26541	283989	188	
TOTAL GFA																				109558
TOTAL NFA																				94983
TOTAL RESIDENTIAL GFA																				109370
TOTAL RESIDENTIAL NFA																				94795

Appendix C

Date: **11/17/2025**
MM/DD/YYYY

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL AUTHORIZED IN WRITING BY CONSULTANT.

REVISION			
NO.	DATE	DESCRIPTION	ISSUED BY
1	2025-07-2		

APPENDIX "D"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/138/25

1. The variances apply only to the proposed development as long as it remains;
and,
2. That the Site Control Plan Agreement and Municipal Services Agreement between the Corporation of the City of Markham and Enterprise Boulevard Inc. for the Subject Lands dated December 8, 2024, be amended to the satisfaction of the Director of Planning and Urban Design, Director of Operations, and/or the Director of Engineering, or their designates.

CONDITIONS PREPARED BY:



Barton Leung, Senior Planner, Planning and Urban Design Department