

Memorandum to the City of Markham Committee of Adjustment

November 05, 2025

File: A/139/25
Address: 7580 9th Line, Markham
Applicant: Ian Robertson Design (Michael Grisch)
Hearing Date: Wednesday, November 26, 2025

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 2024-19, RES-ENLR, as amended, as it relates to a proposed addition of a detached garage. The requested variances are to permit:

a) By-law 2024-19, Section 6.3.2.2(C)(xiv):

a maximum combined main building coverage of 964.89 square metres, whereas the by-law permits a maximum combined main building coverage of 500 square metres; and

b) By-law 2024-19, Section 4.8.2.1(a):

a maximum height for a detached private garage of 4.83 metres, whereas the by-law permits a maximum height for a detached private garage of 4.5 metres;

BACKGROUND

Property Description

The 4,105.70 m² (44,193.39 ft²) subject property is located on the west side of Ninth Line, south of 14th Avenue. The property is located within an established residential neighbourhood comprised of estate sized lots and large two-storey detached dwellings.

There is an existing two storey detached dwelling on the property, which according to assessment records was constructed in 2017. Mature vegetation exists on the property.

Proposal

The applicant is proposing to construct a detached 3 car garage with a gross floor area of 86.77 m² (934 ft²).

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on July 17/24)

The Official Plan designates the subject property “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2015 Official Plan outlines development criteria for the “Residential Low Rise” designation to ensure infill development respects and reflects the existing pattern and character of the surrounding neighborhood. These criteria include policies with respect to height, massing, setbacks, and protection of existing vegetation.

Zoning By-Law 2024-19

The subject property is zoned RES-ENLR under By-law 2024-19, as amended, which permits Detached Dwellings, Home Child Care, Home Occupation and Shared Housing – Small Scale.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, *"Due to the existing structures on the lot in which we would be over the main maximum main building coverage already we cannot comply. In order to line up the proposed roof with the existing addition we cannot comply with the maximum building height requirement"*

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) on September 19, 2025 to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Main Building Coverage

The applicant is requesting relief to permit a maximum combined main building coverage of 964.89 square metres, whereas the By-Law permits a maximum combined main building coverage of 500 square metres.

The Applicant is not proposing any changes to the existing dwelling. Under the comprehensive Zoning By-law 2024-19, detached garages are included within the definition of main building coverage. As a result, the proposed detached garage contributes to the maximum main building coverage calculation even though the overall lot coverage remains modest at 22.76%, well below the maximum permitted 35%. The proposal does not result in overdevelopment of the lands and maintains the established character of the area. Staff have no concerns with the proposed variance.

Increase in Maximum Height for a Detached Garage

The applicant is requesting relief to permit a maximum height for the proposed detached garage of 4.83 m (15.85 ft), whereas the By-law permits a maximum detached garage height of 4.5 m (16.40 ft). This represents an increase of 0.33 m (1.08 ft).

Staff deem this increase in height as minor in nature and poses no negative impacts on the immediate surroundings. All other building provisions, such as setbacks and coverage, complies with the By-law. Staff have no concerns with the requested variance.

PUBLIC INPUT SUMMARY

No written submissions were received as of November 17, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Aaron Chau, Planner I, East District

REVIEWED BY:



Stacia Muradali, Development Manager, East District

File Path: Amanda\File\ 25 137789 \Documents\District Team Comments Memo

APPENDICIES

Appendix "A" – A/139/25 Conditions of Approval

Appendix "B" - Drawings

APPENDIX "A"

