

Memorandum to the City of Markham Committee of Adjustment

February 7, 2020

File: A/002/20
Address: 109 Lawrence Pilkington Ave – Markham, ON
Applicant: Quoc Paul Phung & Ada Nguyen
Agent: Vin Engineering Inc.
Hearing Date: Wednesday February 19, 2020

The following comments are provided on behalf of the East Team. The Applicant is requesting relief from Residential Two Exception (R2*190*465) Zone requirements of By-law 177-96, as amended, as it relates to a proposed coach house over an existing detached garage:

a) Section 6.3.1.2:

To permit a minimum setback between the main building and detached garage of 5.35 m (17.55 ft), whereas the By-law requires a minimum setback between the main building and detached garage of 6.0 m (19.69 ft).

BACKGROUND

Property Description

The 290.49 m² (3,126.81 ft²) subject property is located on the southeast corner of Diamond Jubilee Drive and Lawrence Pilkington Avenue, north of Cornell Centre Boulevard, east of Bur Oak Avenue, and south of Almira Avenue. The property is developed with a two storey single detached dwelling and a one storey detached private garage located in the rear of the property, which is accessed by a city owned lane. While the private garage is detached from the dwelling, it shares a common wall with the abutting garage of 107 Pilkington Avenue. The surrounding area comprises of a mix of two storey single detached, semi-detached, and townhouse dwellings situated on lane-based properties.

Proposal

The Applicant is proposing to construct an accessory dwelling unit over the existing detached garage. The stairs which are proposed to provide access to the second storey accessory unit encroach into the required setback between the dwelling and detached garage. Accordingly, the Applicant has submitted this variance application. The existing parking pad adjacent to the garage is proposed to be maintained to provide required parking for the accessory unit.

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and updated on April 9/18)

The 2014 Official Plan designates the subject property “Residential Low Rise”, which provides for low rise housing forms including a coach house above a laneway based detached garage.

Zoning By-Law 177-96

The subject property is zoned Residential Two Exception (R2*190*465) Zone under By-law 177-96, as amended, which permits one accessory dwelling unit above a detached private garage. The proposed development does not comply with the minimum setback requirement of 6.0 m between the main building and detached private garage.

Applicant's Stated Reason for Not Complying with Zoning

According to the information provided by the Applicant, the reason for not complying with Zoning is because, *"the proposed setback between the rear wall of the main building to the nearest wall of the garage is 5.35m, whereas the required distance is 6.0 m."*

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a ZPR on January 8, 2020 to confirm the variances required for the proposed development.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

Accessory Dwelling Unit

Should this application be approved, the Applicant will be required to obtain a building permit which ensures the proposed development will be in compliance with Building Code and Fire Code regulations, and will be required to register the accessory dwelling unit with the Fire Department prior to the occupancy of the unit.

Reduction in Setback from Main Building

The Applicant is requesting a minimum setback of 5.35 m (17.55 ft) from the main building to the detached private garage, whereas the By-law requires a minimum setback of 6.0 m (19.69 ft). This is a reduction of 0.65 m (2.14 m), which is attributable to the proposed stairs accessing the proposed accessory unit.

Staff are of the opinion that the proposed variance is an appropriate development of the property which is consistent with Official Plan policies, and the general intent of the By-law. Planning staff recommend approval of the application.

PUBLIC INPUT SUMMARY

No written submissions were received as of February 7, 2020. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of *the Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

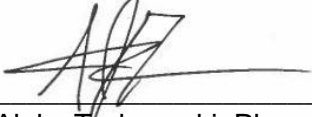
The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

APPENDICES

Appendix "A" – Conditions List

Appendix "B" – Plans

PREPARED BY:

A handwritten signature in black ink, appearing to be 'Aleks', written over a horizontal line.

Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:

A handwritten signature in blue ink, appearing to be 'Stephen Corr', written over a horizontal line.

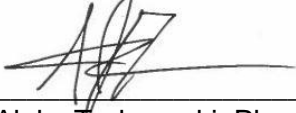
Stephen Corr, Senior Planner, East District

File Path: Amanda\File\ 20 106614 \Documents\District Team Comments Memo

APPENDIX "A"**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/002/20**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plans attached as Appendix "B" to this Staff Report and received by the City of Markham on January 14, 2020, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.

CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read 'Aleks Todorovski', written over a horizontal line.

Aleks Todorovski, Planner, Zoning and Special Projects

APPENDIX “B”

PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/002/20

P461208

GENERAL NOTES:

(UNLESS OTHERWISE NOTED)

1. ALL CONSTRUCTION TO BE IN ACCORADANCE WITH THE ONTARIO BUILDING CODE (REGULATION 3321/12 AS AMENDED, EFFECTIVE 2014) MUNICIPAL BY–LAWS PLANS AND SPECIFICATIONS.
2. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO PROCEEDING WITH RELATED WORK.
3. THE CONTRACTOR SHALL GET ALL PROPOSED FINISH MATERIALS APPROVED BY THE OWNER IN WRITING PRIOR TO USE.
4. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND ANY OTHER DOCUMENTATION REQUIRED FOR APPROVAL BY OWNER/OWNER’S REPRESENTATIVE PRIOR TO COMMENCING WITH RELATED CONSTRUCTION.
5. MAINTAIN ALL EXISTING CONDITIONS WHICH ARE DESIGNATED TO REMAIN AND PROVIDE THE NECESSARY PROTECTION DUE TO CONSTRUCTION OR INCLEMENT WEATHER DURING CONSTRUCTION.
6. CONTRACTOR SHALL REFER TO THE NOTES ON MECHANICAL, ELECTIRCAL, PLUMBING AND STRUCTURAL DRAWINGS.
7. CONTRACTOR SHALL READ ARCHITECTURAL DRAWINGS AND SPECIFICATIONS IN CONJUNCTION WITH ALL STRUCTURAL MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. IN CASE OF ANY DISCREPANCIES REPORT TO OWNER OR OWNER’S REPRESENTATIVE BEFORE PROCEEDING WITH THE CONSTRUCTION WORK.

01 SITE WORK

1. RAIN WATER LEADERS TO BE BROUGHT DOWN TO GRADE AND EXTENDED HORIZONTALLY 1200MM MINIMUM TO 400 x 400 x 50 THICK PRECAST CONCRETE SPLASH PADS AT EACH LOCATION. SPLASH PADS SET TO DRAIN AWAY FROM FOUNDTAION. ALTERANATELY DRAIN ALL RAIN WATER LEADERS TO APPROVED DRY WELL AS INSTRUCTED BY AUTHORITIES HAVING JURISDICTION.
2. PROTECT ALL EXISTING TREES AND SHRUBS WITH SOLID HORDING SPACED AROUND ENTIRE TREE TRUNK. DO NOT CUT TRIM OR PRUNE ANY PLANTS LOCATED ON MUNICIPAL PROPERTY EXCEPT AS DIRECTED IN WRITING BY AUTHORITIES HAVING JURISDICTION.

02 EXCAVATION AND BACKFILLING AND LOT GRADING

1. EXCAVATION TO BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES.
2. TOPSOIL AND ORGANIC MATERIAL IN AREAS UNDER PROPOSED CONSUCTION AND SHALL BE REPLACED WITH APPROVED GRANULAR MATERIAL OR PRE ENGINEERED FILL.
3. REFER TO STRUCTURAL DRAWINGS NOTES FOR FURTHER NOTES ON EXCAVATION AND BACKFILLING.
4. THE LOT GRADING SHALL BE AS PER THE LEVELS SHOWN ON THE SITE PLAN DRAWING, ENSURING DRAINAGE OF THE SITE. SODDING AND PAVING TO BE AS PER SITE PLAN.

