

Memorandum to the City of Markham Committee of Adjustment
February 07, 2018

File: A/01/18
Address: 25 Elm Street, Markham
Applicant: Ivana and Peter Venderis
Agent: Ivana Venderis
Hearing Date: Wednesday February 21, 2018

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 1229, as amended, R1, to permit:

- a) **Infill By-law 99-90, Section 1.2 (i):**
a maximum building height of 10.65 m (34.9 ft), whereas the By-law permits a maximum building height of 9.80 m (32.2 ft);
- b) **Infill By-law 99-90, Section 1.2 (iii):**
a maximum building depth of 24.87 m (81.6 ft), whereas the By-law permits a maximum building depth of 16.80 m (55.1 ft);
- c) **Infill By-law 99-90, Section 1.2 (vi):**
a maximum net floor area ratio of 51.4 percent, whereas the By-law permits a maximum net floor area ratio of 45 percent.

as it relates to a proposed residential dwelling.

BACKGROUND

Property Description

The subject property is located on the east side of Elm Street, east of Main Street Markham North and north of Highway 7 East. The surrounding neighbourhood includes a mixture of one- and two-storey dwellings, with predominantly two-storey dwellings on the east side of Elm Street. The subject property has an area of 1,017.8 sq. m (10,955.5 sq. ft), lot frontage of 20.2 m (66.3 ft), and depth of approximately 50.8 m (166.7 ft). There is an existing one-storey detached dwelling on the property, which was built in 1954 and has a gross floor area of 104.9 sq. m (1,129.1 sq. ft). The property features a mature tree in the front yard. Vehicular access is via a paved driveway from Elm Street.

Proposal

The applicant proposes to demolish the existing dwelling and construct a new two-storey single detached dwelling with attached two-car garage and interlock driveway. The total gross floor area of the proposed dwelling is 419.2 sq. m (4,512.2 sq. ft), with a ground floor area of 237.2 sq. m (2,553.2 sq. ft) and a second floor area of 182 sq. m (1,959 sq. ft).

Official Plan and Zoning

Official Plan 2014 (partially approved on October 30, 2015, May 26, 2016, March 10, 2017 and April 21, 2017)

The Official Plan 2014 designates the subject property “Residential Low Rise,” which provides for low rise housing forms including single detached dwellings. Within “Residential Low Rise” areas, infill development is required to meet the general intent of Section 8.2.3.5 with respect to lot frontage, lot area, height, massing and setbacks in order to ensure that it is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways, and the overall orientation and sizing of new lots within a residential neighbourhood. Planning staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

Zoning By-law

The subject property is zoned R1 – Single Detached Dwelling under By-law 1229, as amended, which permits single detached dwellings.

Residential Infill Zoning By-law

The subject property is also subject to Residential Infill Zoning By-law 99-90. The intent of this By-law is to ensure that the built form of new residential development will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the building height, building depth, and net floor area ratio requirements of the Infill By-law.

Applicant’s Stated Reason(s) for Not Complying with Zoning

The application form indicates, “Due to the skewed shape of the lot and in order to satisfy the family needs, we require more depth to achieve a workable layout. The roof height has been reduced as much as possible, while still achieving the desired elevation.”

Zoning Preliminary Review Undertaken

The applicant has completed a Zoning Preliminary Review (ZPR) to confirm the variances required for the proposed development. The plans have been revised since the ZPR was completed.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;

- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Building Height

The applicant is requesting relief to permit a maximum building height of 10.65 m (34.9 ft), whereas the By-law permits a maximum building height of 9.80 m (32.2 ft). This represents an increase of 0.85 m (2.8 ft) which in Staff's opinion is minor in nature.

The By-law defines building height as the vertical distance from the crown of the road to the highest point of the roof surface. It is noted that the crown of the road is approximately 0.43 m (1.4 ft) lower than the proposed grade at the front of the dwelling.

The proposed building height is similar in scale to nearby infill developments on Elm Street. Since 2015, five minor variances have been approved on the west side of Elm Street for building heights ranging from 10 to 11 metres. It is noted that the west side of Elm Street has a higher average grade than the east side, which could partially account for these variances. In 2011 and 2012, two nearby properties on the east side of Elm Street were approved for building heights of 10.8 and 10.9 metres.

Increase in Maximum Building Depth

The applicant is requesting relief to permit a maximum building depth of 24.87 m (81.6 ft), whereas the By-law permits a maximum building depth of 16.80 m (55.1 ft). This represents an increase of 8.07 m (26.5 ft).

The By-law defines building depth as including covered porches. It is noted that 6 m (19.7 ft) of the building depth is attributable to one-storey covered porches that are proposed at the front and rear of the property. Views from the street to the rear porch will be screened by the dwelling. The building depth variance should apply only to the proposed development with unenclosed porches and this is a recommended condition of approval.

The By-law defines building depth based on lines drawn parallel to the front lot line. The subject property's front lot line is angled when compared to the orientation of the building. The depth variance is therefore partly attributable to the angle of the front lot line. The orientation of the building is consistent with the majority of the nearby buildings on Elm Street. The main component of the dwelling, excluding the porches, measured between the front and rear wall, is 16.8 m (55.1 ft), which complies with the By-law requirement.

Increase in Maximum Net Floor Area Ratio

The applicant is requesting relief to permit a maximum net floor area ratio of 51.4 percent, whereas the By-law permits a maximum net floor area ratio of 45 percent. This represents an increase of 52.2 sq. m (562.2 sq. ft).

The proposed net floor area ratio is similar to nearby infill developments on Elm Street. Since 2015, four minor variances have been approved in the area for net floor area ratios ranging from 46.4 percent to 52 percent. The proposed setbacks comply with the By-law requirements. It is staff's opinion that the proposed net floor area ratio will not impact surrounding development.

