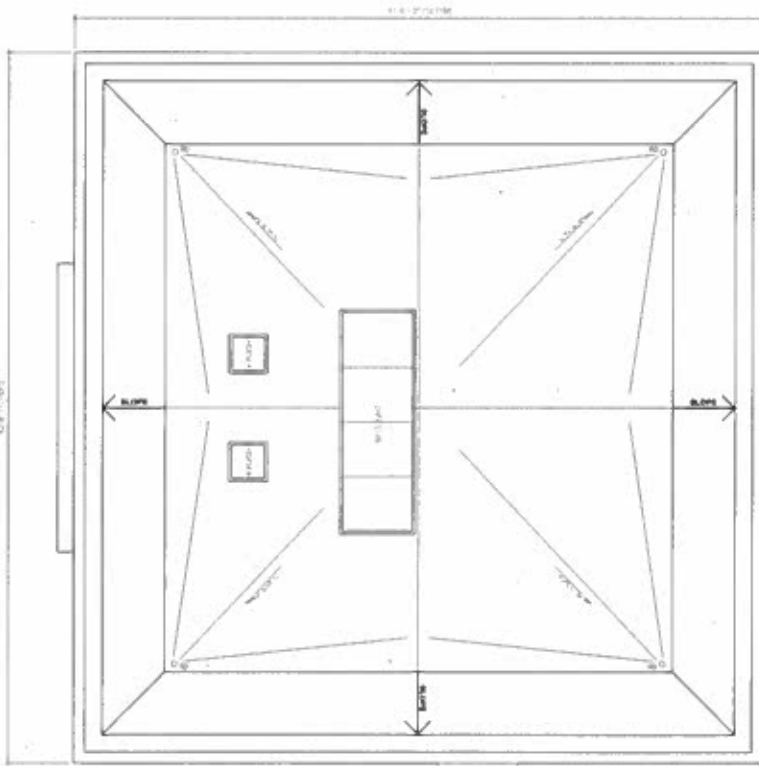




These technical documents are the property of the Designer. The Designer shall be responsible for the completion of these documents. Any further or subsequent changes, amendments or other existing conditions shall be brought to the attention of the Designer before proceeding with the work. The Designer shall be held responsible for verifying all existing conditions and documents submitted to perform the work and to report any discrepancies with the information provided to the Designer before commencing work.

All work on the plans or documents shall be provided and kept accurate and complete during the entire term of the contract and shall be available to the owner for its use.



arta 32 Bruce Road N.
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714-916-8800



REVISIONS	
1. Existing Conditions	2019-08-09
2. Existing Conditions	2019-12-17
3. Issued For Construction	2020-01-14

PROJECT NAME:
PROPOSED ROOF
PLAN
69 WEEPING WILLOW LANE
THORNHILL,
ON L3T 3S1

PROJECT NO.:
SCALE: 3/16" = 1'-0"
DRAWN BY: PCSF

DRAWING NO.: A106

PMW 0.3023 - 0.6977

00
N24°40'10"W (MAGNETIC) (GAMMA)



...the ...

These capital documents are the property of the Singapore Free Zone and are to be returned to the Singapore Free Zone upon completion of their term. The Singapore Free Zone shall be responsible for the protection of these documents and shall be liable for any loss or damage to them. The Singapore Free Zone shall be responsible for the protection of these documents and shall be liable for any loss or damage to them. The Singapore Free Zone shall be responsible for the protection of these documents and shall be liable for any loss or damage to them.