03 DAMP PROOFING AND DRAINAGE

1. ALL EXTERIOR SURFACES OF ALL EXTERIOR WALL ENCLOSING OCCUPIED SPACE AND CRAWL SPACES TO BE DAMP PROOFED.
2. MASONRY FOUNDATION WALLS TO BE PARGED WITH 6MM CEMENT MORTAR AND BEVELED OVER TOP OF FOOTINGS.
3. PROVIDE 100MM DIAMETER WEEPING TILE OF PERFORATED PLASTIC COVERED C/W SEDIMENT SLEEVE. LAY WEEPERS LEVEL AND FLAT ON UNDISTURBED SOIL MATCHING ELEVATION OF EXISTING WEEPING TILE ADJACENT TO EXISTING OR NEW FOOTINGS. CONNECT NEW WEEPING TILE TO EXISTING WITH TRANSITION SLEEVES.
4. WEEPERS TO BE COVERD WITH MINIMUM DEPTH OF 300MM WITH 19MM CLEAR CRUSHED LIMESTONES.
5. SITE GRADING TO SLOPE AWAY FROM BUILDING AND NOT ADVERSELY EFFECT ADJACENT PROPERTIES. ALL ADJACENT DRAINAGE PATTERNS TO AND FROM OTHER PROPERTIES TO BE MAINTAINED.

04 FOOTING AND FOUNDATIONS

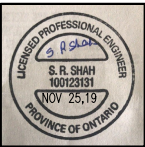
1. ALL FOOTINGS AND FOUNDATIONS SHALL BE AS PER STRUCTURAL DRAWINGS AND NOTES.
2. DAMP PROOFING OF 2 COATS BITUMINOUS EMULSION SHALL BE APPLIED TO EXTERIOR OF ALL FOUNDATIONS WALLS BELOW GRADE. DAMP PROOFING TO EXTEND MINIMUM 150MM ABOVE FINISHED GRADE.
3. A DRAINAGE LAYER CONSISTING OF 19MM THICK HIGH DENSITY MINERAL FIBER INSULATION SHALL BE PLACED ON EXTERIOR FACE OF FOUNDATION WALLS EXTENDING FROM TOP OF FOOTINGS TO 150MM ABOVE FINISHED GRADE.
4. CONCRETE SLABS ON GRADE TO BE PLACE ON MINIMUM 150MM GRANULAR BASE COMPECTED TO 95% MODIFIED PROCTER DENSITY AND SET ON UNDISTURBED SOIL WITH COMPRESIVE STRENGTH OF 120Pa.
5. INSIDE FACE OF CONCRETE FOUNATION WALLS TO BE COVERED WITH #15 BITUMINOUS IMPREGNATED PAPER WHERE IN CONTACT WITH WOOD FRAMING MEMBERS.

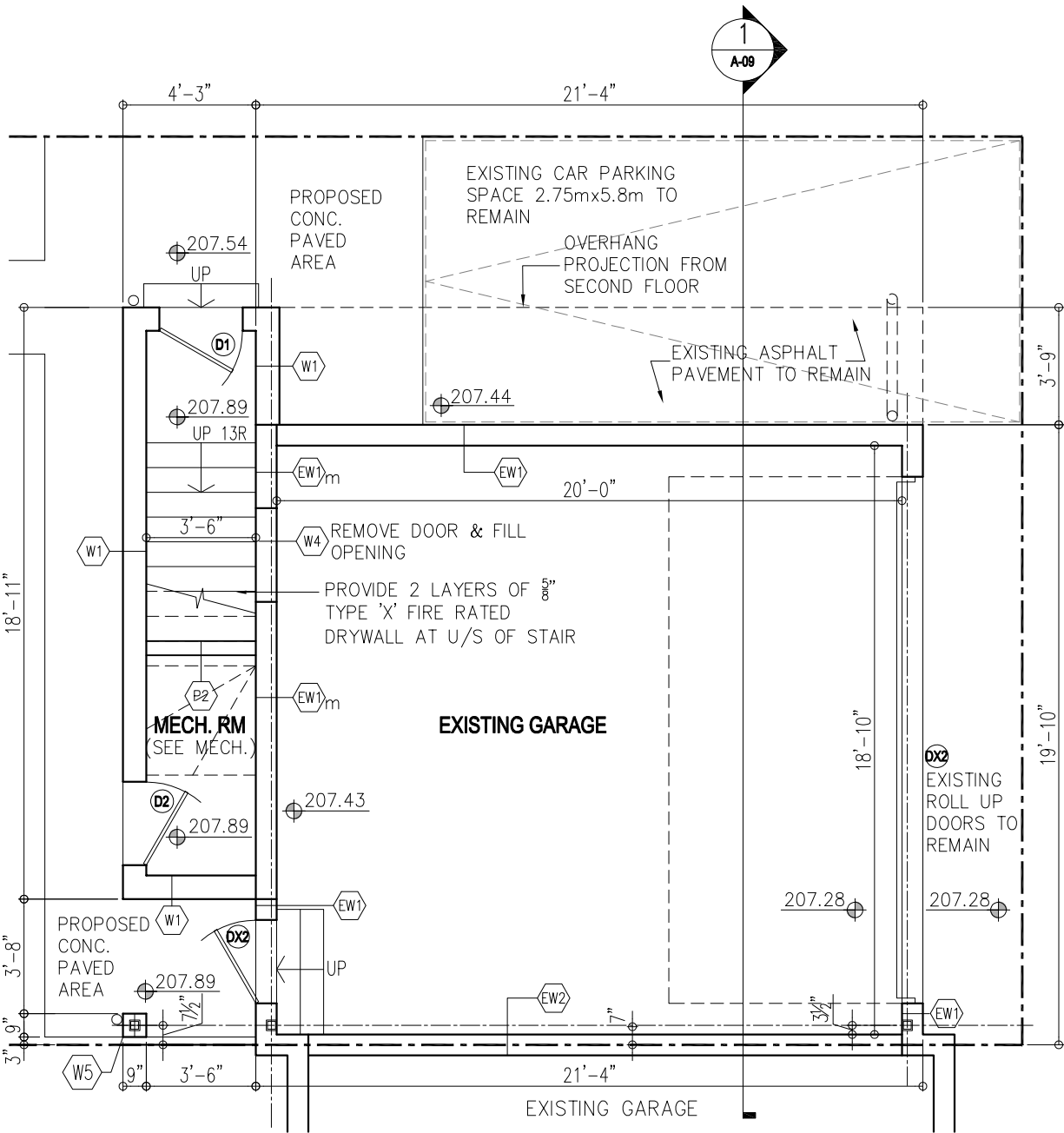
05 WOOD FRAME CONSTRUCTION

1. ALL LUMBER TO BE NO 1 STRUCTURAL AND IDENTIFIED AS SUCH WITH APPROVING BODY STAMP. ALL PRE–ENGINEERED MEMBERS TO BE APPROVED BY A CERTIFIED PROFESSIONAL ENGINEER.
2. MOISTURE CONTENT FOR IN FRAMING MAXIMUM 19%.
3. WOOD MEMBERS IN CONTACT WITH CONCRETE OR MASONRY TO BE SET ON 6 MIL POLYVINYL BARRIER.
4. ALL EXTERIOR WOOD FRAMING SHALL BE AS SHOWN ON THE DRAWINGS, AND TO A MINIMUM OF 13MM PLYWOOD/DENSGLOSS GOLD SHEATHING ON 38x140MM STUD WALLS AT 400 C/C.
5. ALL INTERIORS STUD WALLS TO BE AS SHOWN ON THE DRAWINGS, AND TO A MINIMUM OF 13MM GYPSUM WALL BOARD ON BOTH SIDE OF 38x89MM WOOD STUDS AT 400MM O.C. UNLESS OTHERWISE NOTED.
6. PROVIDE CONTINUOUS 38MM BOTTOM PLATE AND DOUBLE TOP PLATE, 2x38MM, AT ALL STUD WALL CONSTRUCTION.
7. ALL FLOOR JOIST SPACED AS IDENTIFIED ON DRAWINGS AND HAVE 40MM END BEARING.
8. JOIST TO NAILED TO CONTINUOUS SILL PLATE SET TO FOUNDATION WITH 13MM DIA. GALVANIZED 150MM LONG THREADED ANCHOR BOLTS FIXED WITH 38MM WASHER AND NUT AT 125MM SPACING.
9. DOUBLE ALL HEADER AND TRIMMER JOIST.
10. DOUBLE ALL JOIST UNDER NON–LOAD BEARING WALLS.
11. PROVIDE 25x25 CROSS BRACING AT 125MM C/C BETWEEN ALL CONVENTIONAL WOOD JOIST.
12. ALL CONVENTIONAL HIP AND VALLEY RAFTERS TO BE 38MM DEEPER THAN SUPPORTED RAFTER DEPTHS.
13. PROVIDE 38 X 64 COLLAR TIES TOGETHER.
14. ALL ROOF SHEATHING TO BE MINIMUM 13MM THICK WITH–CLIPS AT 305MM SPACING ON UNSUPPORTED EDGES.
15. HOLES REQUIRED IN JOIST TO BE PLACED ALONG THE MIDDLE OF JOIST DEPTH AND NO GREATER THAN ¼ THE JOISTDEPTH IN SIZE. NO NOTCHES OF HOLES TO BE MADE IN JOIST WITHIN 400MM OF JOIST ENDS.
16. HOLES IN STUD WALLS TO BE NO GREATER THAN 38MM PLACED IN CENTRE OF STUD.
17. ENGINEERED ROOF TRUSSES AND OTHER MEMBERS CAN BE CUT, DRILLED ON NOTCHES ONLY AS DIRECTED BY THE PROFESSIONAL ENGINEER THAT CERTIFIED SUCH TRUSSES.
18. ROOFING SHEATHING TO BE FASTENED WITH APPROVED ROOFING NAILS 38MM DEEP AT 305MM O.C. AND AT 150MM O.C. ON LONG EDGES.

