

# Memorandum to the City of Markham Committee of Adjustment

February 27, 2019

**File:** A/01/19  
**Address:** 62 Sherwood Forest Dr, Markham  
**Applicant:** Usha & Vishnu Doobay  
**Agent:** SMDA (Rick Mateljan)  
**Hearing Date:** Wednesday March 13, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 1229, R2, as amended:

- a) **Infill By-law 99-90, Section 1.2 (iii):**  
a maximum building depth of 17.55 metres, whereas the By-law permits a maximum building depth of 16.80 metres;
- b) **Infill By-law 99-90, Section 1.2 (vi):**  
a maximum Net Floor Area Ratio of 49.9 percent; whereas the By-law permits a maximum Net Floor Area of 45percent.

as they relate to a proposed residential dwelling.

## BACKGROUND

### Property Description

The 836.1 m<sup>2</sup> (8,999.71 ft<sup>2</sup>) subject property is located on the west side of Sherwood Forest Drive, east of Laidlaw boulevard and north of Highway 7 E. The property is located within a residential neighbourhood comprised of a mix of one and two-storey detached dwellings. There is an existing split level brick detached 160.72 m<sup>2</sup> (1,730 ft<sup>2</sup>) dwelling on the property, which according to assessment records was constructed in 1966 .Mature vegetation exists across the property.

### Proposal

The applicant is proposing to construct a new two-storey detached 362.5 m<sup>2</sup> (3902 ft<sup>2</sup>) dwelling with a basement walkout, a rear deck and second-storey balcony as well as a covered outdoor storage area on the south side of the proposed dwelling.

### Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings. Infill development is required to meet the general intent of the 2014 Official Plan with respect to height, massing and setbacks to ensure that the development is appropriate for the site and also generally consistent with the zoning requirements for adjacent properties and properties along the same street. Regard must also be had for retention of existing trees and vegetation, as well as the width of proposed garages and driveways. Planning staff have had regard for the infill development criteria in the preparation of the comments provided below.

### Zoning By-Law 1229

The subject property is zoned R2 – 'Residential' in By-law 1229, as amended, which permits a single detached dwelling.

#### Residential Infill Zoning By-law 99-90

The subject property is also subject to the Residential Infill Zoning By-law 99-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the by-law with respect to maximum building depth and, maximum Net Floor Area Ratio.

#### **Applicant's Stated Reason(s) for Not Complying with Zoning**

According to the information provided by the applicant, the reason for not complying with Zoning is, "*client special requirements dictate increased floor area and dwelling depth*".

#### **Zoning Preliminary Review (ZPR) Undertaken**

The owner has completed a Zoning Preliminary Review (ZPR) on February 14, 2019 to confirm the variances required for the proposed development.

#### **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

#### **Increase in Maximum Building Depth**

The applicant is requesting relief to permit a maximum building depth of 17.55 m (57.6 ft), whereas the By-law permits a maximum building depth of 16.8 m (55.12 ft). This represents an increase of approximately 0.75 m (2.46 ft).

Building depth is measured based on the shortest distance between two lines, both parallel to the front lot line, one passing through the point on the dwelling which is the nearest and the other through the point on the dwelling which is the farthest from the front lot line.

The variance relates to a front covered porch which adds approximately 2.74 m (9 ft) to the overall depth of the building. The main component of the building, excluding the porch, has a depth of 16.22 m (53.22 ft) which complies with the by-law requirement. The proposed covered porch will be unenclosed and does not span the full length of the front of the dwelling. The proposed dwelling will exceed the minimum required front, rear and side yard setbacks. Staff are of the opinion that the requested variance is appropriate for the development.

#### **Increase in Maximum Floor Area Ratio**

The applicant is requesting relief to permit a floor area ratio of 49.9 percent, whereas the By-law permits a maximum floor area ratio of 45 percent. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 362.5 m<sup>2</sup> (3,902 ft<sup>2</sup>), whereas the By-law permits a dwelling with a maximum floor area of 326.6 m<sup>2</sup> (3,545.5 ft<sup>2</sup>). This represents an increase of approximately 35.9 m<sup>2</sup> (386.45 ft<sup>2</sup>).

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area. It is not a definitive measure of the mass of the dwelling, since it does not include

“open to below” areas that may exist within the dwelling (e.g. two-storey foyers, atriums and/or stairs) and unenclosed exterior space indented into the proposed dwelling.