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T: 416 591 3300



1	Zoning Review	2019-08-09
2	Zoning Review	2019-12-17
3	Issued For CofA	2020-01-14

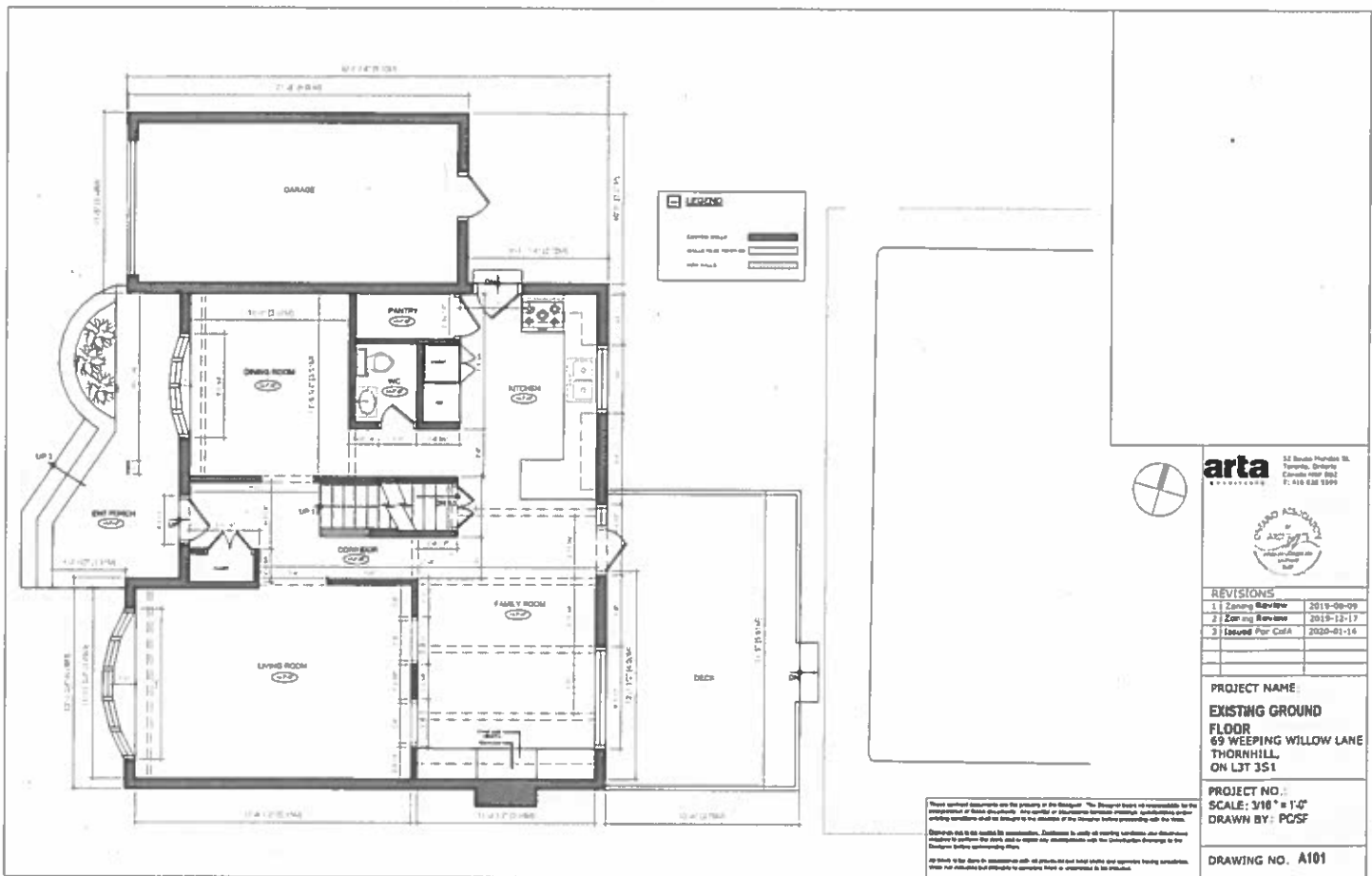
69 WEEPING WILLOW LANE
THORNHILL,
ON L3T 3S1

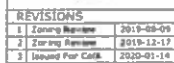
DRAWING NO. A100

These statistical documents are the property of the Congress. The Congress loans to community, to the Government or State documents. Any attempt of individuals to publish, distribute, reproduce, or otherwise selling documents shall be subject to the approval of the Congress before proceeding with the same.