06 THERMAL AND MOISTURE PROTECTION

1. ALL ASPHALT SHINGLES TO BE MINIMUM 240# WEIGHT / 32 SFT.
2. ALL ROOF SHINGLES TO BE FASTENED WITH MINIMUM 4¾” ROOFING NAILSPER SHINGLE.
3. EVAES PROTECTION COMMENCING ALONG EVAES THROUGH CONSISTING OF TYPE M OR ROLL ROOFING SHALL EXTEND A MINIMUM OF 900MM UP ROOF FROM INSIDE FACE OF EXTERIOR WALLS. EVAES PROTECTION SHALL BE LAID WITH A MINIMUM 100MM HEAD AND END LAPS CEMENTED TOGETHERR WITH APPROVED SEALANT OR USE OF SELF SEALING COMPOSITE SHEATHING.
4. VALLEYS TO BE PROVIDED TWO LAYERS OF APPROVED ROOFING PAPER AND VLLEY FLASHING TO BE MINIMUM 610MM WIDE PRE–FINISHED SHEET METAL.
5. PROVIDE PRE–FINISHED STEP FLASHING AND COUNTER FLASHING AT INTERSECTION OF SHINGLED ROOFS WITH VERTICAL WALLS, MASONRY OR OTHERWISE.
6. SHEET METAL FLASHING SHALL CONSIST OF 12GA PRE–FINISHED METAL FLASHING OR 2 OZ COPPER FABRIC FLASHING WHERE NOT EXPOSED.
7. ENERGY EFFICIENCY OF DWELLING AS PER ZONE1, OBC MINIMUM THERMAL PERFORMANCE REQUIREMENTS FOR HEATING EQUIPMENT WITH AFUE OF 90% MINIMUM.
8. MINIMUM THERMAL INSULATION LEVELS FOR THERMAL INSULATION OF ENVELOPS AS PER COMPLIANCE PACKAGE – TABLE 3.1.1.2.A (AS) OF SB–12 AND AS FOLLOWS.
 - CEILING WITH ATTICS R50
 - CEILING WITHOUT ATTICS R31
 - EXTERIOR WALLS R19+5ci
 - EXPOSED FLOOR R35
 - WINDOWS AND GLASS DOOR U–VALUE 0.28(ENERGY RATING 25)
 - SPACE HEATING EQUIPMENT MIN. AUFE 94%
 - HEAT RECOVERY VENTILATOR MIN. SRE 70%
 - DOMESTIC WATER HEATER MIN. EF 0.80
9. ALL INSULATION TO BE PROTECTED WITH MINIMUM 13MM THICK GYPSUM WALL BOARD.
10. DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIR TIGHT WITH DUCT TAPE AND/OR SEALANT.
11. CAULK ALL EXTERIOR WALLS AT FRAMES OF DOORS, WINDOWS, EUIPMENT OPENINGS, VENTS, LOUVERS AND OUTLETS.
12. WEATHER STRIP ALL EXTERIOR DOORS, DOORS TO COLD SPACES, WINDOWS AND ATTIC ACCESS HATCH.
13. WALLS AND CEILING OF GARAGE SHALL BE CLAD WITH TWO LAYERS OF 13MM EXTERIOR GRADE PLYWOOD OR GYPSUM BOARD OR COMBINATION WITH EDGES OF OUTER LAYER LAPPED OVER INNER LAYER MINIMUM 300MM.
14. ALL JOINTS IN GYPSUM BOARD PROVIDING GAS PROOF SEAL BETWEEN AND DWELLING TO BE TAPED AND SEALED WITH 2 COATS OF GYPSUM BOARD COMPOUND.
15. ALL PENETRATIONS THROUGH GAS PROOFED WALLS SHALL BE CAULKED WITH APPROVED ACRYLIC BASED SEALANT.

DESIGN CONSULTANTS	ENGINEERING CONSULTANTS														
SACHIN TRIVEDI SACHINTRARCH@GMAIL.COM 647.907.4139	VIN ENGINEERING INC. SUNILS@VINGCINC.COM 416.270.3933														
<table><tr><td></td><td></td></tr><tr><td>1</td><td>NOV 25, 2019</td></tr><tr><td>No</td><td>Date</td></tr><tr><td colspan="2">ISSUED FOR BUILDING PERMIT</td></tr><tr><td colspan="2">Revisions</td></tr><tr><td>DRAWN BY : ST</td><td>DATE : NOV 25, 2019</td></tr><tr><td>CHECKED BY :SS</td><td>SCALE :</td></tr></table>				1	NOV 25, 2019	No	Date	ISSUED FOR BUILDING PERMIT		Revisions		DRAWN BY : ST	DATE : NOV 25, 2019	CHECKED BY : SS	SCALE :
1	NOV 25, 2019														
No	Date														
ISSUED FOR BUILDING PERMIT															
Revisions															
DRAWN BY : ST	DATE : NOV 25, 2019														
CHECKED BY : SS	SCALE :														
PROJECT:															
<div><div>PROPOSED BASEMENT APARTMENT 109 LAWRENCE PILKINGTON AVE MARKHAM ON L6B 1C9</div><div></div></div>															
DRAWING TITLE : SCHEDULES & NOTES	A-02														



NOTES:

- EXISTING 2 CAR PARKING SPACE 2.75mx5.8m EACH TO REMAIN
- EXISTING SLOPED CONCRETE FLOOR INSIDE THE GARAGE TO REMAIN
- WALL & CEILING ASSEMBLIES SEPARATING GARAGE SPACE SERVING MAIN DWELLING UNIT AND UNIT ABOVE GARAGE SHALL BE MIN. 1 HR FRR AND 50 STC RATING
- CONTRACTOR TO REMOVE ROOF TRUSS, ROOFING, EAVESTROUGH, ETC. UPTO THE PARTY WALL

WALL AND FLOOR SCHEDULE:

EW1



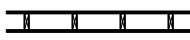
- EXISTING EXTERIOR WALL
- EXISTING BRICK VENEER, AIRSPACE, A/V BARRIER, 13MM PLYWOOD, 2x4 WOOD STUD @ 16" O.C.
 - NEW 2x4 @ 16" O/C TO FORM 2 PLY
 - 1/2" GYPSUM WALL BOARD

EW1m

MODIFIED EXISTING EW1 WALL
(FRR 1 HR AND 48 STC MIN)

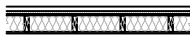
- EXISTING BRICK VENEER, AIRSPACE, A/V BARRIER, 13MM PLYWOOD, 2x4 WOOD STUD @ 16" O.C.
- NEW 2x6 @ 16" O/C TO FORM 2 PLY
- R22/23 ROXUL COMFORT BATT INSULATION,
- 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED
- 5/8" MM TYPE 'X' GYPSUM WALL BOARD

EW2



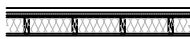
- EXISTING PARTY WALL
(WALL ASSEMBLY W1d PER NBC:FRR 1 HR AND 32 STC)
- 5/8" TYPE 'X' GYPSUM WALL BOARD
 - 2x6 WOOD STUDS @ 16" O.C.
 - 5/8" TYPE 'X' GYPSUM WALL BOARD