PUBLIC INPUT SUMMARY

No written submissions were received as of February 7, 2018. Additional information may be received after the writing of this report; the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Staff are of the opinion that the variance request satisfies the four tests of the Planning Act and have no objection to approval of the application. It is recommended that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

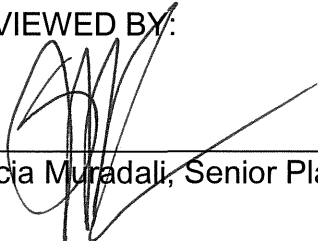
Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Greg Hayes, Committee of Adjustment Technician, Zoning and Special Projects

REVIEWED BY:



Stacia Muradali, Senior Planner, East District

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/01/18

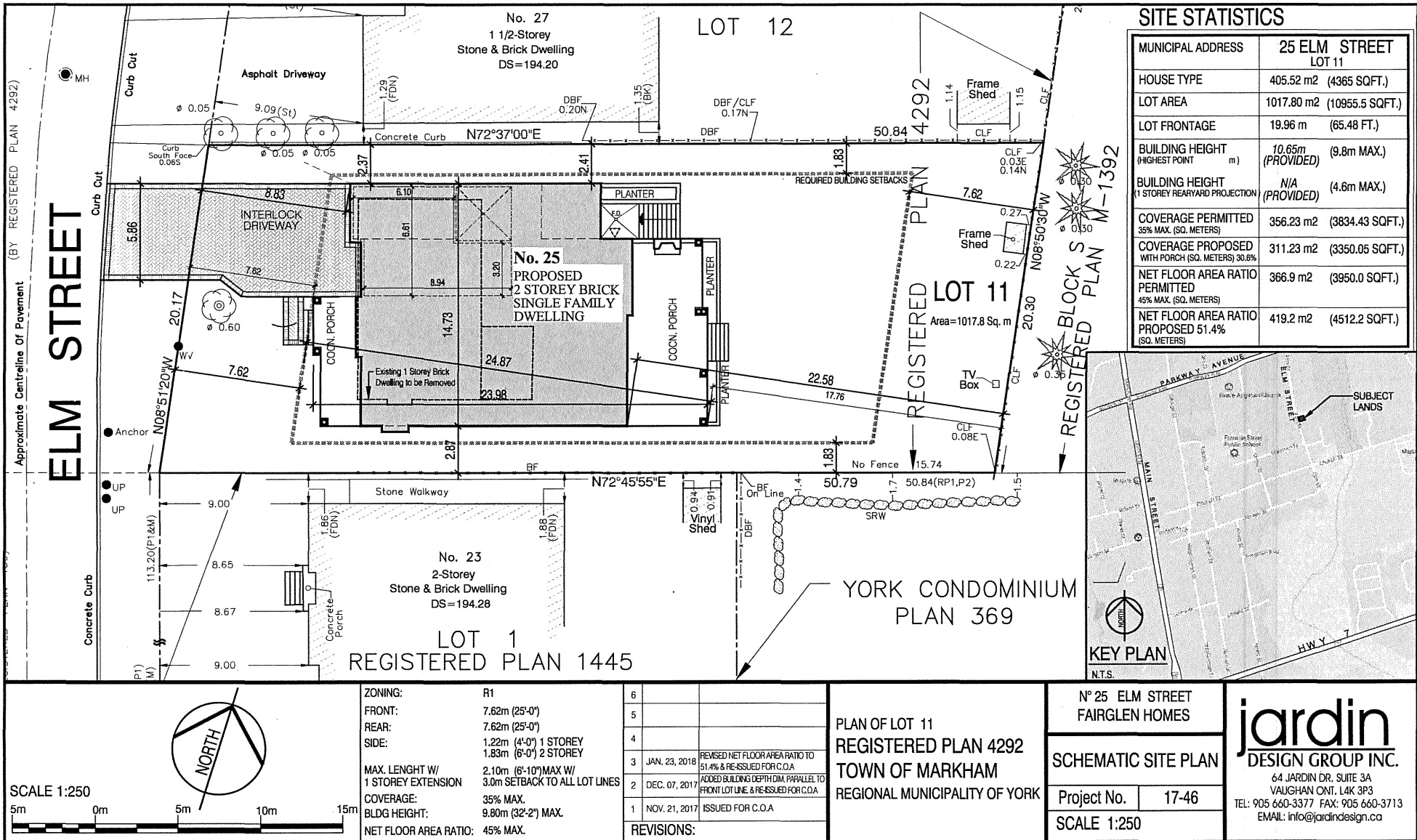
1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the subject development with unenclosed porches, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and dated January 23, 2018, January 25, 2018 and January 31, 2018, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the Owner submits a Tree Assessment and Preservation Plan prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended from time to time to the satisfaction of the Director of Planning and Urban Design, or their designate.
4. That subject to the review and approval of a Tree Assessment and Preservation Plan, tree protection fencing is erected in accordance with the City's Streetscape Manual (2009), as amended from time to time and inspected to the satisfaction of the Director of Planning and Urban Design, or their designate.
5. That subject to the review and approval of a Tree Assessment and Preservation Plan, tree replacements are provided and/or tree replacement fees are paid to the City, if required by the Director of Planning and Urban Design, or their designate.