Records indicate that there is one (1) other home on Sherwood Forest Drive (160 Sherwood Forest Drive) which has been approved for an increase in maximum net floor area ratio of 49.8%. While the proposed dwelling will be larger than existing back split homes on the street, the building footprint meets other zoning provisions (such as setbacks, height and lot coverage) that establish the prescribed building envelope. The proposed dwelling is within the prescribed building footprint, except for building depth. The proposed increase in Floor Area Ratio is considered to be minor and, the proposed dwelling will be in keeping with the character of the neighbourhood.

## **PUBLIC INPUT SUMMARY**

No written submissions were received as of February 27, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

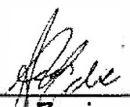
## **CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.


The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix “A” for conditions to be attached to any approval of this application.

PREPARED BY:

  
Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:

  
Stacia Muradali, Senior Planner, East District

File Path: Amanda\File\ 19 102988 \Documents\District Team Comments Memo

## APPENDIX "A"

### CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/01/19

1. That the front covered porch remain unenclosed;
2. The variances apply only to the proposed development as long as it remains;
3. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on *March 01, 2019*, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
4. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
5. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations;
6. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:

  
\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects

THIS SITE PLAN BASED ON:  
SURVEYOR'S REAL PROPERTY REPORT - PART 1  
PLAN OF PART OF  
LOTS 198 AND 199  
REGISTERED PLAN 5810  
CITY OF MARKHAM  
(REGIONAL MUNICIPALITY OF YORK)

SCALE 1:200  
0 1 2 3 4 5 10 15 20 25m

© COPYRIGHT  
erli surveyors 2018  
Ontario Land Surveyors

Metric  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Notes  
BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE  
WESTERLY LIMIT OF SHERWOOD FOREST DRIVE AS SHOWN ON  
REGISTERED PLAN 5810 HAVING A BEARING OF N175.300°W  
Part 2  
SUBJECT TO AN EASEMENT AS IN INSTRUMENT NO. VMB997  
NO NOTICE OF CLAIM REGISTERED ON TITLE.  
NOTE THE LOCATION OF THE CHAIN LINK FENCE AT THE  
WESTERLY LIMIT WITHIN THE EASEMENT  
FENCES, HEDGE AND RETAINING WALLS AS SHOWN  
SURVEY PREPARED FOR VISHNU DOOBAY AND USHA DOOBAY

#### Legend

- DENOTES SURVEY MONUMENT FOUND
- CL DENOTES SURVEY MONUMENT SET
- SB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- IP DENOTES IRON PIPE
- CP DENOTES CONCRETE PIN
- M DENOTES MEASURED
- OU DENOTES ORIGIN UNKNOWN
- RP DENOTES REGISTERED PLAN 5810
- P1 DENOTES SURVEY BY P. T. HOLDING, O.L.S.  
DATED APRIL 17, 1964
- P2 DENOTES SURVEY BY P. T. HOLDING, O.L.S.  
DATED JUNE 03, 1964
- P3 DENOTES SURVEY BY P. T. HOLDING, O.L.S.  
DATED DECEMBER 01, 1963
- P4 DENOTES SURVEY BY P. T. HOLDING, O.L.S.  
DATED DECEMBER 10, 1963
- F DENOTES F. SCHAEFFER & ASSOCIATES, O.L.S.
- H9 DENOTES HOLDING & GABBS, O.L.S.
- D1 DENOTES INSTRUMENT NO. VMB997
- D2 DENOTES INSTRUMENT NO. R463547
- LS DENOTES LIGHT STANDARD
- DH DENOTES OVERHEAD UTILITY WIRES
- WV DENOTES WATER VALVE/KEY
- MH DENOTES MAINTENANCE HOLE
- CB DENOTES CATCH BASIN
- UPLS DENOTES UTILITY POLE LIGHT STANDARD
- SWW DENOTES STONE WALKWAY
- WFW DENOTES WOOD RETAINING WALL
- BF DENOTES BOARD FENCE
- DBF DENOTES DOUBLE BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- DS DENOTES DOOR SILL ELEVATION
- C DENOTES CENTERLINE
- N.S.E.W DENOTES NORTH/SOUTHEAST, WEST
- ★ DENOTES CONIFEROUS TREE
- DENOTES DECIDUOUS TREE