W1



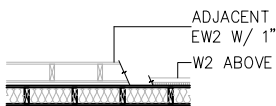
- JAMES HARDIE PLANK FIBRE CEMENT SIDING (MAKE AND COLOUR TBD)
- 1" THICK WOOD STRAPPING
- 1" POLYISO-CYANURATE INSULATION(R=5.6)
- DRAINAGE LAYER, ADHESIVE
- CONTINUOUS TROWEL BASED AIR BARRIER
- 13MM DENSGLASS GOLD SHEATHING
- 2x4 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION
- 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED
- 1/2" GYPSUM WALL BOARD

W2



- JAMES HARDIE PLANK FIBRE CEMENT SIDING (MAKE AND COLOUR TBD)
- 1" THICK WOOD STRAPPING
- 1" POLYISO-CYANURATE INSULATION(R=5.6)
- DRAINAGE LAYER, ADHESIVE
- CONTINUOUS TROWEL BASED AIR BARRIER
- 5/8" TYPE 'X' GYPSUM WALL BOARD
- 2x4 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION
- 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED
- RESILIENT METAL CHANNEL @ 16" O.C.
- 5/8" TYPE 'X' GYPSUM WALL BOARD

W3



(WALL ASSEMBLY W3B PER NBC:FRR 1HR AND 48 STC)

- 5/8" TYPE 'X' GYPSUM WALL BOARD
- 2x4 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION
- 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED
- RESILIENT METAL CHANNEL @ 16" O.C.
- 5/8" TYPE 'X' GYPSUM WALL BOARD

W4



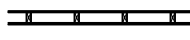
- (WALL ASSEMBLY W8A PER NBC:FRR 1.5HR AND 52 STC)
- 5/8" TYPE 'X' GYPSUM WALL BOARD
 - 2x4 WOOD STUD (STUD ON THE ENDS FASTENED TO THE EXISTING WALL)
 - 1" CAVITY
 - 2x4 WOOD STUD (STUD ON THE ENDS FASTENED TO THE EXISTING WALL)
 - 2 LAYERS 5/8" TYPE 'X' GYPSUM WALL BOARD ON STAIR SIDE
 - (WALL THICKNESS TO MATCH EXISTING ADJACENT)

W5



- STRUCTURAL COLUMN (REFER TO STUCTURAL DWGS)
- STUD WELDED TO STEEL COLUMN
- 13MM PLYWOOD
- 1" RIGID INSULATION
- STUCCO FINISH WITH REINFORCING MESH, BASE & TOP COAT

P1

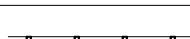


- 1/2" GYPSUM WALL BOARD
- 2x4 WOOD STUDS @ 16" O.C
- 1/2" GYPSUM WALL BOARD / 13MM DENSSHIELD TILE BACKER ON WASHROOM/KITCHEN SIDE

P1A



P2



- (90 MIN. FIRE RATED WALL AS PER TABLE 2.3.4.A. AND 2.3.4.C OF SB-2 OF OBC)
- VOID
 - 2x4 WOOD STUDS @ 16" O.C
 - 2 LAYERS 1/2" TYPE 'X' GYPSUM WALL BOARD

F1



(FLOOR ASSEMBLY F1e PER NBC:FRR 1 HR AND 53 STC)

- ONE SUBFLOOR LAYER OF 15.5MM PLYWOOD
- WOOD JOISTS/LVL AS PER STRUCTURAL DRAWINGS
- MINIMUM 35 CLOSED CELL SPRAY-IN-PLACE FOAM INSULATION (ACTS AS AIR AND VAPOUR BARRIER)
- RESILIENT METAL CHANNELS 406 O.C. ATTACHED TO 38x89 WOOD FRAMING, HUNG FROM JOISTS/LVL BY 38x38 HANGERS
- ONE LAYER OF 15.9 TYPE 'X' GYPSUM WALL BOARD, PAINT FINISH

F2



- ONE SUBFLOOR LAYER OF 15.5MM PLYWOOD
- WOOD JOISTS/LVL AS PER STRUCTURAL DRAWINGS
- MINIMUM 35 CLOSED CELL SPRAY-IN-PLACE FOAM INSULATION (ACTS AS AIR AND VAPOUR BARRIER)
- 13MM DENSGLASS GOLD SHEATHING ATTACHED TO 38x89 WOOD FRAMING HUNG BY 38x38 WOOD HANGERS
- STUCCO PLASTER FINISH

DESIGN CONSULTANTS

SACHIN TRIVEDI
SACHINTRARCH@GMAIL.COM
647.907.4139

ENGINEERING CONSULTANTS

VIN ENGINEERING INC.
SUNILS@VINGCINC.COM
416.270.3933

1 NOV 25, 2019 ISSUED FOR BUILDING PERMIT

DRAWN BY : ST

DATE : NOV 25, 2019

CHECKED BY :SS

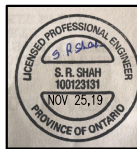
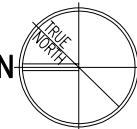
SCALE : 3/16" = 1'-0"

PROJECT:

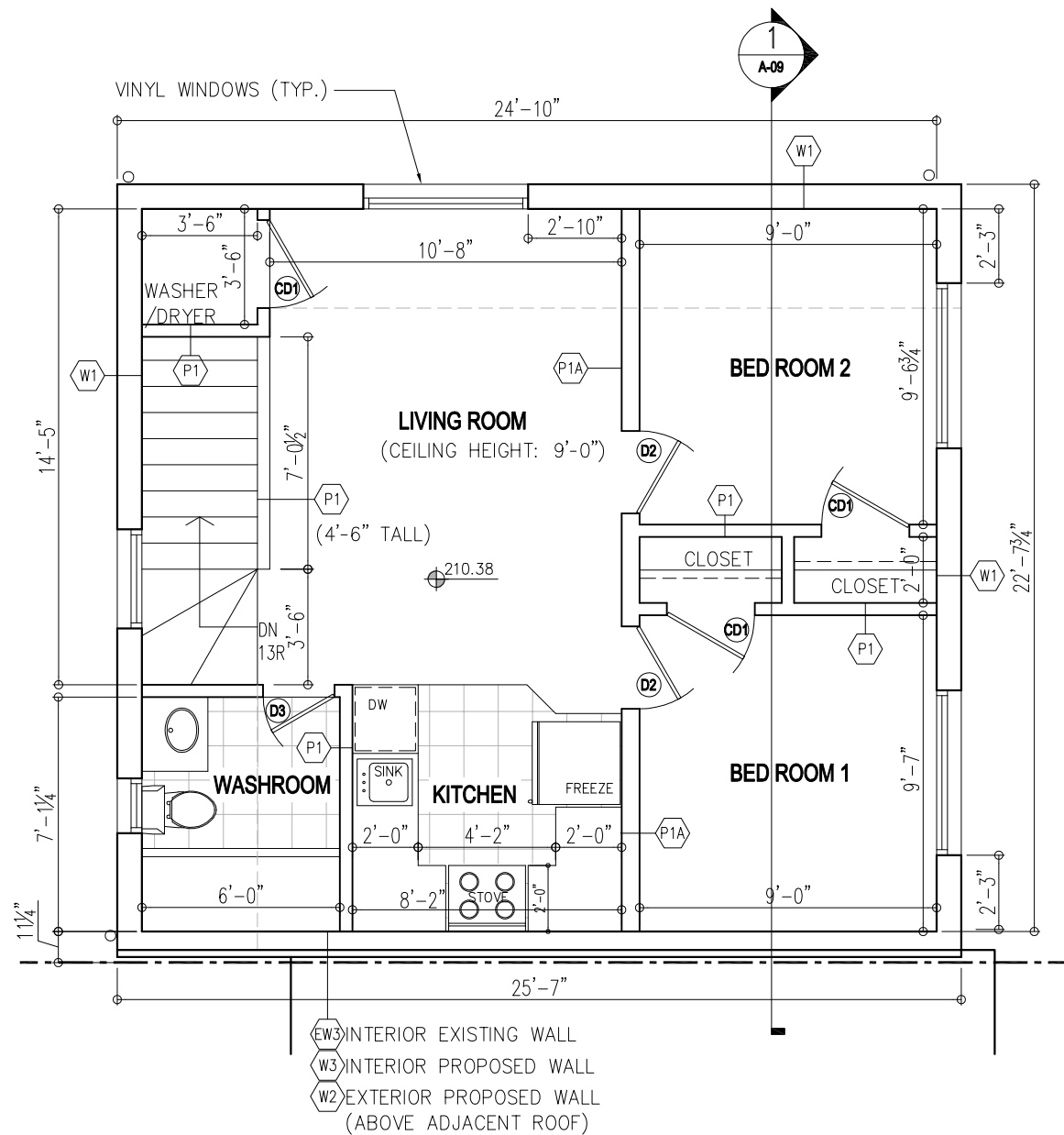
PROPOSED BASEMENT APARTMENT
109 LAWRENCE PILKINGTON AVE
MARKHAM ON L6B 1C9

DRAWING TITLE :