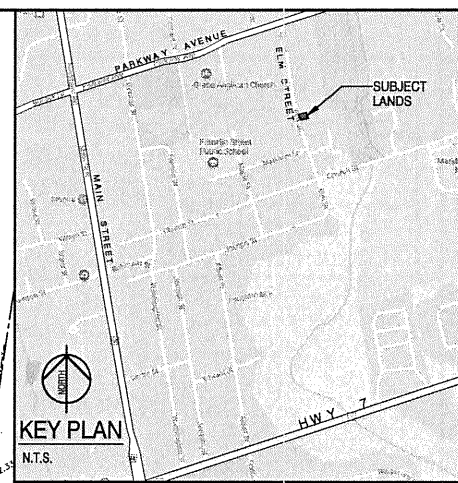
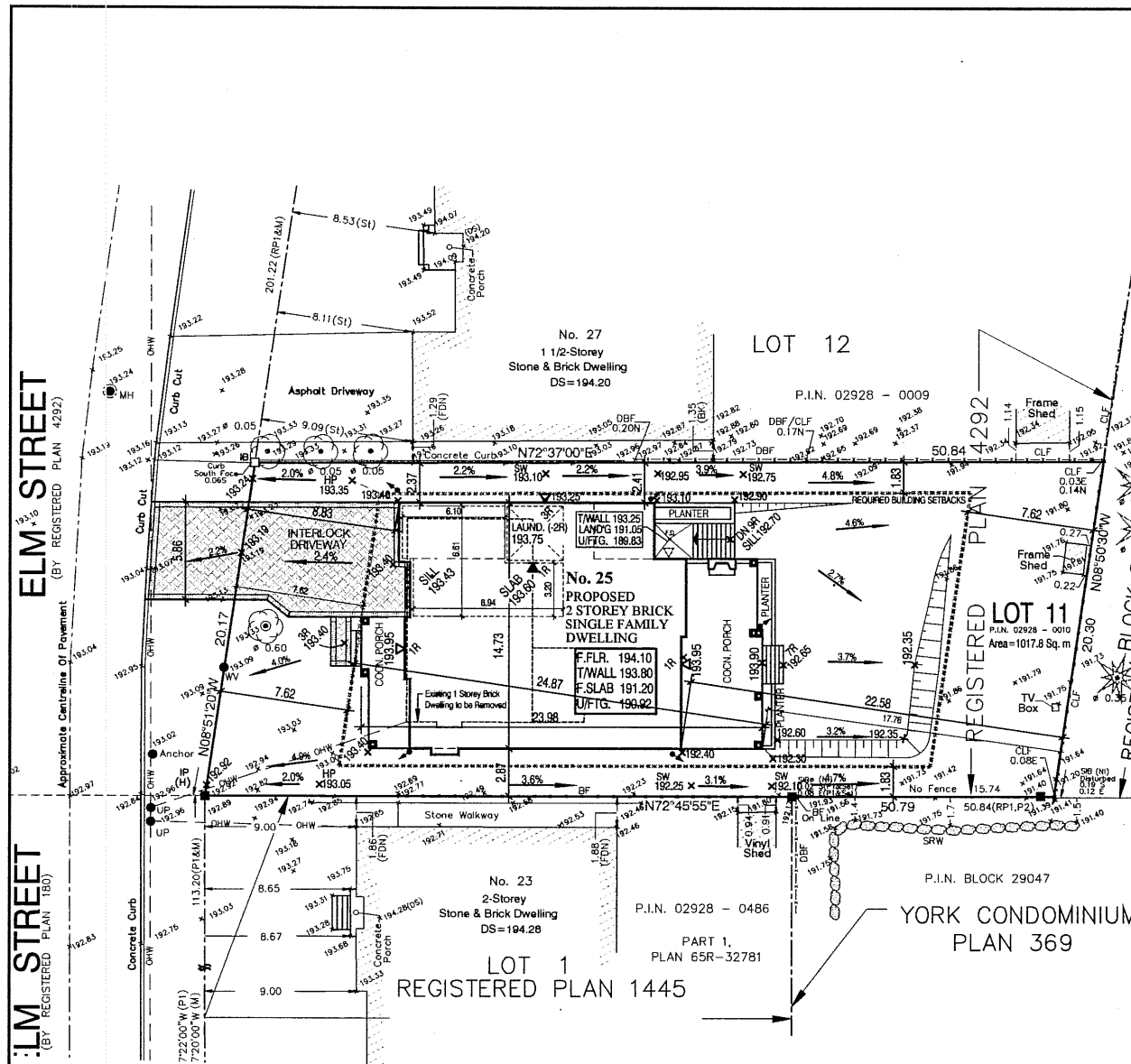
CONDITIONS PREPARED BY:



Greg Hayes, Committee of Adjustment Technician, Zoning and Special Projects

APPENDIX "B"
PLANS SUBMITTED WITH APPLICATION A/01/18





LEGEND


	STORM CONNECTION
	SANITARY CONNECTION
W	WATER CONNECTION
H	HYDRO CONNECTION
	DOUBLE CATCH BASIN
	CATCH BASIN
	STREET LIGHT
	HYDRANT
	TRANSFORMER
	CABLE TV PEDESTAL
	BELL PEDESTAL
	GARAGE DOOR LOCATION
	ENTRANCE DOOR LOCATION
	COMMUNITY WALKWAY
	ENGINEERED PILL LOT
	VALVE AND FLAMMER
	SANITARY MANHOLE
	STORM MANHOLE
	AIR-CONDITIONING UNIT
	PROPOSED GRADE
	EXISTING GRADE
	EXISTING GRADE TO BE MAINTAINED
	PROPOSED SVALE GRADE
	DOWNSPOUT LOCATION
	PROPOSED BERM
	SVALE DIRECTION
	WYDRE METER
	GAS METER
	FINISHED FLOOR ELEVATION
	TOP OF FOUNDATION WALL
	FIN. BASEMENT FLOOR SLAB
	UNDERSTANDING FOOTING ELEVATION

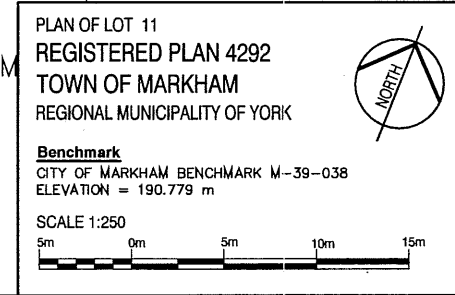
PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

8		
7		
6		
5		
4		
3		
2	JUL 31, 2016	PREPARED GRADED SITE PLAN & ISSUED TO CLIENT FOR REVIEW.
1	NOV 21, 2017	PREPARED GRADED SITE PLAN & ISSUED TO CLIENT FOR REVIEW.
No DATE		WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

<p>W-2: design/prepare full review and audit responsibility, as this design and full the qualifications and direct the review and audit in the On-site Building Code for a designer</p>	
<p>ON-SITE BUILDING INFORMATION</p> <p>Designated on-site design is normal under Division C, Subsection 1.2.2 of the building code</p>	
<p>Walter Bother</p> <p>NAME SIGNATURE</p>	<p>21031</p> <p>BCN</p>
<p>REGISTRATION INFORMATION</p> <p>Designated on-site design is normal under Division C, Subsection 1.2.2 of the building code</p>	
<p>for/in design group inc.</p> <p>FIRM NAME</p>	<p>27763</p> <p>BCN</p>

SITE PLAN		
FAIRGLEN HOMES 25 ELM STREET (MARKHAM)		
 BILD	TYPE	SP
	SCALE	1:250
	PROJ. No.	No.
	17-46	A-01





No. 23 ELM ST.



