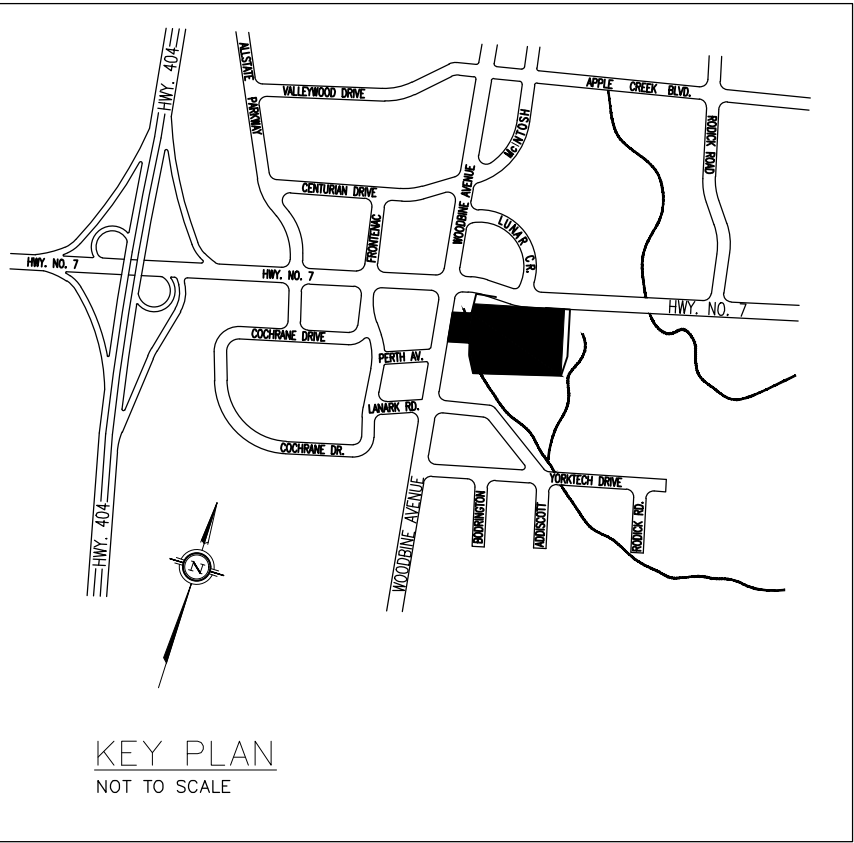
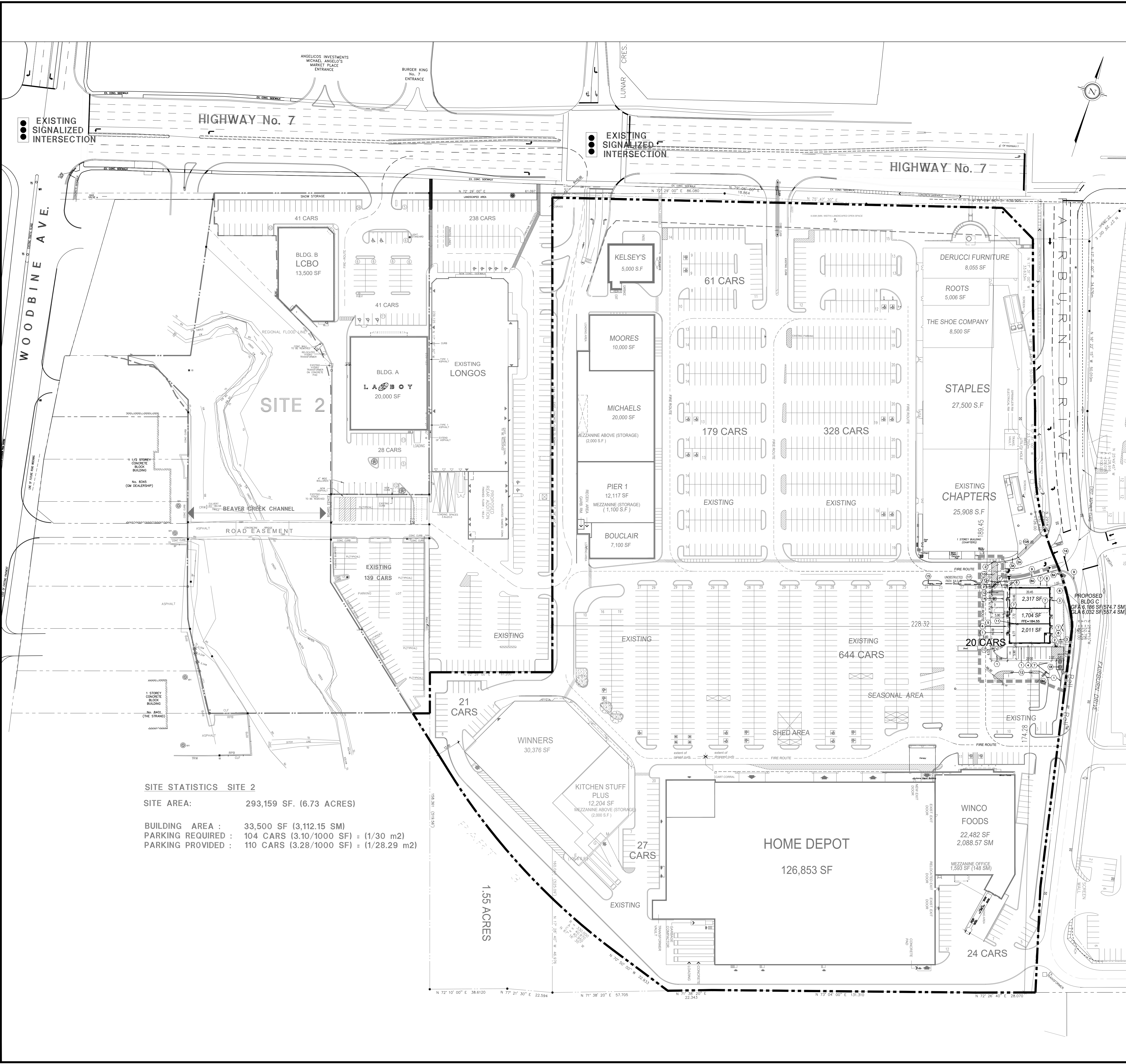