Documents will be loaned for information. Consented to study all existing materials and documents available to provide the House and to report any documents with the Congressional Oversight to the House's Public Information Office.

All that is to be done in accordance with all procedures and laws and any agreement having relations. This will be done in accordance with the laws and regulations of the United States.



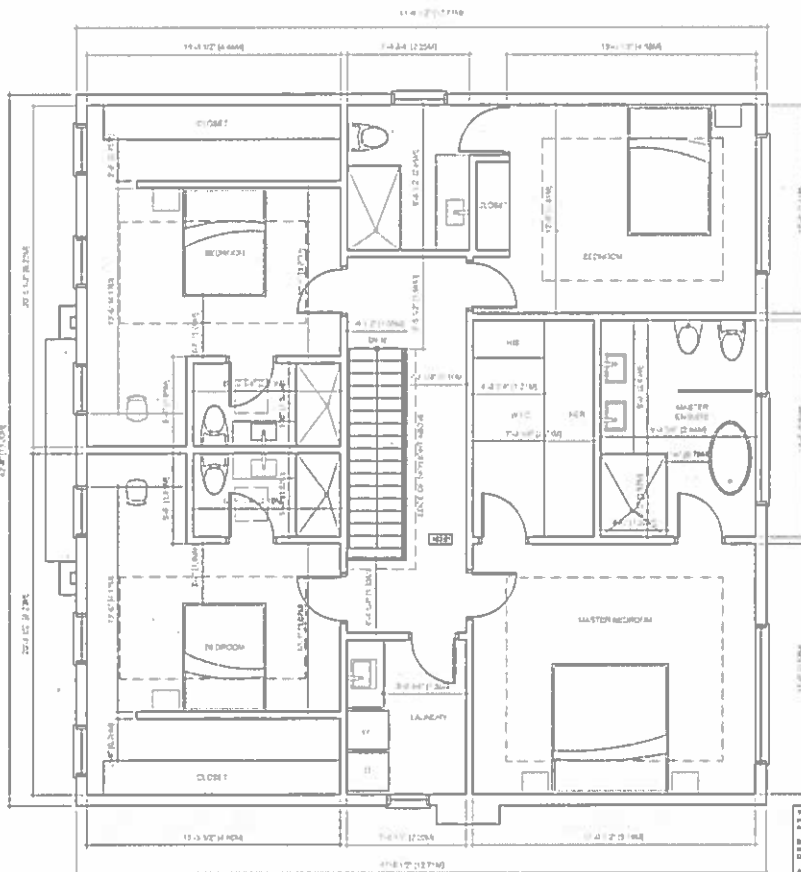


PROJECT NAME:
**EXISTING SECOND
FLOOR**
69 WEEPING WILLOW LANE
THORNHILL,
ON L3T 3S1

PROJECT NO.:
SCALE: 3/16" = 1'-0"
DRAWN BY: PC/SF

DRAWING NO. A102

These children represent the life of America's "The" program. The program is responsible for the development of these children. Our success is measured by the number of children who are able to read and write. We are proud of the progress we have made in the last year. We are proud of the progress we have made in the last year. We are proud of the progress we have made in the last year.



These structural elements are the property of the Designer. The Designer is not responsible for the construction of these elements. The Designer is not responsible for the construction of these elements. The Designer is not responsible for the construction of these elements.