No. 25 ELM ST.



No. 27 ELM ST.

ELM STREET

6		
5		
4		
3	JAN. 31, 2018	ADDED ESTABLISHED GRADE & CENTERLINE OF ROAD ELEVATIONS RE-ISSUED FOR C.O.A.
2	JAN. 23, 2018	REVISED NET FLOOR AREA RATIO TO 51.4% & RE-ISSUED FOR C.O.A.
1	NOV. 21, 2017	ISSUED FOR C.O.A.
REVISIONS:		

PLAN OF LOT 11
REGISTERED PLAN 4292
TOWN OF MARKHAM
REGIONAL MUNICIPALITY OF YORK

N° 25 ELM STREET
FAIRGLEN HOMES

SCHEMATIC ELEVATIONS

Project No. 17-46

SCALE N.T.S.

jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

CUSTOM HOME



CONC. PAD FOOTING LEGEND (LBS/FT)

CONC. PAD FOOTING LEGEND (LBS/FT)
F1 = 42x14x16 CONCRETE PAD
F2 = 30x10x16 CONCRETE PAD
F3 = 30x10x16 CONCRETE PAD
F4 = 30x10x16 CONCRETE PAD
F5 = 24x12x16 CONCRETE PAD
F6 = 30x10x16 CONCRETE PAD

STEEL AND BUILT-UP WOOD POSTS LEGEND

WOOD POSTS TO BE SPRUCE NO 2 UNLESS OTHERWISE SPECIFIED

STEEL AND BUILT-UP WOOD POSTS LEGEND
P1 = 2" x 4"
P2 = 2" x 4"
P3 = 2" x 4"
P4 = 2" x 4"
P5 = 3" x 6"
P6 = 4" x 4"
P7 = 3" x 4" x 5 1/4" LVL 2.0E KING STUDS
P8 = 1.5S 2X6S 1 1/4" W/ 12X12X10 (4" TOP AND BOTTOM STEEL PLATES WITH 2-1/2" THRU BOLTS)
SP1 = HSS 3 1/2" x 1 1/4" STL POST W/ 5" x 5" x 10" BASE PLATE - 2-5/8" Ø x 8" LONG ANCHORS - 4-1/2" TOP PLATE

WOOD LINTELS:

WOOD LINTELS:
WL1 = 2" x 8" SPRUCE BEAM
WL2 = 3" x 8" SPRUCE BEAM
WL3 = 2" x 10" SPRUCE BEAM
WL4 = 3" x 10" SPRUCE BEAM
WL5 = 3" x 12" SPRUCE BEAM
WL6 = 3" x 12" SPRUCE BEAM
WL7 = 5" x 12" SPRUCE BEAM
WL8 = 4" x 2" x 8" SPRUCE BEAM
WL9 = 4" x 2" x 12" SPRUCE BEAM
LSL = 3" x 12" SPRUCE BOARD

STEEL LINTELS:

STEEL LINTELS:
L1 = 3 1/2" x 3 1/2" x 1/4" (100 x 100 x 8)
L2 = 4" x 3 1/2" x 1/4" (100 x 100 x 8)
L3 = 5" x 3 1/2" x 1/4" (125 x 100 x 8)
L4 = 6" x 3 1/2" x 1/4" (150 x 100 x 10)
L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L6 = 7" x 4" x 3/8" (150 x 100 x 10)

DOOR SCHEDULE:

DOOR SCHEDULE:
1 = 3'0" x 8'0" INSULATED ENTRANCE DOOR
2 = 2'0" x 8'0" (8'0" INSUL. EXT. DOOR
3 = 2'0" x 8'0" (8'0" INSUL. INT. DOOR
4 = 2'0" x 8'0" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'0" x 8'0" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'0" x 8'0" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'0" x 8'0" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'0" x 8'0" (8'0" INTERIOR DOOR (1 3/8" INTERIOR)

BRICK VENEER LINTELS:

BRICK VENEER LINTELS:
WL-1 = 3 1/2" x 3 1/2" x 1/4" (100x100x8) + 2-2x8" SPR.
WL-2 = 4" x 3 1/2" x 1/4" (100x100x8) + 2-2x8" SPR.
WL-3 = 5" x 3 1/2" x 1/4" (125x100x8) + 2-2x10" SPR.
WL-4 = 6" x 3 1/2" x 1/4" (150x100x10) + 2-2x10" SPR.
WL-5 = 6" x 4" x 3/8" (150x100x10) + 2-2x10" SPR.
WL-6 = 5" x 3 1/2" x 1/4" (125x100x8) + 2-2x12" SPR.
WL-7 = 5" x 3 1/2" x 1/4" (125x100x8) + 3-2x10" SPR.
WL-8 = 5" x 3 1/2" x 1/4" (125x100x8) + 3-2x10" SPR.
WL-9 = 6" x 4" x 3/8" (150x100x10) + 3-2x12" SPR.

NOTE:

EXTEND R WALLS SUPPORTING TRUSSES WITH SPAN GREATER THAN 8'-0" SHALL BE TIED AT THE BASE TO THE WALL BELOW WITH STEEL STRIPS @ 4" O.C. MAX. OR TO FOUNDATION WALL BELOW WITH MSTEAD @ 8" O.C. MAX.