Condo Block 29256  
York Region  
Standard  
Condominium  
Plan 1025

Condo Block 29662  
York Region  
Standard  
Condominium  
Plan 1131

Benchmark  
ELEVATIONS HEREON ARE GEODETIC AND ARE DERIVED FROM  
CITY OF MARKHAM BM NO. M-33-026. ELEVATION = 182.595 m

SHERWOOD FOREST DRIVE  
(BY REGISTERED PLAN 5810)  
PIN 02914 - 0132

SITE STATISTICS:  
  
ZONING: R2-Residential (By-law 1229)  
  
LOT AREA = 836.1 M2  
NET LOT AREA (PER BY-LAW): 725.8 M2  
  
MAX GFA 45% = 326.6 M2  
(INCLUDES GARAGE)  
  
PROPOSED GFA = 362.5 M2 (49.9%)  
  
MAXIMUM LOT COVERAGE = 35.7%  
  
PROPOSED LOT COVERAGE = 257.6 M2  
(30.8%)

20	REVISED ELEV'S	MAR 1 2018
9	FOR REVIEW	AUG 12, 2018
8	FOR REVIEW	JULY 27 2018
7	FOR REVIEW	JULY 16, 2018
6	FOR REVIEW	JULY 8, 2018
5	FOR REVIEW	JULY 2 2018
4	FOR REVIEW	JUNE 19 2018
3	FOR REVIEW	JUNE 11 2018
2	FOR REVIEW	MAY 17 2018
1	FOR REVIEW	MAY 7 2018
NO	REVISIONS	ISSUED

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INC. ALL RIGHTS RESERVED

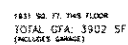
**AMBASSADOR**  
FINE CUSTOM HOMES INC.  
2400 DUNDAS ST. WEST, SUITE 109  
MISSISSAUGA, ON L5K 2R8  
416 777 AFCH (T)  
TARION REGISTRATION NO. 39012

PROJECT:  
**New House At:  
62 SHERWOOD  
FOREST DRIVE**

SHEET TITLE:  
**SITE PLAN  
PLAN**

PROJECT NO.	
SCALE: 1:200	DATE:
DRAWN:	SHEET NO:
CHECKED:	<b>A1.1</b>
FILE NO: MARKHAM	





20	REVISED ELEV'S	MAR 1 2019
9	FOR REVIEW	AUG 12, 2018
8	FOR REVIEW	JULY 27, 2018
7	FOR REVIEW	JULY 16, 2018
6	FOR REVIEW	JULY 8, 2018
5	FOR REVIEW	JULY 2, 2018
4	FOR REVIEW	JUNE 19, 2018
3	FOR REVIEW	JUNE 11, 2018
2	FOR REVIEW	MAY 12, 2018
1	FOR REVIEW	May 7, 2018
NO	REVISIONS:	ISSUED:

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2400 DUNDAS ST. WEST, SUITE 109  
MISSISSAUGA, ON L5K 2R8  
416 777 AFCH (T)  
TARION REGISTRATION NO. 39012

PROJECT:  
New House At:  
62 SHERWOOD  
FOREST DRIVE

SHEET TITLE:  
**MAIN FLOOR  
PLAN**

PROJECT NO.

SCALE:  
1/4"=1'-0"

DRAWN:

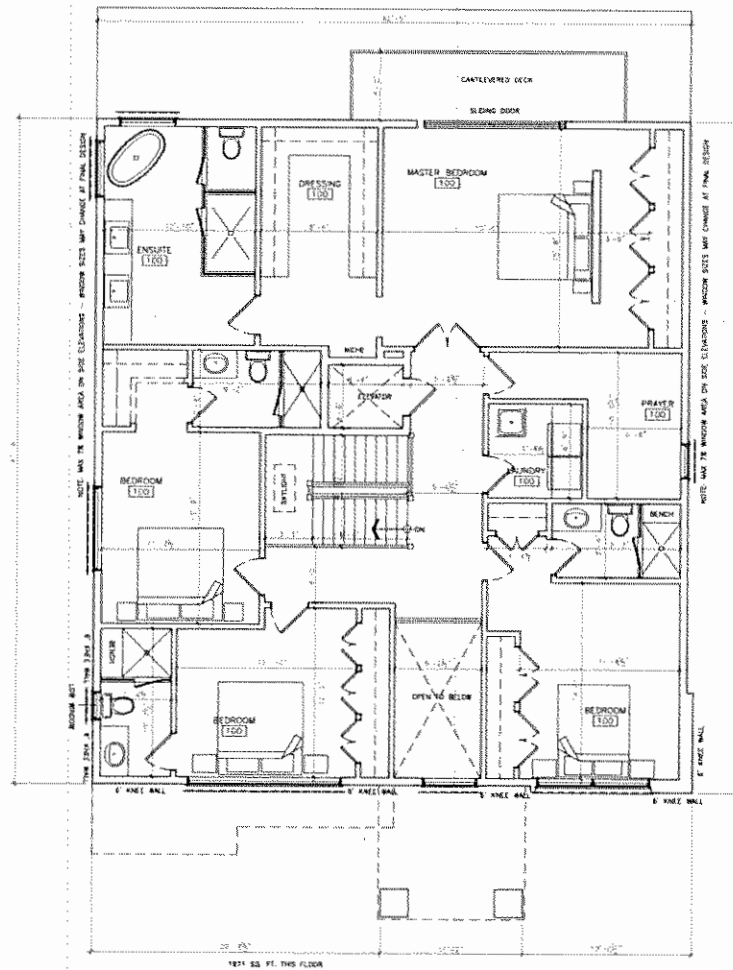
CHECKED:

FILE NO.  
MARKHAM

DATE:

SHEET NO:

## A2.1



20	REVISED ELEV'S	MAR 1 2019
9	FOR REVIEW	AUG 12, 2018
8	FOR REVIEW	JULY 27 2018
7	FOR REVIEW	JULY 18, 2018
6	FOR REVIEW	JULY 8, 2018
5	FOR REVIEW	JULY 2 2018
4	FOR REVIEW	JUNE 19 2018
3	FOR REVIEW	JUNE 11 2018
2	FOR REVIEW	MAY 12 2018
1	FOR REVIEW	MAY 7 2018
NO	REVISIONS	ISSUED

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**AMBASSADOR**  
FINE CUSTOM HOMES INC.  
2400 DUNDAS ST. WEST, SUITE 109  
MISSISSAUGA, ON L5K 2R8  
416 777 AFCH (T)  
TARION REGISTRATION NO. 39012

PROJECT:  
**New House At:  
62 SHERWOOD  
FOREST DRIVE**

SHEET TITLE:  
**SECOND FLOOR  
PLAN**

PROJECT NO.	DATE:
SCALE: 1/4"=1'-0"	SHEET NO.
DRAWN:	<b>A2.2</b>
CHECKED:	
FILE NO. MARKHAM	





20	REVISED ELEV'S	MAR 12019
9	FOR REVIEW	AUG 12, 2018
8	FOR REVIEW	JULY 27, 2018
7	FOR REVIEW	JULY 16, 2018
6	FOR REVIEW	JULY 8, 2018
5	FOR REVIEW	JULY 2, 2018
4	FOR REVIEW	JUNE 19, 2018
3	FOR REVIEW	JUNE 11, 2018
2	FOR REVIEW	MAY 12, 2018
1	FOR REVIEW	MAY 7, 2018
NO.	REVISIONS	ISSUED

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FINE CUSTOM HOMES INC.  
2400 DUNDAS ST. WEST, SUITE 109  
MISSISSAUGA, ON L5K 2R8  
416 777 AFCH (T)  
TARION REGISTRATION NO. 39012

PROJECT:  
**New House At:**  
**62 SHERWOOD**  
**FOREST DRIVE**

SHEET TITLE:  
**FRONT ELEVATION**  
**SOUTH ELEVATION**

PROJECT NO:

SCALE:  
1/4"=1'-0"

DRAWN:

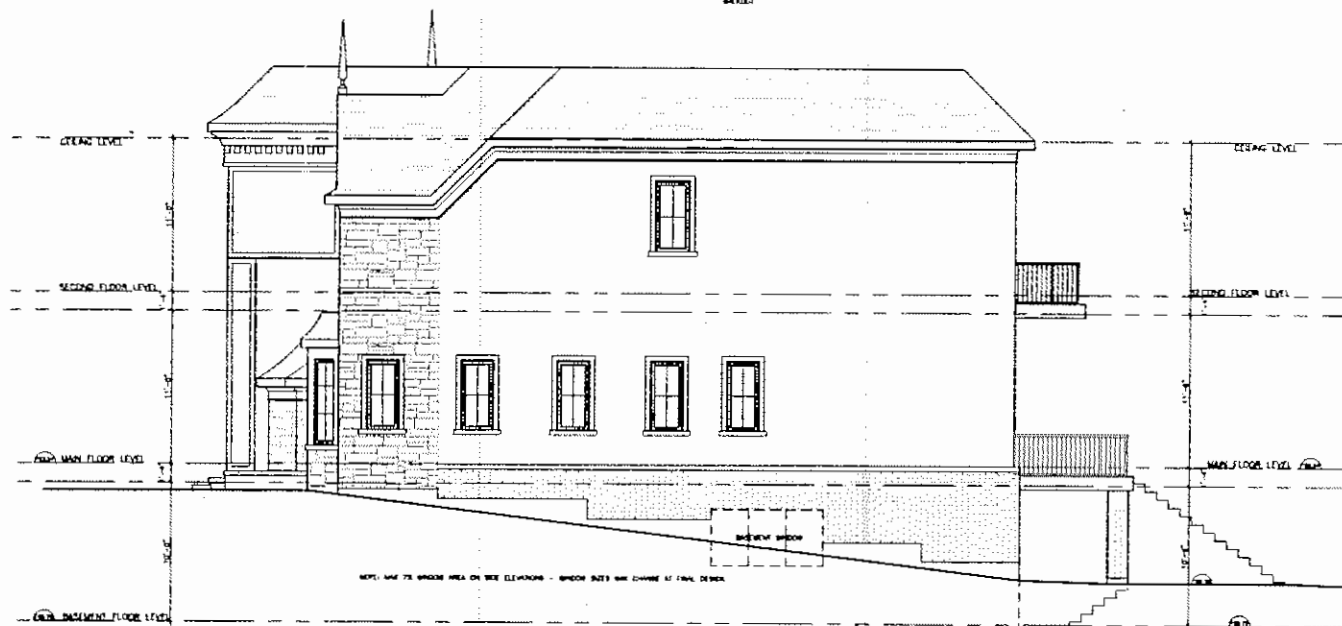
CHECKED:

FILE NO.  
MARKHAM

DATE:

SHEET NO:

**A3.0**



20	REVISED ELEV	MAY 1 2018
9	FOR REVIEW	AUG 12, 2018
8	FOR REVIEW	JULY 27 2018
7	FOR REVIEW	JULY 18, 2018
6	FOR REVIEW	JULY 8, 2018
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NO	REVISIONS	ISSUED

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**AMBASSADOR**  
FINE CUSTOM HOMES INC.  
2400 DUNDAS ST. WEST, SUITE 109  
MISSISSAUGA, ON L5K 2R8  
416 777 AFCH (T)  
TARION REGISTRATION NO. 39012

PROJECT:  
**New House At:  
62 SHERWOOD  
FOREST DRIVE**

SHEET TITLE:  
**WEST ELEVATION  
NORTH ELEVATION**

PROJECT NO.	SCALE: 1/4"=1'-0"	DATE:
DRAWN:	CHECKED:	SHEET NO.
FILE NO. MARKHAM		<b>A3.1</b>

# MEMORANDUM

**DATE:** March 12, 2019  
**TO:** Chairman and Members, Committee of Adjustment  
**FILE:** A/01/19  
**ADDRESS:** 62 Sherwood Forest Dr, Markham  
**HEARING DATE:** Wednesday March 13, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 1229, R2, as amended:

- a) Infill By-law 99-90, Section 1.2 (iii):  
a maximum building depth of 17.55 metres, whereas the By-law permits a maximum building depth of 16.80 metres;
- b) Infill By-law 99-90, Section 1.2 (vi):  
a maximum Net Floor Area Ratio of 49.9 percent; whereas the By-law permits a maximum Net Floor Area of 45 percent.  
as they relate to a proposed residential dwelling.

## Comments

The applicant submitted revised drawings to staff on March 3, 2019 showing further architectural articulation of the proposed dwelling. The applicant has not made any changes to the requested variances. Staff's comments dated February 27, 2019 remain applicable. Should the Committee choose to approve the minor variance application, the conditions attached as Appendix 'A1' and drawings attached as Appendix 'B1' shall apply.

Please see Appendix "A1" for conditions to be attached to any approval of this application.