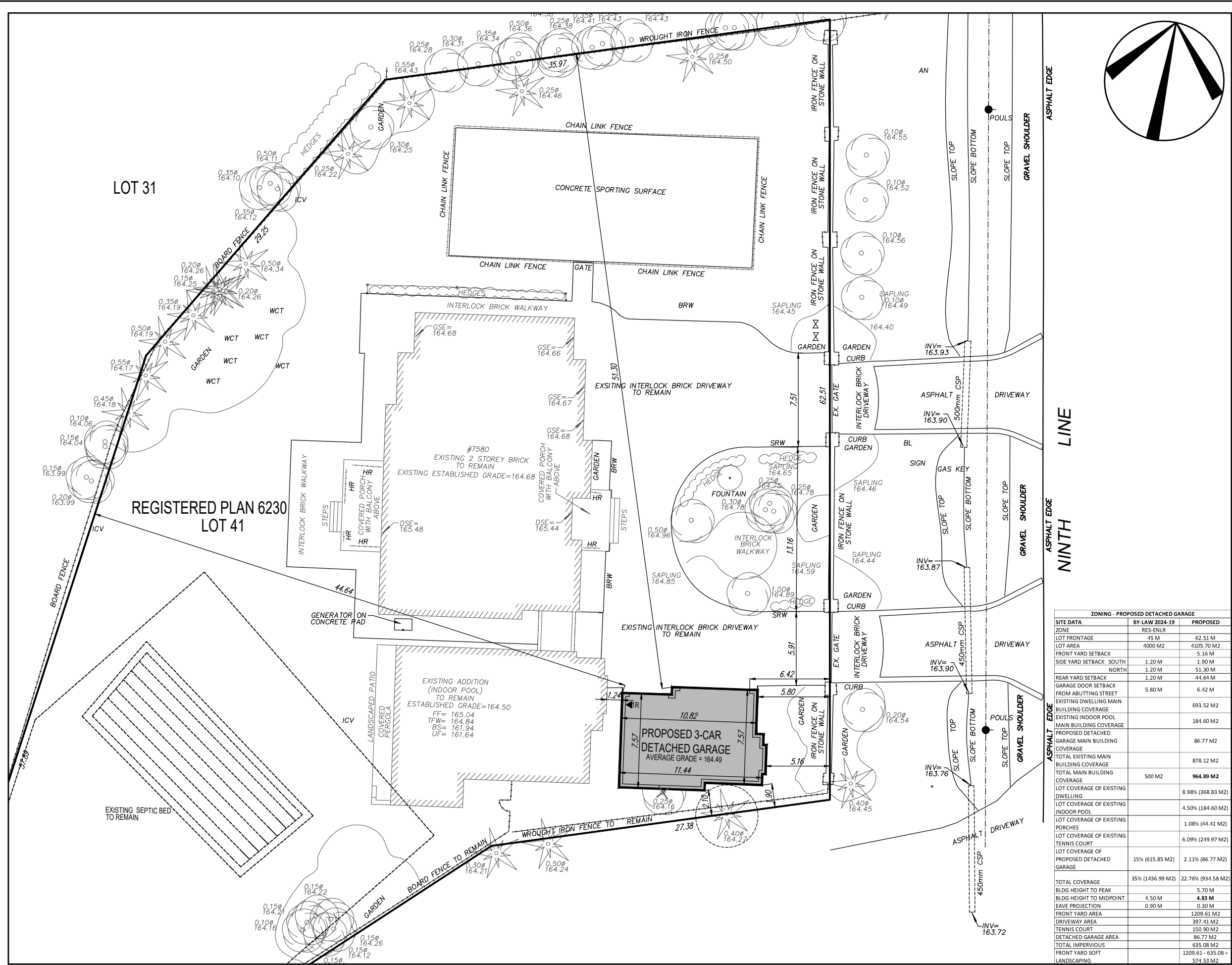
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/139/25

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Manager of By-law Enforcement & Regulatory Services Division that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Manager of By-law Enforcement & Regulatory Services Division.

CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read 'Aaron Chau', with a long horizontal stroke extending to the right.

Aaron Chau, Planner I, East District



Appendix B

File:

20-007760-00000000

Date: 11/17/2025

MM/DD/YYYY

LOT 41
7580 NINTH LINE
FILE NO.

REVISIONS

1. SEPT. 24/25 ISSUED FOR MINOR VARIANCE

CLIENT: CUSTOM HOME

PROJECT: 7580 NINTH LINE,
CITY OF MARKHAM

SHEET TITLE: SITEPLAN

PROJECT NUMBER: 24-30

DRAWN BY: MG

SCALE: 1:300

DRAWING NO.: 1 OF 4

1/17/2025
MM/DD/YYYY

Date: 11/17/2025
MM/DD/YYYY



REVISONS		
1	SEPT. 24/25	ISSUED FOR MINOR VARIANCE
CLIENT:		
CUSTOM HOME		
PROJECT: 7580 NINTH LINE, CITY OF MARKHAM		
SHEET TITLE:		
FRONT & REAR ELEVATION		
PROJECT NUMBER: 24-30		DRAWN BY: MG
SCALE:		DRAWING NO.:
1/8" = 1'-0"		3 OF 4

100 RIVERMEDE ROAD, UNIT 101, VAUGHAN, ONTARIO L4K 3N3
PHONE: (416) 663-0111; FAX: 1 (866) 602-1163; WWW.IANROBERTSONDESIGN.CA