NOTE:
1. CONC. FOOTING TO REST ON UNEXCAVATED SOIL WITH MIN. BEARING CAPACITY OF 1500 PSF.
2. CONC. FOOTINGS ON SOILS WITH BEARING CAPACITY < 1500 PSF TO BE SPECIFIED BY STRUCTURAL ENGINEER. SEE GENERAL NOTES FOR CONC. STRENGTH.
3. MIN. BEARING CAPACITY OF SOILS LESS THAN 1500 PSF, STRUCTURAL ENGINEER SHOULD BE NOTIFIED IMMEDIATELY PRIOR TO COMMENCEMENT OF WORK.
4. ALL FOOTINGS ON ENGINEER SHALL BE INSPECTED BY A SOIL ENGINEER.

NOTE:

PROVIDE FLOOR JOISTS AT 12" O.C. BENEATH ALL CONCRETE SLABS.

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE MANUFACTURER'S APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

FOR SIZES PERTAINING TO WOOD LINTELS, STEEL LINTELS, BRICK VENEER LINTELS, AND DOORS REFER TO THIS SHEET OR GWH.

NOTE A:

6-0" HORIZONTAL REBAR
1-8" DIA. FACE
4" TOP OF FOUNDATION WALL
8" VERTICAL FACING
3" CLEAR COVER OUTSIDE FACE
3" CLEAR COVER INSIDE FACE, OPENING
EXTEND 24" POST OPENING EACH SIDE.

NOTE:

WOOD LINTELS TO HAVE A MINIMUM BEARING LENGTH OF 3'-0"

NOTE:

MAX. GRADE NOT TO EXCEED 7'-6" WHERE FOUNDATION WALL IS NOT LATERALLY SUPPORTED BY FLOOR JOISTS, MAX. GRADE NOT TO EXCEED 4'-0"

NOTE:

JOISTS RUNNING PARALLEL TO FOUNDATION WALL SHALL BE BLOCKED FOR A MINIMUM OF 3 JOISTS.

C1:

3-1/2" x 3-1/2" STEEL PIPE COLUMN
ON 4" x 8" STEEL TOP PLATE
ON 4" x 8" STEEL BOTTOM PLATE
ON 4" x 8" STEEL ANCHORS AT BASE
IF LONG WITH 2' HOOK.

C2:

HSS 3-1/2" x 3-1/2" x 1/4"
ON 4" x 8" STEEL TOP PLATE
ON 4" x 8" STEEL BOTTOM PLATE
ON 4" x 8" STEEL ANCHORS AT BASE
IF LONG WITH 2' HOOK.

NOTE:

ALL INTERIOR LOAD BEARING WALLS LUNG TO BE 2" x 8" @ 16" O.C. MAX.

SECTION DETAIL 2:
SECTION THROUGH
GARAGE GRADE BEAM

BASEMENT PLAN

BASEMENT PLAN

FAIRGLEN HOMES
25 ELM STREET, MARKHAM

DATE: 11-10-2017

SCALE: 3/16" = 1'-0"

PRECEDENCE: 17-46

DRAWING NO.: 1

DATE: 11-10-2017

SCALE: 3/16" = 1'-0"

PRECEDENCE: 17-46

DRAWING NO.: 1

DATE: 11-10-2017

SCALE: 3/16" = 1'-0"

PRECEDENCE: 17-46

DRAWING NO.: 1



NOTE:
1. CONCRETE FOOTINGS TO REST ON UNDESLINED SOIL WITH MINIMUM BEARING PRESSURE OF 1500 PSF (2.0).
2. CONCRETE FOOTINGS ON SOILS WITH BEARING PRESSURE < 1500 PSF TO BE SPECIFIED BY STRUCTURAL ENGINEER. SEE GENERAL NOTES FOR CONCRETE DETAILS.
3. ALL FOOTINGS ON ENGINEER FULL TO BE INSPECTED BY A SOIL ENGINEER.

NOTE:
PROVIDE FLOOR JOISTS AT 12" O.C. BENEATH ALL CERAMIC FLOORS.

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
FOR LISTS PERTAINING TO WOOD LINTELS, STEEL LINTELS, BRICK VENEER LINTELS, AND DOORS REFER TO THIS SHEET OR SH-1.

CONC. PAD FOOTING LEGEND (150 PSF)
F1 = 2'-0" x 2'-0" CONCRETE PAD
F2 = 2'-0" x 2'-0" CONCRETE PAD
F3 = 2'-0" x 2'-0" CONCRETE PAD
F4 = 2'-0" x 2'-0" CONCRETE PAD
F5 = 2'-0" x 2'-0" CONCRETE PAD
F6 = 1'-0" x 1'-0" CONCRETE PAD

STEEL AND BUILT-UP WOOD POSTS LEGEND
(WOOD POSTS TO BE SPRUCE NO 2 UNLESS OTHERWISE SPECIFIED)
P1 = 2" x 2" x 4"
P2 = 3" x 2" x 4"
P3 = 4" x 2" x 4"
P4 = 2" x 2" x 6"
P5 = 3" x 2" x 6"
P6 = 4" x 2" x 6"
P7 = 5 PLY 1 3/4" x 5 1/4" LVL 2.0E KING STUDS
CONT. - 2x23 ANGLES AT TOP & BOTTOM (TYP.)
P8 = 15.5 SPS 3 1/2" x 14" W/ 5 1/2" x 10" x 1/2" TOP AND BOTTOM STEEL PLATES WITH 2-1/2" x 1/2" THRU BOLTS
SP1 = HSS 3 1/2" x 1/2" x 1/4" STL. POST W/ 5" x 5" x 1/2" x 10" BASE PLATE & 2-5/8" x 8" LONG ANCHORS & 5/8" TOP PLATE

WOOD LINTELS:
WB1 = 2" x 2" SPRUCE BEAM
WB2 = 3" x 2" SPRUCE BEAM
WB3 = 3" x 2" SPRUCE BEAM
WB4 = 3" x 2" SPRUCE BEAM
WB5 = 3" x 2" SPRUCE BEAM
WB6 = 3" x 2" SPRUCE BEAM
WB7 = 3" x 2" SPRUCE BEAM
WB8 = 3" x 2" SPRUCE BEAM
WB9 = 3" x 2" SPRUCE BEAM
WB10 = 3" x 2" SPRUCE BEAM
WB11 = 3" x 2" SPRUCE BEAM
WB12 = 3" x 2" SPRUCE BEAM
LSL = TIMBERSTRAND BOARD