PREPARED BY:

  
Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:

  
Stacia Muradali, Senior Planner, East District  
File Path: Amanda\19 102988 \Documents\District Team Comments Memo

# MEMORANDUM

## APPENDIX "A1"

### CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/01/19

1. That the front covered porch remain unenclosed;
2. The variances apply only to the proposed development as long as it remains;
3. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B1' to this Staff Report and received by the City of Markham on *March 12, 2019*, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
4. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
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CONDITIONS PREPARED BY:

  
Aqsa Malik, Planner, Zoning and Special Projects



THIS SITE PLAN BASED ON:  
SURVEYOR'S REAL PROPERTY REPORT-PART 1  
PLAN OF PART OF  
LOTS 198 AND 199  
REGISTERED PLAN 5810  
CITY OF MARKHAM  
(REGIONAL MUNICIPALITY OF YORK)  
SCALE 1:200

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Ontario Land Surveyors

#### Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

#### Notes

BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE WESTERLY LIMIT OF SHERWOOD FOREST DRIVE AS SHOWN ON REGISTERED PLAN 5810 HAVING A BEARING OF N175.300°W

#### Part 2

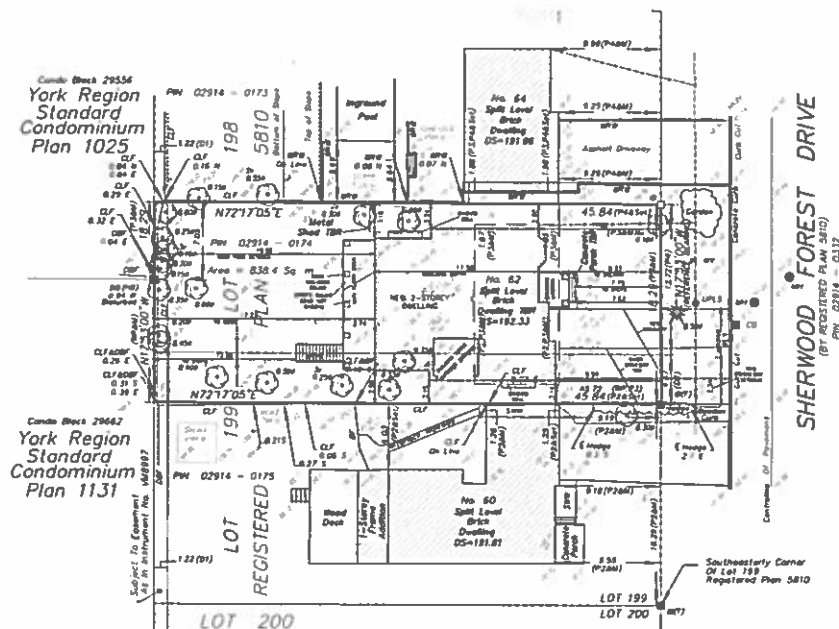
SUBJECT TO AN EASEMENT AS IN INSTRUMENT NO VM8997 NO NOTICE OF CLAIM REGISTERED ON TITLE. NOTE THE LOCATION OF THE CHAIN LINK FENCE AT THE WESTERLY LIMIT WITHIN THE EASEMENT. FENCES, HEDGE AND RETAINING WALLS AS SHOWN SURVEY PREPARED FOR WISHU DOOBAY AND USHA DOOBAY

#### Legend

■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT SET
▨	DENOTES STANDARD IRON BAR
▩	DENOTES IRON BAR
▧	DENOTES IRON PIPE
▦	DENOTES CONCRETE PIN
▤	DENOTES MEASURED
▥	DENOTES IRON LAMINUM
▣	DENOTES REGISTERED PLAN 5810
P1	DENOTES SURVEY BY P. T. HOLDING, O.L.S. DATED APRIL 17, 1964
P2	DENOTES SURVEY BY P. T. HOLDING, O.L.S. DATED JUNE 03, 1964
P3	DENOTES SURVEY BY P. T. HOLDING, O.L.S. DATED DECEMBER 01, 1963
P4	DENOTES SURVEY BY P. T. HOLDING, O.L.S. DATED DECEMBER 10, 1963
F	DENOTES F. SCHADTTER & ASSOCIATES, O.L.S.
H0	DENOTES HOLDING & BARRIS, O.L.S.
D1	DENOTES INSTRUMENT NO VM8997
D2	DENOTES INSTRUMENT NO R463547
LS	DENOTES LIGHT STANDARD
OH	DENOTES OVERHEAD UTILITY WIRES
WV	DENOTES WATER VALVE/KEY
MH	DENOTES MAINTENANCE HOLE
CB	DENOTES CATCH BASIN
UPUS	DENOTES UTILITY POLE LIGHT STANDARD
SWW	DENOTES STONE WALKWAY
WRW	DENOTES WOOD RETAINING WALL
BF	DENOTES BOARD FENCE
DBF	DENOTES DOUBLE BOARD FENCE
CLF	DENOTES CHAIN LINK FENCE
DS	DENOTES DOOR SILL ELEVATION
CL	DENOTES CENTERLINE
N.S.E.W	DENOTES NORTH, SOUTH, EAST, WEST
★	DENOTES CONIFEROUS TREE
○	DENOTES DECIDUOUS TREE