|                                |                |
|--------------------------------|----------------|
| MINIMUM REAR YARD SETBACK =    | 12.00 METRES   |
| SETBACK PROVIDED               | =174.28 METRES |
| MINIMUM SIDE YARD SETBACK WEST | =12.00 METRES  |
| SETBACK PROVIDED (WEST)        | =228.41 METRES |
| MINIMUM SIDE YARD SETBACK EAST | =7.00 METRES   |
| SETBACK PROVIDED (EAST)        | =7.00 METRES   |
| MINIMUM FRONT YARD SETBACK     | =12.00 METRES  |
| SETBACK PROVIDED               | =189.45 METRES |

SITE STATISTICS:

|                            |                                |
|----------------------------|--------------------------------|
| TOTAL AREA OF SITE:        | 97,357.25 S.M. (9.73 HECTARES) |
| (EXCLUDING FAIRBURN DRIVE) | (24.06 ACRES)                  |

BUILDING FLOOR AREA:

|                     |                           |
|---------------------|---------------------------|
| GROUND FLOOR:       | 327,269 SF (30,403.29 SM) |
| MEZZANINES STORAGE: | 5,100 SF (473.79 SM)      |
| MEZZANINES OFFICE:  | 1,593 SF (148 SM)         |
| TOTAL:              | 333,962 SF (31,025.08 SM) |

PARKING:

PARKING REQUIRED

|                                                               |          |
|---------------------------------------------------------------|----------|
| 1) FOR RETAIL STORES OVER 6000 SM                             |          |
| TOTAL AREA 11,785 S.M (1 SPACE/20 SM)                         | 589 CARS |
| 2) FOR RETAIL STORES UNDER 6000 SM                            |          |
| TOTAL AREA 15,492.79 SM (1 SPACE/30 SM) (EXCLUDING MEZZANINE) | 516 CARS |
| 3) FOR RESTAURANTS                                            |          |
| TOTAL AREA 1,039.2 S.M GFA                                    | 114 CARS |
| TOTAL NET AREA 1,024.9 S.M (1/9 SM OF NET AREA)               |          |
| 4) FOR SUPERMARKET STORES                                     |          |
| TOTAL AREA 2,088 S.M (1 SPACE/20 SM OF NET AREA)              | 104 CARS |
| 5) FOR MEZZANINE STORAGE                                      |          |
| TOTAL AREA 473.79 S.M (1 SPACE/100 SM OF NET AREA)            | 5 CARS   |
| 6) FOR MEZZANINE OFFICE                                       |          |
| TOTAL AREA 148 S.M (1 SPACE/30 SM OF NET AREA)                | 5 CARS   |

|                                              |            |
|----------------------------------------------|------------|
| OVERALL PARKING REQUIRED                     | 1,333 CARS |
| OVERALL PARKING PROVIDED                     | 1,304 CARS |
| INCLUDING CART CORRAL/ SHED AREA (22 SPACES) |            |
| OVERALL PARKING PROVIDED                     | 1,282 CARS |
| EXCLUDING CART CORRAL/SHED AREA (22 SPACES)  |            |