STEEL LINTELS:
L1 = 3 1/2" x 3 1/2" x 1/2" x 10' (90 x 90 x 6)
L2 = 3 1/2" x 3 1/2" x 1/2" x 10' (90 x 90 x 6)
L3 = 3 1/2" x 3 1/2" x 1/2" x 10' (90 x 90 x 6)
L4 = 3 1/2" x 3 1/2" x 1/2" x 10' (90 x 90 x 6)
L5 = 3 1/2" x 3 1/2" x 1/2" x 10' (90 x 90 x 6)
L6 = 3 1/2" x 3 1/2" x 1/2" x 10' (90 x 90 x 6)

DOOR SCHEDULE:
1 = 2'-0" x 6'-8" (8'-0") INSULATED ENTRANCE DOOR
1A = 2'-0" x 6'-8" (8'-0") INSULATED EXT. DOOR
2 = 2'-0" x 6'-8" (8'-0") EXTERIOR GLAZED DOOR
3 = 2'-0" x 6'-8" (8'-0") SLAB DOOR (1 3/4" EXTERIOR)
4 = 2'-0" x 6'-8" (8'-0") SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-0" x 6'-8" (8'-0") SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-0" x 6'-8" (8'-0") SLAB DOOR (1 3/8" INTERIOR)
7 = 2'-0" x 6'-8" (8'-0") SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-0" x 6'-8" (8'-0") SLAB DOOR (1 3/8" INTERIOR)

BRICK VENEER LINTELS:
VL1 = 3 1/2" x 3 1/2" x 1/2" x 10' (90x90x6) + 2" x 2" SPR.
VL2 = 4" x 3 1/2" x 1/2" x 10' (100x90x6) + 2" x 2" SPR.
VL3 = 5" x 3 1/2" x 1/2" x 10' (125x90x6) + 2" x 2" SPR.
VL4 = 6" x 3 1/2" x 1/2" x 10' (150x90x6) + 2" x 2" SPR.
VL5 = 7" x 3 1/2" x 1/2" x 10' (175x90x6) + 2" x 2" SPR.
VL6 = 8" x 3 1/2" x 1/2" x 10' (200x90x6) + 2" x 2" SPR.
VL7 = 9" x 3 1/2" x 1/2" x 10' (225x90x6) + 2" x 2" SPR.
VL8 = 10" x 3 1/2" x 1/2" x 10' (250x90x6) + 2" x 2" SPR.
VL9 = 11" x 3 1/2" x 1/2" x 10' (275x90x6) + 2" x 2" SPR.

NOTE:
EXTERIOR WALLS SUPPORTING TRUSSES WITH SPAN GREATER THAN 4'-0" SHALL BE TIED AT THE BASE TO THE WALL BELOW WITH L16AS STRIPS @ 4" O.C. MAX. OR TO FOUNDATION WALL BELOW WITH L16AS @ 8" O.C. MAX.

C1: 3/16" x 1/2" UNF STEEL PIPE COLUMN
C1W = 3/16" STEEL TOP PLATE
C1B = 3/16" STEEL BOTTOM PLATE
C1W = 3/16" STEEL TOP PLATE
C1B = 3/16" STEEL BOTTOM PLATE
C1W = 3/16" STEEL TOP PLATE
C1B = 3/16" STEEL BOTTOM PLATE
C1W = 3/16" STEEL TOP PLATE
C1B = 3/16" STEEL BOTTOM PLATE

C2: 1/2" x 3 1/2" x 1/2" x 10' (90x90x6)
C2W = 1/2" STEEL TOP PLATE
C2B = 1/2" STEEL BOTTOM PLATE
C2W = 1/2" STEEL TOP PLATE
C2B = 1/2" STEEL BOTTOM PLATE
C2W = 1/2" STEEL TOP PLATE
C2B = 1/2" STEEL BOTTOM PLATE
C2W = 1/2" STEEL TOP PLATE
C2B = 1/2" STEEL BOTTOM PLATE

SECOND FLOOR PLAN

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL STRUCTURAL MEMBERS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL STRUCTURAL MEMBERS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL STRUCTURAL MEMBERS.

NO.	DATE	WORK DESCRIPTION
1	JAN. 25, 2018	REVISED PLANS AND ELEVATIONS
2	NOV. 21, 2017	ADDED FOUNDATION INFORMATION AND REVISIONS TO CLIENT
3	NOV. 21, 2017	ADDED FOUNDATION INFORMATION AND REVISIONS TO CLIENT
4	NOV. 21, 2017	ADDED FOUNDATION INFORMATION AND REVISIONS TO CLIENT

jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3P3
TEL: 905-600-3377 FAX: 905-600-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under Division C.
Subsection 1.2.5 of the building code.

Walter Botter 210731
NAME SIGNATURE

Required unless design is exempt under Division C.
Subsection 1.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME PROJECT NO. DRAWING NO.

FAIRGLEN HOMES
25 ELM STREET, MARKHAM

T
TYPE 3/16" x 1/2"

SCALE 17'-46"
PROJ. NO. 3

BILD



ALL CONV. FRAMINGS TO CONFORM WITH PART 9 OF O.B.C. 2012 ROOF
RAFTERS THAT CROSS MEET OVER TRUSSES TO BE 2"x4" SPR. @ 24" O/C WITH
A 2"x4" VERT. POST TO THE TRUSSES UNDERNEATH AT EACH CROSSING PT.
VERT. POSTS LONGER THAN 8'-0" TO HAVE LATERAL BRACING SO THAT THE
DISTANCE BETWEEN END PT. & BETWEEN ROWS OF BRACING DOES NOT
EXCEED 8'-0"

SCALE: 3/16"=1'-0"



THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONSIDERATIONS FIRST BEFORE PROCEEDING WITH CONSTRUCTION. ANY DIMENSIONS WILL BE REPORTED TO A JACOBS DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JACOBS DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCEPTANCE OF PLANNET STRUCTURES OR DIMENSIONS BY OTHER BIDDERS OF THESE DIMENSIONS OR FOR CONSTRUCTION BASED UPON THE BALANCE OF A BUILDING PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING NECESSARY APPROVALS PRIOR TO PROCEEDING WITH WORK.