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Tel: 416 688 5599



REVISIONS	
1	Issued For Review 2019-08-09
2	Issued For Review 2019-12-17
3	Issued For Construction 2020-01-14

PROJECT NAME:
PROPOSED
SECOND FLOOR
69 WEEPING WILLOW LANE
THORNHILL
ON L3T 3S1

PROJECT NO.:
SCALE: 3/16" = 1'-0"
DRAWN BY: PCSF

DRAWING NO.: A202



1. EXISTING WEST ELEVATION



2. PROPOSED WEST ELEVATION

arta 33 Sussex Road, Suite 101
Toronto, Ontario
Canada M6H 0B3
T: 416 638 0999



REVISIONS	
1. Zoning Review	2019-09-09
2. Zoning Review	2019-12-17
3. Issued For City	2020-01-14

PROJECT NAME:
ELEVATIONS

69 WEEPING WILLOW LANE
THORNHILL
ON L3T 3S1

PROJECT NO.:
SCALE: 1/8" = 1'-0"
DRAWN BY: POSF

DRAWING NO. A380



These matters arise from the practice of the Council. The Council has no competence in the management of these documents. Any request for documents from the Council should be addressed to the relevant departments for the Council in the manner of the Council's letterhead. The Council has no competence in the management of these documents. Any request for documents from the Council should be addressed to the relevant departments for the Council in the manner of the Council's letterhead. The Council has no competence in the management of these documents. Any request for documents from the Council should be addressed to the relevant departments for the Council in the manner of the Council's letterhead.

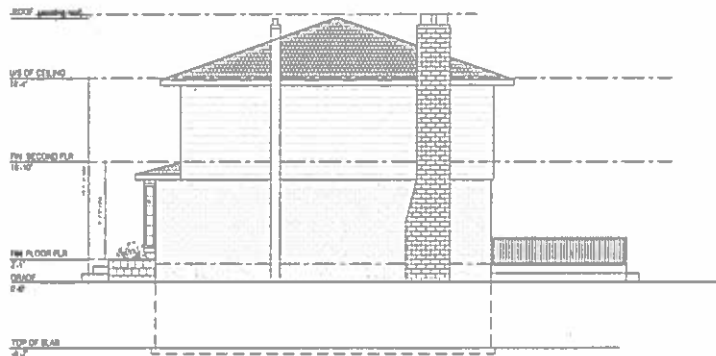
REVISIONS		
1	Zoning Review	2019-08-09
2	Zoning Review	2019-12-17
3	Issued For COA	2020-01-16

PROJECT NAME:
ELEVATIONS

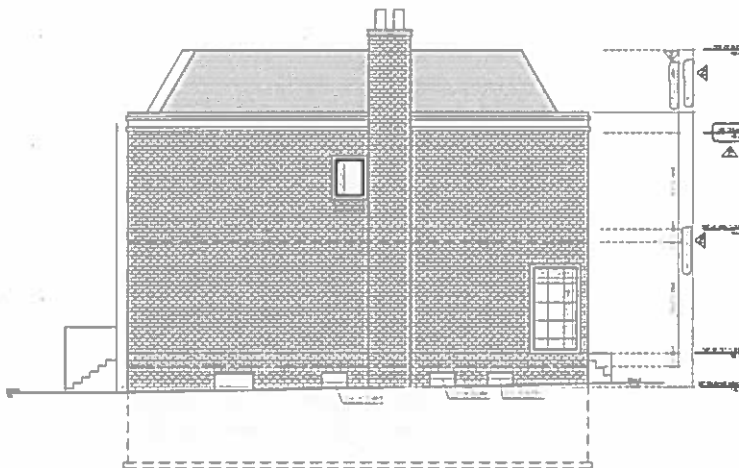
69 WEEPING WILLOW LANE
THORNHILL,
ON L3T 3S1

PROJECT NO.:
SCALE: 1/8" = 1'-0"
DRAWN BY: PC/SF

DRAWING NO. A301



1. EXISTING SOUTH ELEVATION



2. PROPOSED SOUTH ELEVATION

These elevation drawings are the property of Art Design. The Designer accepts no responsibility for the construction of these elevations. The Designer is not responsible for any errors, omissions, or for any other liability arising from the use of these drawings. The Designer is not responsible for any errors, omissions, or for any other liability arising from the use of these drawings. The Designer is not responsible for any errors, omissions, or for any other liability arising from the use of these drawings.