PROPOSED BUILDING C

|                     |            |                    |
|---------------------|------------|--------------------|
| PHASE AREA:         | 2,530 S.M. | (0.25 HECTARES)    |
| BUILDING AREA GFA : |            | 6,168 SF(574.7 SM) |
| BUILDING AREA GLA : |            | 6,032 SF(560.4 SM) |
| PROPOSED PARKING :  |            | 20 CARS            |

SITE STATISTICS SITE 2

|            |                          |
|------------|--------------------------|
| SITE AREA: | 293,159 SF. (6.73 ACRES) |
|------------|--------------------------|

|                    |                                        |
|--------------------|----------------------------------------|
| BUILDING AREA :    | 33,500 SF (3,112.15 SM)                |
| PARKING REQUIRED : | 104 CARS (3.10/1000 SF) = (1/30 m2)    |
| PARKING PROVIDED : | 110 CARS (3.28/1000 SF) = (1/28.29 m2) |

ARCHITECTS PREPARING WORKING DRAWINGS FOR THE BUILDINGS SHOWN, COORDINATE AND ENSURE ALL EXPOSED FACES AND LIMITING DISTANCE ISSUES ARE ADDRESSED.

GENERAL NOTES :

- 1) PROPOSED CONCRETE CURB
- 2) EXISTING DEPRESSED CONCRETE CURB AND RAMP
- 3) DEPRESSED CONCRETE CURB AND RAMP MAX:1 to 10 SLOPE WITH MIN 0.61 M TACTILE WARNING SURFACE
- 4) EXISTING CONCRETE SIDEWALK
- 5) CONCRETE SIDEWALK
- 6) CONCRETE SIDEWALK AT BUILDING SHALL BE CONSTRUCTED BY BUILDING CONTRACTOR REFER TO ARCH. DWGS. FOR EXTENT
- 7) HEAVY DUTY ASPHALT
- 8) BIKE RINGS REFER TO LANDSCAPED DWG FOR DETAIL
- 9) EXISTING CURB /ISLAND TO BE REMOVED
- 10) LANDSCAPED ISLAND
- 11) EXISTING CONCRETE CURB TO REMAIN
- 12) PEDESTRIAN CROSSING REFER TO LANDSCAPED DWG FOR DETAIL
- 13) EXISTING PEDESTRIAN CROSSING
- 14) MANHOLE TO BE RELOCATED REFER TO CIVIL DWG
- 15) PAINTED ISLAND
- 16) 90° PARKING STRIPING (TYP.)
- 17) TYPE A-VAN ACCESSIBLE PARKING SIGN
- 18) EXISTING FIRE HYDRANT
- 19) EXISTING STOP BAR
- 20) EXISTING FIRE LANE MARKING
- 21) FIRE LANE MARKING
- 22) EARTH BINS

- LEGEND
- PROPERTY LINE
  - PHASING LINE
  - CONCRETE CURB
  - CONCRETE
  - PAINTED ISLAND
  - PRINCIPAL ENTRANCE

| NO. | DESCRIPTION                   | DATE           | BY | QTY |
|-----|-------------------------------|----------------|----|-----|
| 1   | ISSUED FOR SITE PLAN APPROVAL | NOV. 21, 2019  | DR |     |
| 2   | ISSUED FOR SITE PLAN APPROVAL | SEP. 26, 2019  | DR |     |
| 3   | ISSUED FOR SITE PLAN APPROVAL | JUNE 23, 2019  | DR |     |
| 4   | ISSUED FOR SITE PLAN APPROVAL | APRIL 26, 2019 | DR |     |

COMMERCIAL DEVELOPMENT  
OVERALL SITE PLAN PROPOSED BUILDING C  
HWY 7 AND WOODBINE AVENUE  
MARKHAM, ONTARIO  
FOR: WOODSIDE DEVELOPMENT INC.

PETROFF PARTNERSHIP ARCHITECTS

PETROFF

260 TOWN CENTRE BLVD., SUITE 300  
MARKHAM ONTARIO CANADA L3R 8H8  
TEL: 905.470.7000 FAX: 905.470.2500

DESIGN BY : DR  
DRAWN BY : DR  
SCALE : 1:750

CHECKED BY : MF  
CHECKED BY : DR  
JANUARY 30, 2020

PROJECT No.  
97126

DRAWING No.  
SA-001.1

FILE No. SPC 19 115859