AS CONTRACTORS MUST BE INFORMED PRIOR TO POULING FOOTINGS.

JACOBS DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GEOTECH. THE USE OF THE CONTRACTOR'S OWN GEOTECHNICAL INFORMATION FOR THE FAILURE OF THE CONTRACTOR'S OWN CONSTRUCTION TO EXIST CAN BE THE CONTRACTOR'S RESPONSIBILITY AND NOT THE CONTRACTOR'S RESPONSIBILITY.

10	OF JARDEN DESIGN GROUP INC. THE CHAIRMAN IS NOW TO MAKE REMARKS
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2	<p>1. JUNE 25, 2007: PREPARED PLANS AND ELEVATIONS TO ADDRESS CITY APPROVED GFA</p> <p>2. NOV. 21, 2007: ADDITIONAL INFORMATION AND BE ISSUED TO CLIENT</p> <p>3. NOV. 13, 2007: PREPARED TO PRE COORDINATION MEETING AND ISSUED TO CLIENT</p>
1	<p>DATE: _____</p> <p>BY: _____</p>

STAGE AND ISSUED TO CLIENT	
No.	DATE: WORK DESCRIPTION:
1	10/1/80
2	10/1/80
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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-371
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 2103

NAME	SIGNATURE	BOX
------	-----------	-----

REGISTRATION INFORMATION
Required unless decision is exempt under Division C

Required unless design is exempt under Division C,
Subsection 3.2.4 of the building code

jardin design group inc. 2776

FROM NAME	90
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LEFT SIDE ELEVATION

LEFT SIDE ELEVATION

● 重要提示

FAIRGLEN HOMES

25 ELM STREET, MARKHAM

	TYPE	AREA
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	T	1000000000
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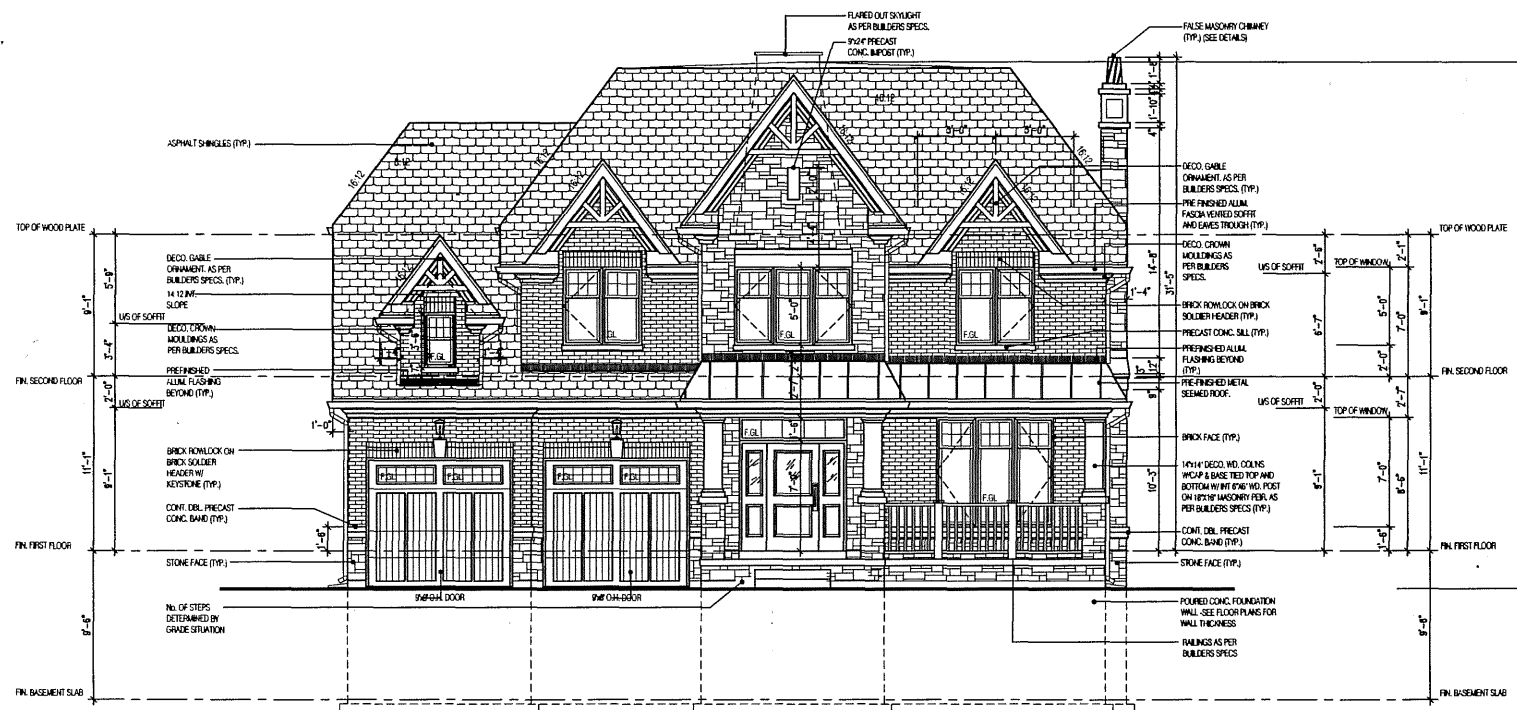
SCALE:
3/16" = 1'-0"

	3/16-1-0	
	PROJ. No.	DMO No.

BILD*	PROJ. No.	CHRG. No.
	15-00000	5

BILD	17-46	5
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[illegible]



FRONT ELEVATION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.