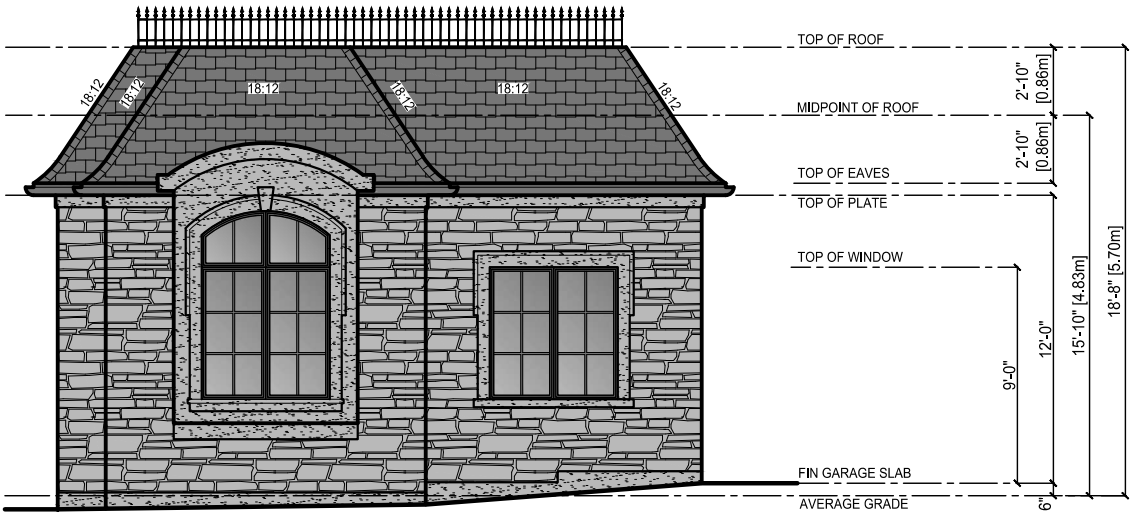
ANROBERTSONDESIGN
PHONE: (416) 663-0111; FAX: 1 (866) 602-1163; WWW.ANROBERTSONDESIGN.CA

Appendix B

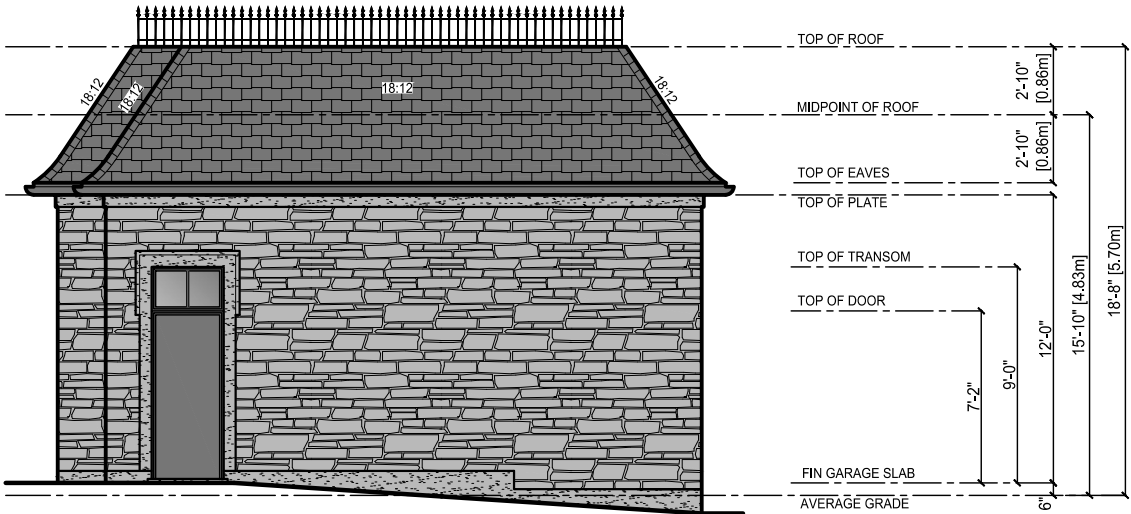


File: 24-0378-0000-0000

Date: 11/17/2025
MM/DD/YYYY



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

LOT 41
7580 NINTH LINE
FILE NO.

REVISIONS		
1	SEPT. 24/25	ISSUED FOR MINOR VARIANCE
CLIENT: CUSTOM HOME		
PROJECT: 7580 NINTH LINE, CITY OF MARKHAM		
SHEET TITLE: LEFT & RIGHT SIDE ELEVATION		
PROJECT NUMBER:	24-30	DRAWN BY: MG
SCALE: 1/8" = 1'-0"	DRAWING NO.: 4 OF 4	