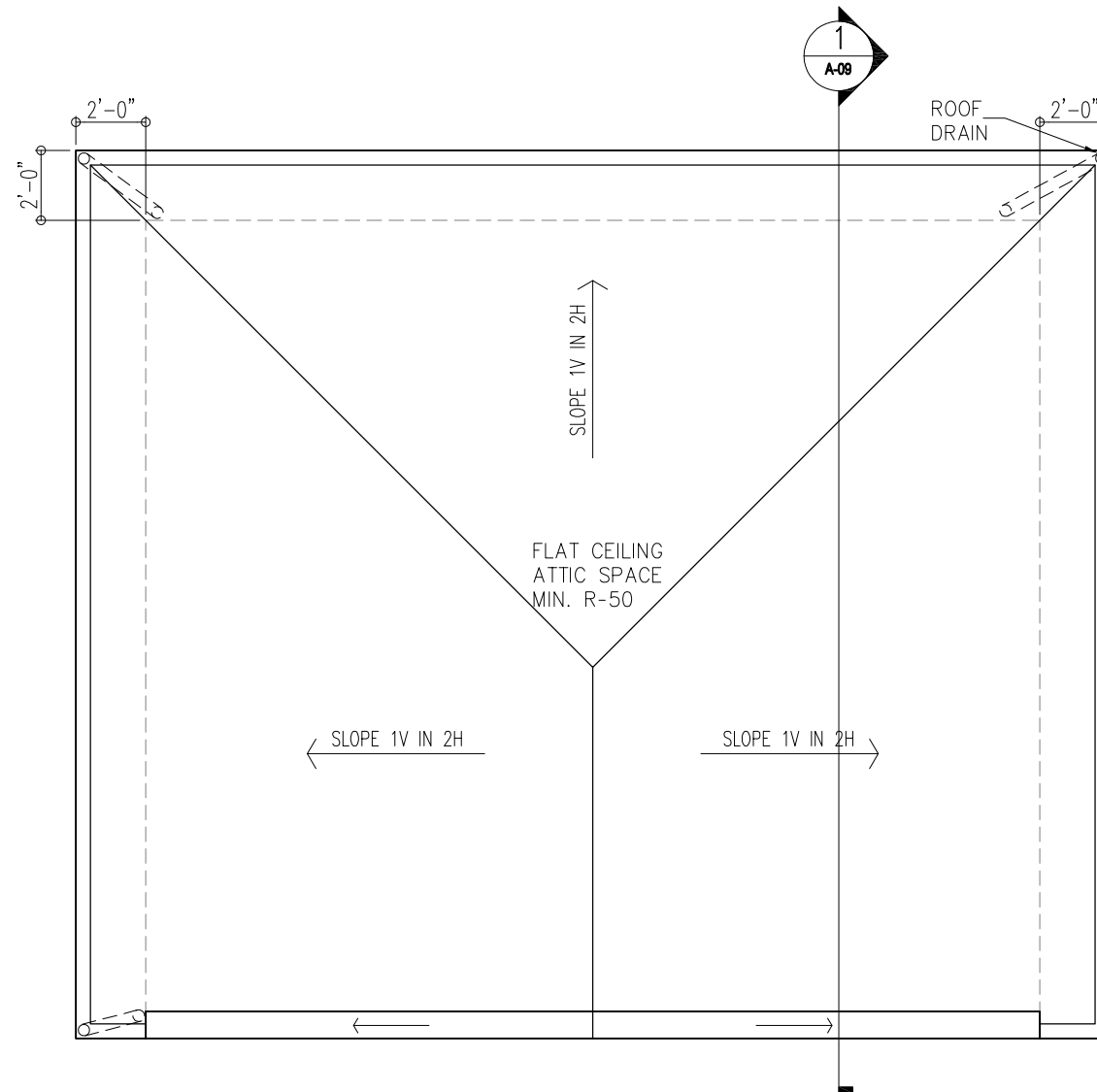
GROUND FLOOR PLAN



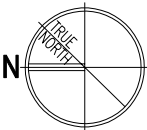
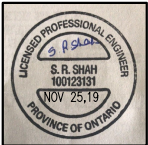
A-03

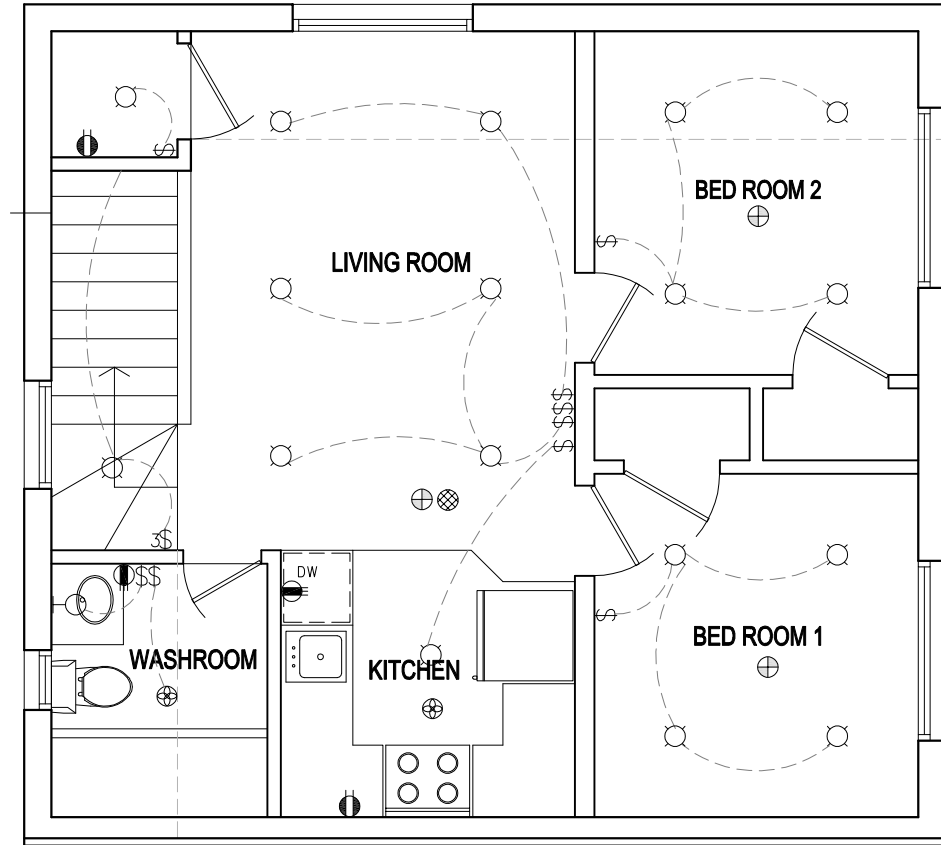
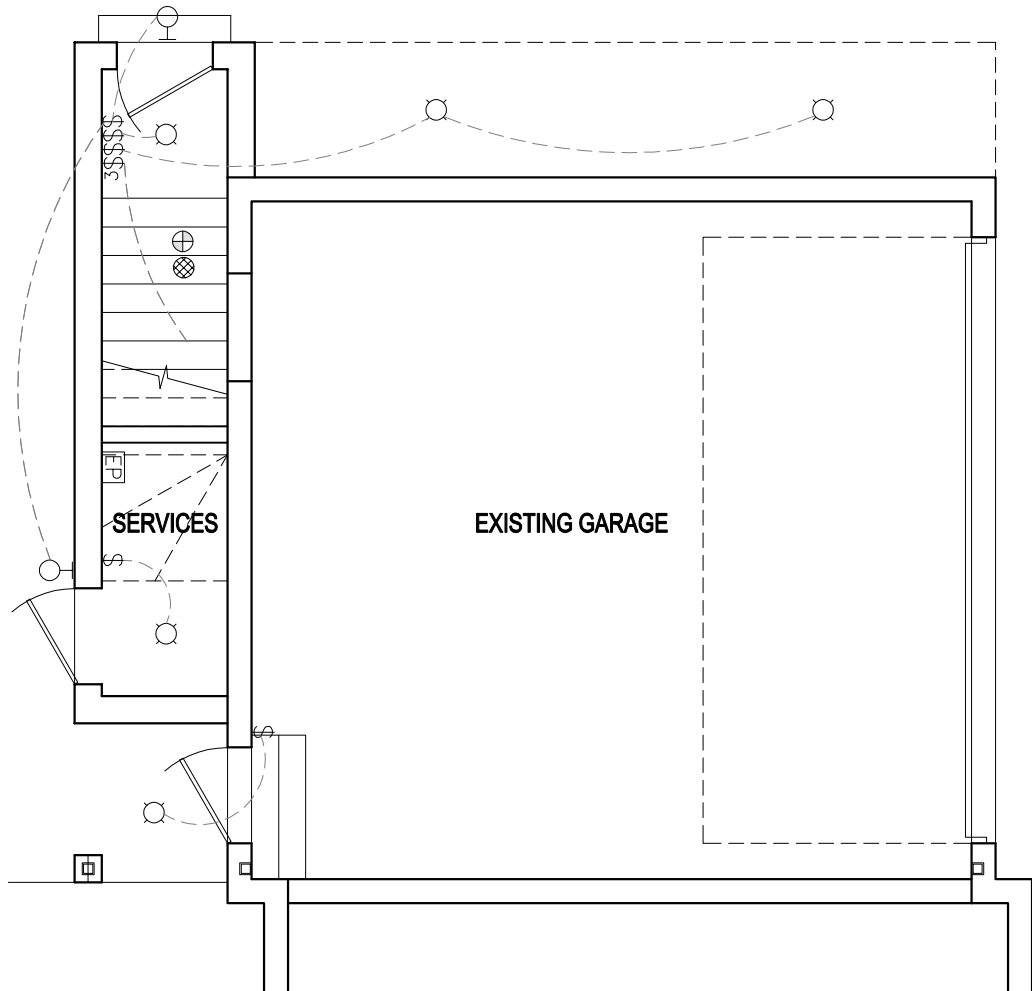