NO.	DATE	DESCRIPTION
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3	JAN. 25, 2008	REVISIONS AND ADDITIONS
2	NOV. 21, 2007	REVISIONS AND ADDITIONS
1	NOV. 15, 2007	REVISIONS AND ADDITIONS

NO. DATE DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905-660-5377 FAX: 905-660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21037

SIGNATURE

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin Design Group Inc. 27763

FIRST NAME

FRONT ELEVATION

FAIRGLEN HOMES

25 ELM STREET, MARKHAM

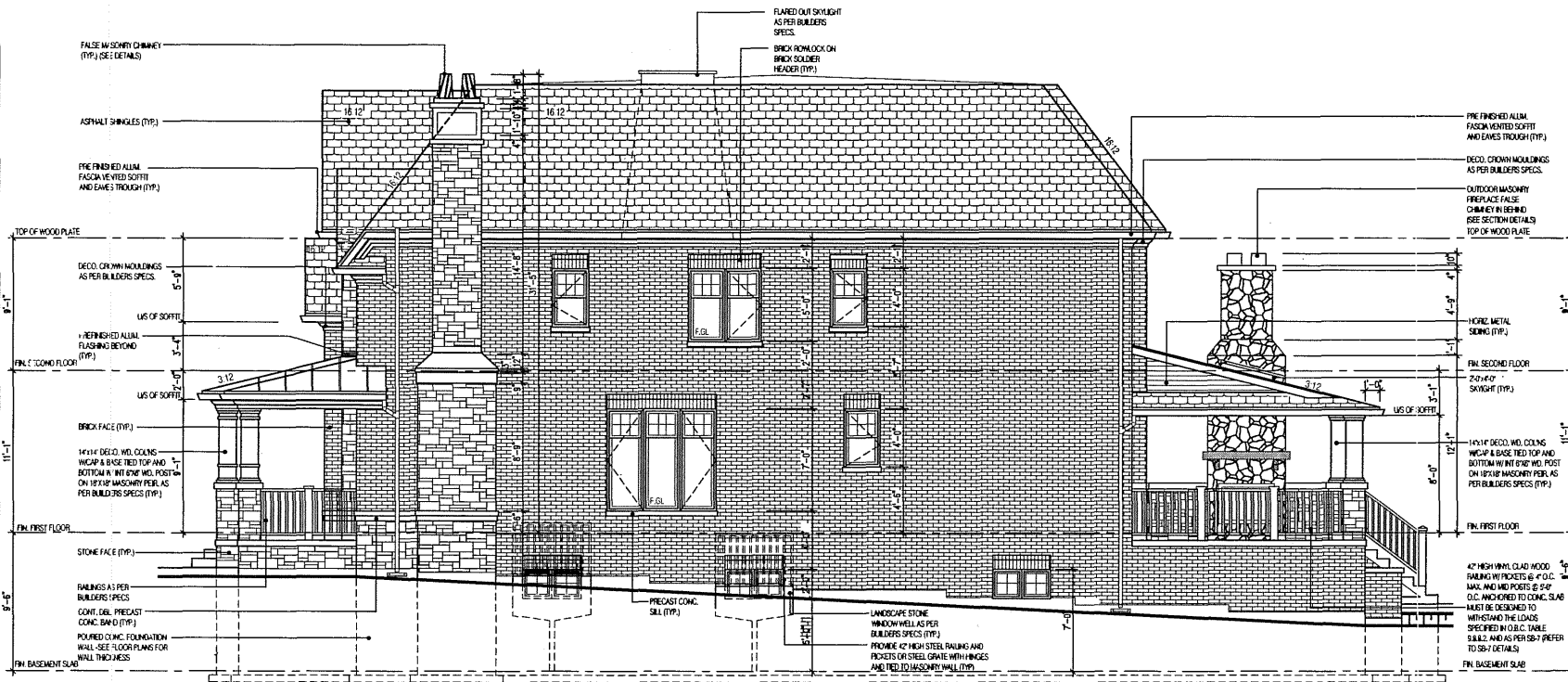
TYPE T AREA

SCALE 3/16" = 1'-0"

PROJ. NO. 17-46

DATE 6

BILD



RIGHT SIDE ELEVATION
UNPROTECTED OPENINGS

WALL AREA	1390.14	Φ
ALLOWABLE WINDOW AREA @ 8.0% (2.42m SIDNEYARD)	112.21	Φ
ACTUAL WINDOW AREA-USE GLAZING AREA	104.13	Φ

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND COMPLY WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLYING WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLYING WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLYING WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3P3
TEL: 905-660-3377 FAX: 905-660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C.
Subsection 3.2.5 of the building code
Walter Botter 21031
NAME SIGNATURE BORN
Registration Information
Required unless design is exempt under Division C.
Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BORN

RIGHT SIDE ELEVATION

FAIRGLEN HOMES
25 ELM STREET, MARKHAM

SCALE	TYPE	AREA
	T	---
3/16" = 1'-0"		
17-46		7





REAR ELEVATION

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THIS DRAWING PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

ANY VARIATION FROM THE DESIGN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THIS DRAWING. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE TO THE FACE OF THE MATERIAL UNLESS OTHERWISE SPECIFIED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THIS DRAWING. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

NO.	DATE	WORK DESCRIPTION
1	NOV. 13, 2007	REVISIONS AND REVISIONS
2	NOV. 21, 2007	REVISIONS AND REVISIONS
3	NOV. 21, 2007	REVISIONS AND REVISIONS
4	NOV. 21, 2007	REVISIONS AND REVISIONS
5	NOV. 21, 2007	REVISIONS AND REVISIONS
6	NOV. 21, 2007	REVISIONS AND REVISIONS
7	NOV. 21, 2007	REVISIONS AND REVISIONS
8	NOV. 21, 2007	REVISIONS AND REVISIONS
9	NOV. 21, 2007	REVISIONS AND REVISIONS
10	NOV. 21, 2007	REVISIONS AND REVISIONS

jardin
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Walter Botter 21031
NAME SIGNATURE
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME SIGNATURE

REAR ELEVATION

FAIRGLEN HOMES
25 ELM STREET, MARKHAM

TYPE	T	AREA
SCALE	3/16" = 1'-0"	
PRICE NO.	17-46	8