Condo Block 29556  
York Region  
Standard  
Condominium  
Plan 1025

Condo Block 29467  
York Region  
Standard  
Condominium  
Plan 1131



#### Benchmark

ELEVATIONS HEREON ARE DEODIC AND ARE DERIVED FROM CITY OF MARKHAM BM No M-33-026. ELEVATION = 182.595 m

#### SITE STATISTICS:

ZONING: R2-Residential (By-law 1229)

LOT AREA = 836.1 M<sup>2</sup>

NET LOT AREA (PER BY-LAW) = 725.8 M<sup>2</sup>

MAX GFA 45% = 326.6 M<sup>2</sup>  
(INCLUDES GARAGE)

PROPOSED GFA = 362.5 M<sup>2</sup> (49.9%)

MAXIMUM LOT COVERAGE = 35.7%

PROPOSED LOT COVERAGE = 257.6 M<sup>2</sup>  
(30.8%)

SHERWOOD FOREST DRIVE  
(REGISTERED PLAN 5810)  
PIN 02914 - 0137

21	NEW PLAN/ELEV'S	MAR 12 2018
9	FOR REVIEW	AUG 12, 2018
8	FOR REVIEW	JUL 27 2018
7	FOR REVIEW	JUL 16, 2018
6	FOR REVIEW	JUL 8, 2018
5	FOR REVIEW	JUL 2 2018
4	FOR REVIEW	JUNE 19 2018
3	FOR REVIEW	JUNE 11 2018
2	FOR REVIEW	MAY 12 2018
1	FOR REVIEW	MAY 7 2018
NO	REVISIONS	ISSUED

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#### AMBASSADOR FINE CUSTOM HOMES INC.

2400 DUNDAS ST. WEST, SUITE 109  
MISSISSAUGA, ON L5K 2R8

416 777 AFCH (T)

TARION REGISTRATION NO. 39012

#### PROJECT:

New House At:  
62 SHERWOOD  
FOREST DRIVE

#### SHEET TITLE:

SITE PLAN  
PLAN

#### PROJECT NO

#### SCALE:

1:200

#### DATE:

#### DRAWN

#### SHEET NO.

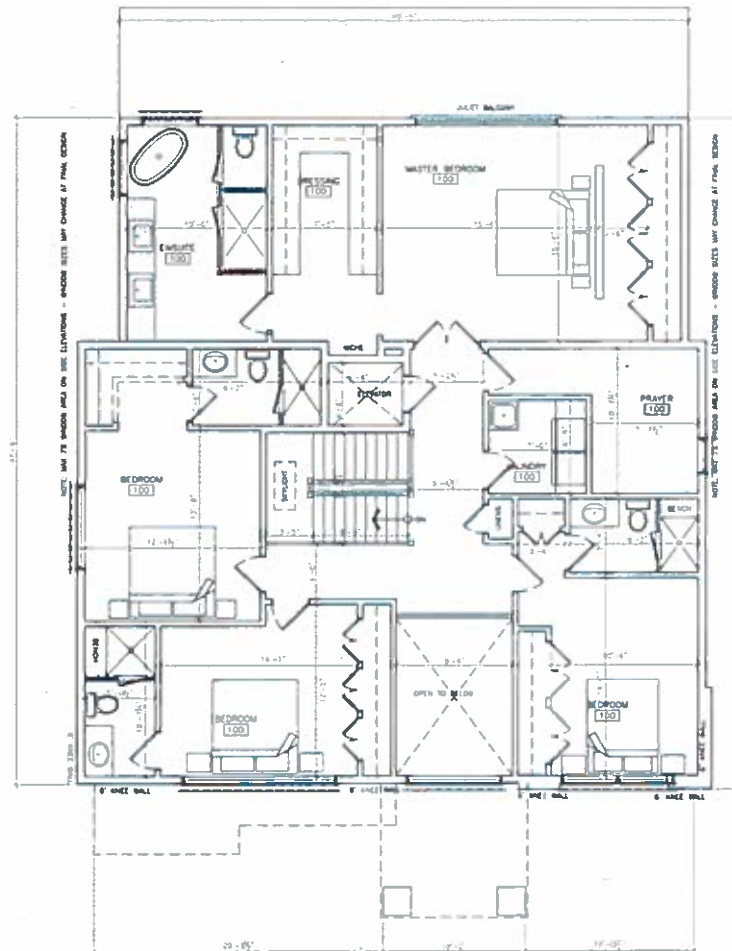
#### CHECKED:

FILE NO.  
MARKHAM

A1.1







21	NEW PLAN/ELEV'S	MAR 12 2019
9	FOR REVIEW	AUG 12, 2018
8	FOR REVIEW	JULY 27 2018
7	FOR REVIEW	JULY 16, 2018
6	FOR REVIEW	JULY 8, 2018
5	FOR REVIEW	JULY 2 2018
4	FOR REVIEW	JUNE 19 2018
3	FOR REVIEW	JUNE 11 2018
2	FOR REVIEW	MAY 12 2018
1	FOR REVIEW	MAY 7 2018
NO	REVISIONS	ISSUED

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FINE CUSTOM HOMES INC.  
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MISSISSAUGA, ON L5K 2R8  
416 777 AFCH (T)  
TARION REGISTRATION NO. 39012

PROJECT  
**New House At:  
62 SHERWOOD  
FOREST DRIVE**

SHEET TITLE:  
**SECOND FLOOR  
PLAN**

PROJECT NO.	
SCALE: 1/4"=1'-0"	DATE:
DRAWN	SHEET NO.
CHECKED	<b>A2.2</b>
FILE NO. MARKHAM	





21	NEW PLAN/LEVELS	MAY 12 2018
6	FOR REVIEW	AUG 12, 2018
6	FOR REVIEW	JULY 27 2018
7	FOR REVIEW	JULY 18, 2018
6	FOR REVIEW	JULY 6, 2018
5	FOR REVIEW	JULY 2 2018
4	FOR REVIEW	JUNE 19 2018
3	FOR REVIEW	JUNE 11 2018
2	FOR REVIEW	MAY 12 2018
1	FOR REVIEW	MAY 7 2018
NO	REVISIONS	ISSUED

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MISSISSAUGA, ON L5K 2R8  
416 777 AFCH (T)  
TARION REGISTRATION NO. 39012

PROJECT:  
**New House At:  
62 SHERWOOD  
FOREST DRIVE**

SHEET TITLE:  
**FRONT ELEVATION  
SOUTH ELEVATION**

PROJECT NO.

SCALE:  
1/4" = 1'-0"

DRAWN:

CHECKED:

FILE NO.  
MARKHAM

DATE:

SHEET NO.

**A3.0**



21	NEW PLAN/LEVELS	MAR 12 2018
9	FOR REVIEW	AUG 13, 2018
8	FOR REVIEW	JULY 27 2018
7	FOR REVIEW	JULY 16, 2018
6	FOR REVIEW	JULY 8, 2018
5	FOR REVIEW	JULY 2 2018
4	FOR REVIEW	JUNE 18 2018
3	FOR REVIEW	JUNE 11 2018
2	FOR REVIEW	MAY 12 2018
1	FOR REVIEW	MAY 7 2018
NO	REVISIONS	ISSUED

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MISSISSAUGA, ON L5K 2R8  
416 777 AFCH (T)  
TARION REGISTRATION NO. 39012

PROJECT  
**New House At:  
62 SHERWOOD  
FOREST DRIVE**

SHEET TITLE:  
**WEST ELEVATION  
NORTH ELEVATION**

PROJECT NO.	
SCALE: 1/4"=1'-0"	DATE:
DRAWN:	SHEET NO:
CHECKED:	<b>A3.1</b>
FILE NO. MARKHAM	