SECOND FLOOR PLAN












ROOF PLAN

DESIGN CONSULTANTS		ENGINEERING CONSULTANTS	
SACHIN TRIVEDI SACHINTRARCH@GMAIL.COM 647.907.4139		VIN ENGINEERING INC. SUNILS@VINGCINC.COM 416.270.3933	
			
1 NOV 25, 2019 ISSUED FOR BUILDING PERMIT			
No Date Revisions			
DRAWN BY : ST DATE : NOV 25, 2019			
CHECKED BY :SS SCALE : 3/16" : 1'-0"			
PROJECT:			
PROPOSED BASEMENT APARTMENT			
109 LAWRENCE PILKINGTON AVE MARKHAM ON L6B 1C9			
DRAWING TITLE :			
SECOND FLOOR PLAN & ROOF PLAN			
		A-04	



ELECTRICAL AND FIRE SAFETY

-  EXHAUST FAN VENTED TO EXTERIOR
-  3 WAY CONTROL SWITCH
-  CONTROL SWITCH
-  CEILING LIGHT FIXTURE
-  WALL MOUNTED LED LIGHT FIXTURE

-  15A, 120V GFCI DUPLEX RECEPTACLE
-  50A, 208V RECEPTACLE AT STOVE & DRIER
-  SMOKE ALARM
INSTALL SMOKE ALARM IN EVERY DWELLING UNIT AND COMMON AREAS PER OBC 9.10.19. ENSURE THEY ARE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGN
-  CARBON MONOXIDE DETECTOR
HARD WIRE CONNECTED CARBON MONOXIDE DETECTORAS PER CAN/CSA-6.19

NOTES:

- CONTRACTOR TO VERIFY EXISTING ELECTRICAL SERVICES BEFORE PRICING THIS CONTRACT.
- THE EXISTING IS 120/240V, 1PH, 3W SERVICE IN BASEMENT OF EXISTING MAIN HOUSE / DWELLING UNIT.
- THE NEW 120/240V 10, 3W 125AMP, 24 CIRCUIT PANEL TO BE INSTALLED UNDER STAIRCASE OF NEW COACH HOUSE ADDITION.
- CONTRACTOR TO PROVIDE 60A FEEDERS, DISCONNECT PANEL AS REQUIRED, UPGRADE EXISTING PANEL IF REQUIRED AS PER E.S.A.
- CONTRACTOR TO GET ALL CLEARANCE, APPROVALS AND PERMITS NEEDED FOR INSTALLATION AND CERTIFICATION OF APPROVAL AFTER THE INSTALLATION FROM E.S.A.

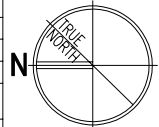
DESIGN CONSULTANTS

SACHIN TRIVEDI
SACHINTRARCH@GMAIL.COM
647.907.4139

ENGINEERING CONSULTANTS

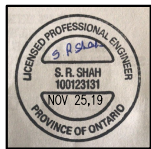
VIN ENGINEERING INC.
SUNILS@VINGCINC.COM
416.270.3933

1	NOV 25, 2019	ISSUED FOR BUILDING PERMIT
No	Date	Revisions
DRAWN BY : ST		DATE : NOV 25, 2019
CHECKED BY :SS		SCALE : 3/16"= 1'-0"



PROJECT:

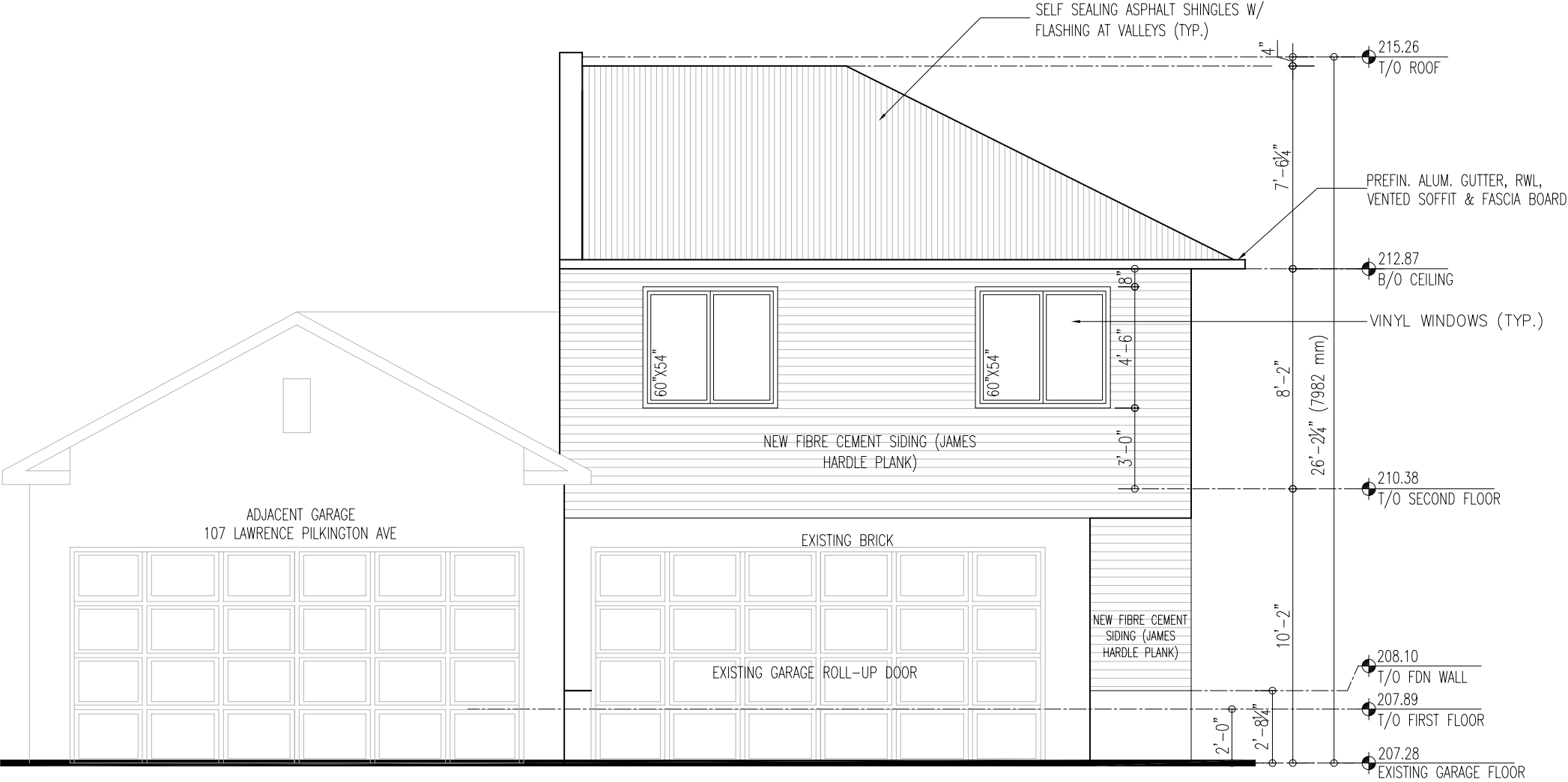
PROPOSED BASEMENT APARTMENT
109 LAWRENCE PILKINGTON AVE
MARKHAM ON L6B 1C9



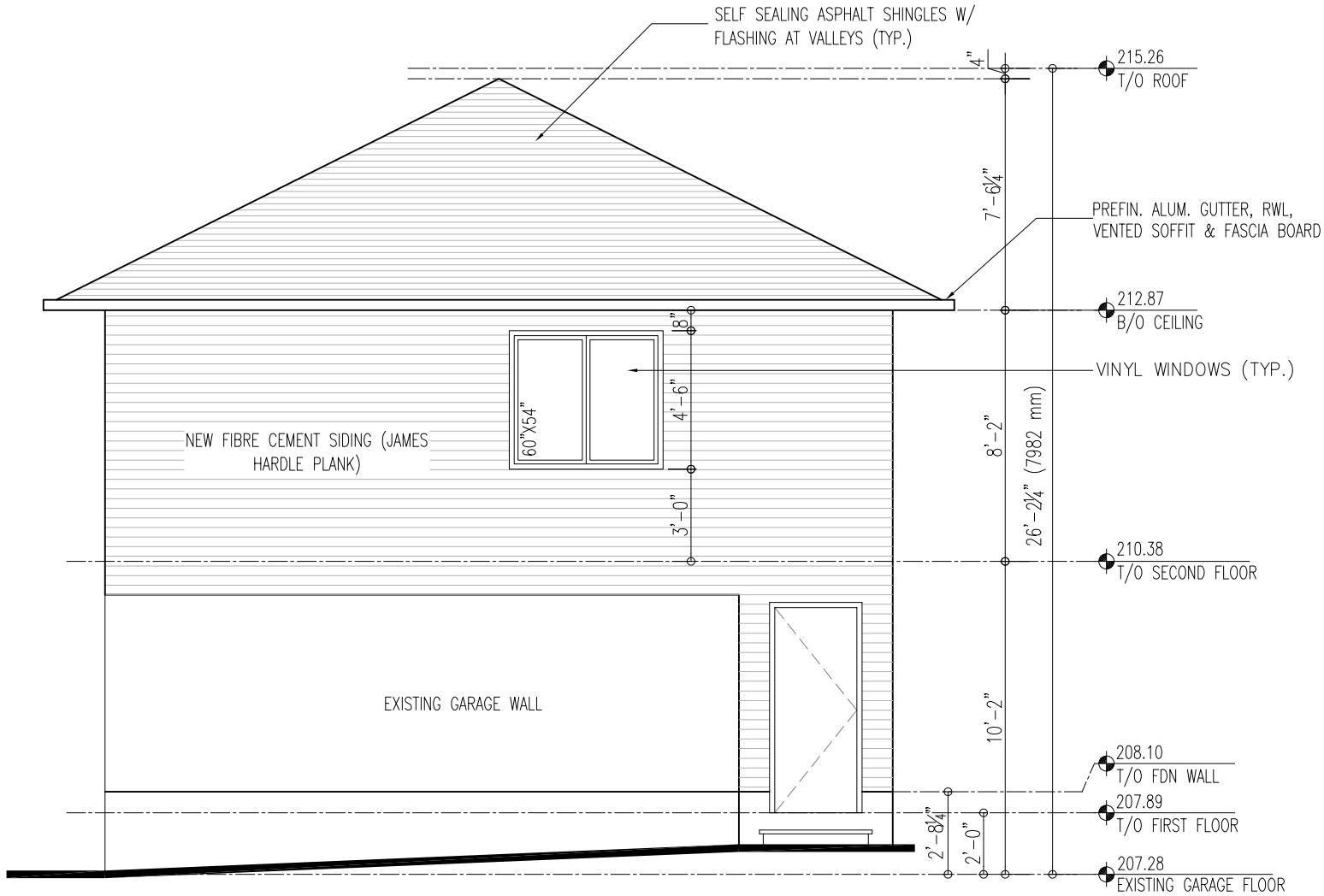
DRAWING TITLE :