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Canada M6P 3B3
T: 416-888-8099



REVISIONS		
1	zoning Review	2019-08-09
2	zoning Review	2019-12-17
3	Issued For CofA	2020-01-14

PROJECT NAME:
ELEVATIONS

69 WEEPING WILLOW LANE
THORNHILL,
ON L3T 3S1

PROJECT NO.:
SCALE: 1/8" = 1'-0"
DRAWN BY: PCISF

DRAWING NO. **A302**



These studies directly test the propriety of the concept. The design team is responsible for preparing a final document. The team of students should submit a final document to the existing literature that is brought to the attention of the design team preparing the book.

Designs that are not to be used for commercial purposes are in the public domain and are not subject to patent. The team and to report any designs to the Copyright Clearance Center in the United States of America.

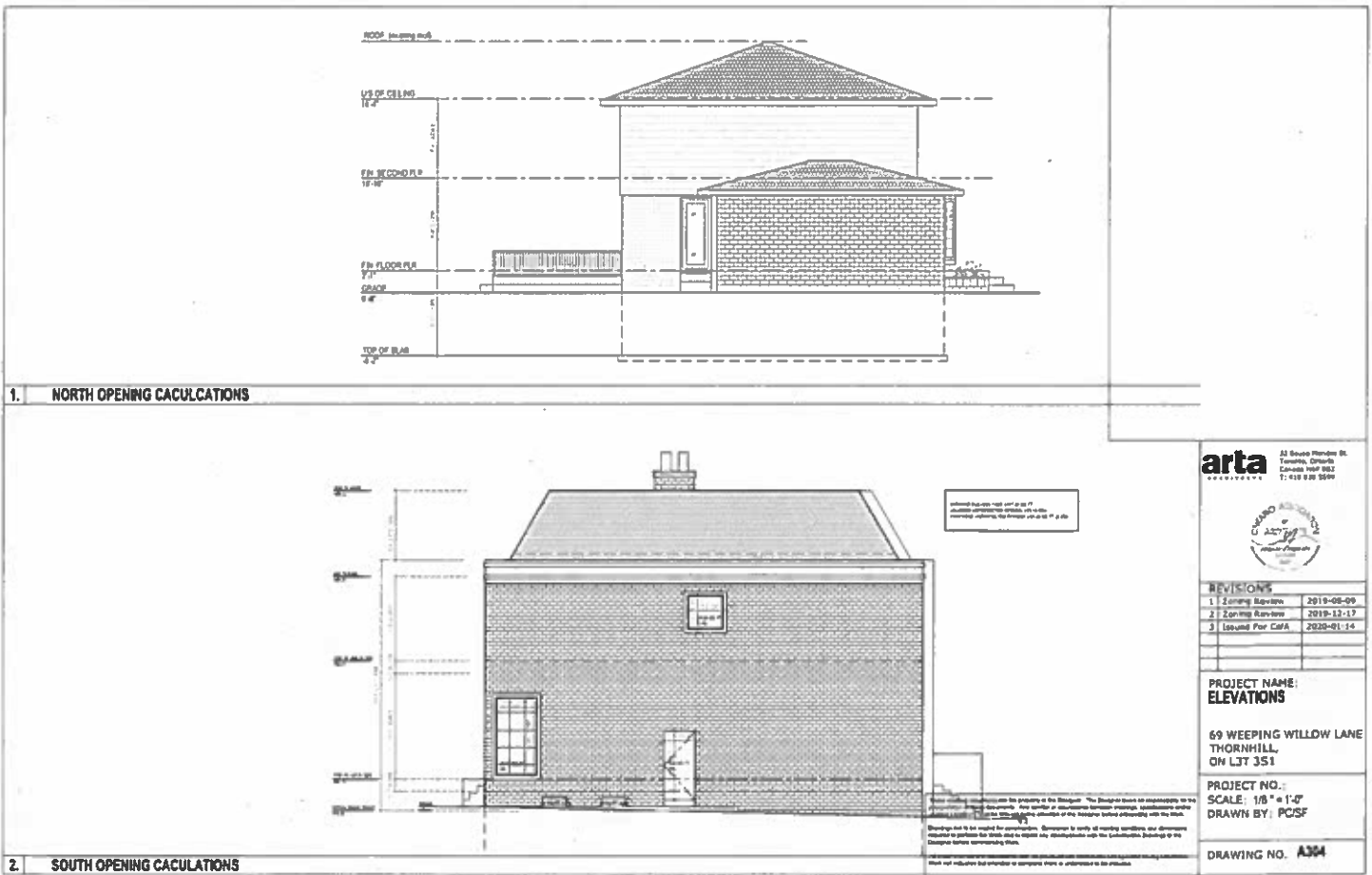
24 Inman Station Rd.
Toronto, Ontario
Canada M6P 6G2
T: 416 635 2399

PROJECT NAME:
ELEVATIONS

69 WEEPING WILLOW LANE
THORNHILL,
ON L3T 3S1

PROJECT NO.:
SCALE: 1/8" = 1'-0"
DRAWN BY: PC/SF

DRAWING NO. A303



ProjectDox[®] ZPR Changemarks Report

Project Name: 19-130951-000-00-ZPR

Workflow Started: 08/09/2019 3:40 PM

Report Generated: 08/23/2019 04:03 PM

Thumbnail	File	Changemark Subject	Changemark Details
	A002-SITE PLAN.pdf	General Notes	Review of the submitted plans dated August 27th, 2019 indicates that the items identified by changemarks on the drawings do not comply with the requirements of the City of Markham's applicable Zoning By-law 2150, as amended. In accordance with the Building By-law, you may choose to submit one revised set of plans showing the deficiencies corrected or modified within 6 months of this letter without incurring additional fees. Alternatively, you may contact the Committee of Adjustment for further information regarding the process to amend development standards. Please visit the "Planning & Development Services/Planning Applications" section of the City of Markham web site at www.markham.ca, or contact the Planning Department at 905-475-4721. Please note that the zoning preliminary review process is to demonstrate compliance with the applicable zone standards only within the City of Markham's applicable Zoning By-law, and does not in any way constitute the issuance of a building permit, authorize the alteration of a building/structure or permit a change of use. Review of this submission is for compliance with the applicable zoning by-law, and does not include review of compliance with any other applicable law. Please note that the establishment of such use or any proposed construction must also comply with the Building Code Act and Ontario Building Code, which may require the issuance of a building permit or change of use permit. If a building permit is required, decisions about whether a proposed use and the related construction complies with zoning and building code requirements can only be provided after reviewing the proposed design plans. If in doubt please retain the services of a qualified professional and/or contact the Building Standards Department at (905) 475-4670. Any use is subject to compliance with all applicable provisions of the zoning or other by-laws of the City, all regulations or laws of any governmental bodies, as well as the provisions of a site plan agreement, which may or may not be registered on title. Every effort is made to ensure that our response contained herein is correct, but we do not warrant or certify its accuracy. Opinions should be verified and are subject to any contrary ruling of a court of competent jurisdiction.
	A300 - WEST ELEVATIONS.pdf	Section 6.1 - Building Height	a building height of 37' max, whereas, the By-law permits a maximum building height of 25 feet.
	A201 - PROPOSED GROUND FLOOR.pdf	Parking By-law 26-97, Section 6.1 (2)(b) - Parking space size	a parking space of not less than 5.58 metres in length, whereas, the By-law requires a minimum length of 5.8 metres within an enclosed garage.
	A201 - PROPOSED GROUND FLOOR.pdf	Section 3.7 - Permitted yard encroachment	a maximum canopy projection of 22" whereas, the By-law permits a maximum canopy encroachment of 18" into the required front yard setback.
	A002-SITE PLAN.pdf	Section 6.1 - Side yard setback	a minimum north side yard setback of 4'-11 3/4", whereas the By-law requires a minimum side yard setback of 8 feet.