**ELECTRICAL & FIRE
SAFETY PLANS**

A-05

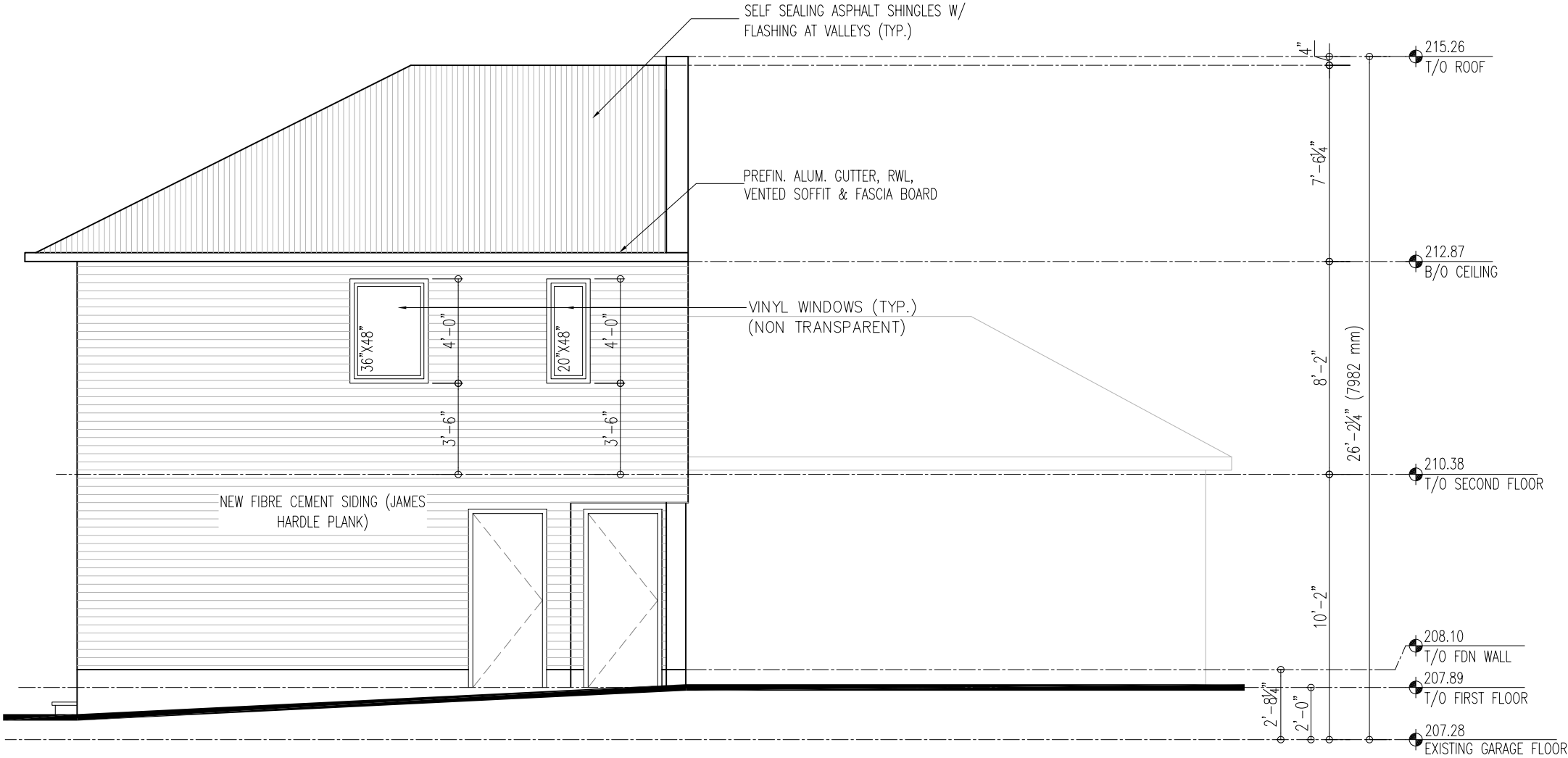


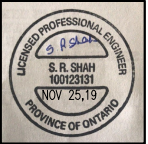
DESIGN CONSULTANTS		ENGINEERING CONSULTANTS	
SACHIN TRIVEDI SACHINTRARCH@GMAIL.COM 647.907.4139		VIN ENGINEERING INC. SUNILS@VINGCINC.COM 416.270.3933	
1 NOV 25, 2019		ISSUED FOR BUILDING PERMIT	
No	Date	Revisions	
DRAWN BY : ST		DATE : NOV 25, 2019	
CHECKED BY : SS		SCALE : 3/16": 1'-0"	
PROJECT:			
PROPOSED BASEMENT APARTMENT 109 LAWRENCE PILKINGTON AVE MARKHAM ON L6B 1C9			
DRAWING TITLE :			
SOUTH ELEVATION		A-06	



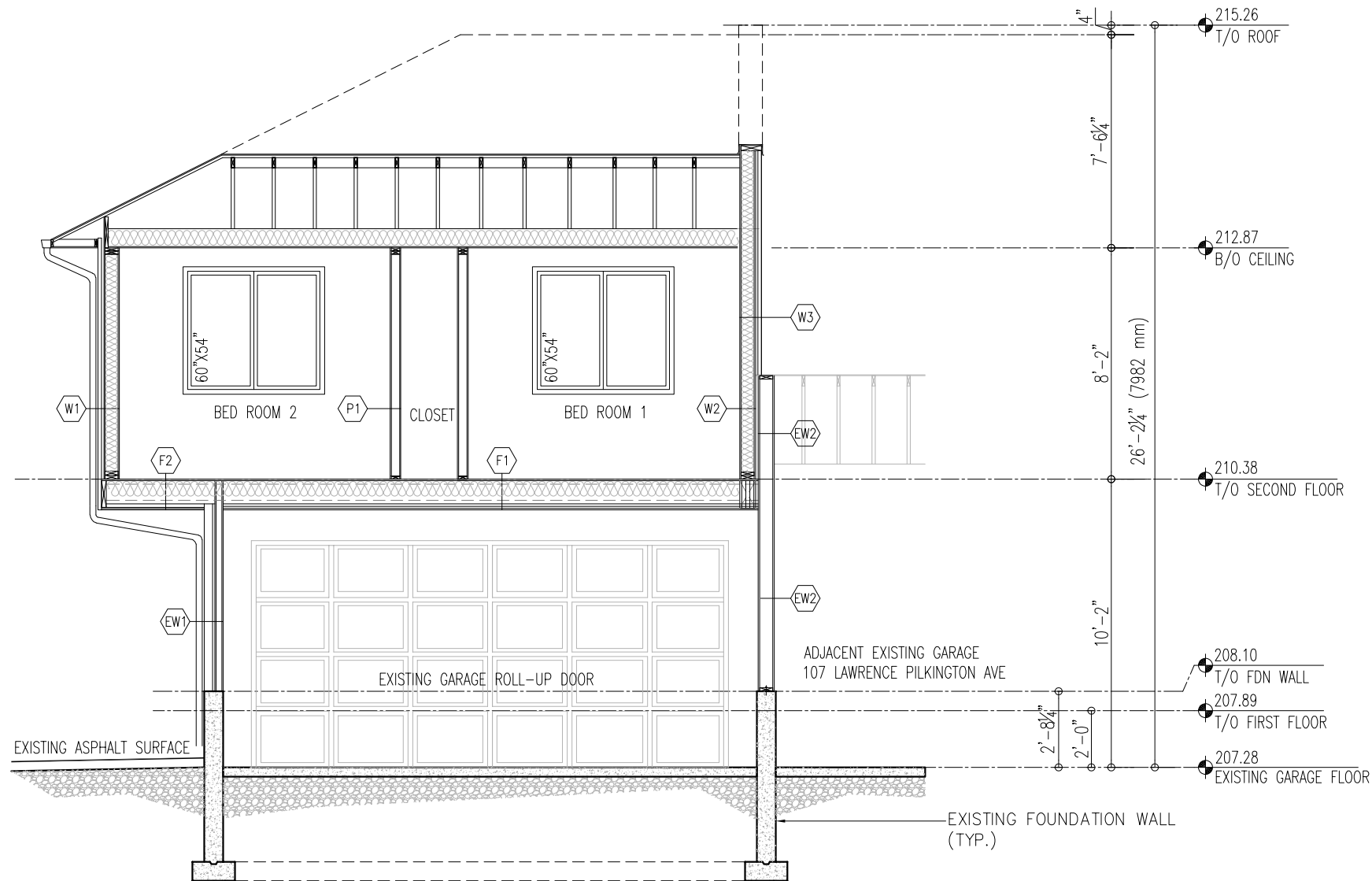
DESIGN CONSULTANTS		ENGINEERING CONSULTANTS							
SACHIN TRIVEDI SACHINTRARCH@GMAIL.COM 647.907.4139		VIN ENGINEERING INC. SUNILS@VINGCINC.COM 416.270.3933							
<table><tr><td>1</td><td>NOV 25, 2019</td><td>ISSUED FOR BUILDING PERMIT</td></tr><tr><td>No</td><td>Date</td><td>Revisions</td></tr></table>		1	NOV 25, 2019	ISSUED FOR BUILDING PERMIT	No	Date	Revisions		
1	NOV 25, 2019	ISSUED FOR BUILDING PERMIT							
No	Date	Revisions							
DRAWN BY : ST DATE : NOV 25, 2019									
CHECKED BY : SS SCALE : 3/16"= 1'-0"									
PROJECT:									
PROPOSED BASEMENT APARTMENT 109 LAWRENCE PILKINGTON AVE MARKHAM ON L6B 1C9									

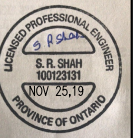
DRAWING TITLE :	A-07
EAST ELEVATION	



DESIGN CONSULTANTS		ENGINEERING CONSULTANTS	
SACHIN TRIVEDI SACHINTRARCH@GMAIL.COM 647.907.4139		VIN ENGINEERING INC. SUNILS@VINGCINC.COM 416.270.3933	
1 NOV 25, 2019		ISSUED FOR BUILDING PERMIT	
No	Date	Revisions	
DRAWN BY : ST		DATE : NOV 25, 2019	
CHECKED BY : SS		SCALE : 3/16"= 1'-0"	
PROJECT:		PROPOSED BASEMENT APARTMENT 109 LAWRENCE PILKINGTON AVE MARKHAM ON L6B 1C9	
DRAWING TITLE :			

NORTH ELEVATION	A-08
------------------------	-------------



DESIGN CONSULTANTS		ENGINEERING CONSULTANTS	
SACHIN TRIVEDI SACHINTRARCH@GMAIL.COM 647.907.4139		VIN ENGINEERING INC. SUNILS@VINGCINC.COM 416.270.3933	
1 NOV 25, 2019		ISSUED FOR BUILDING PERMIT	
No	Date	Revisions	
DRAWN BY : ST		DATE : NOV 25, 2019	
CHECKED BY : SS		SCALE : 3/16" = 1'-0"	
PROJECT:			
PROPOSED BASEMENT APARTMENT 109 LAWRENCE PILKINGTON AVE MARKHAM ON L6B 1C9			
DRAWING TITLE :			
BUILDING SECTION		A-09	