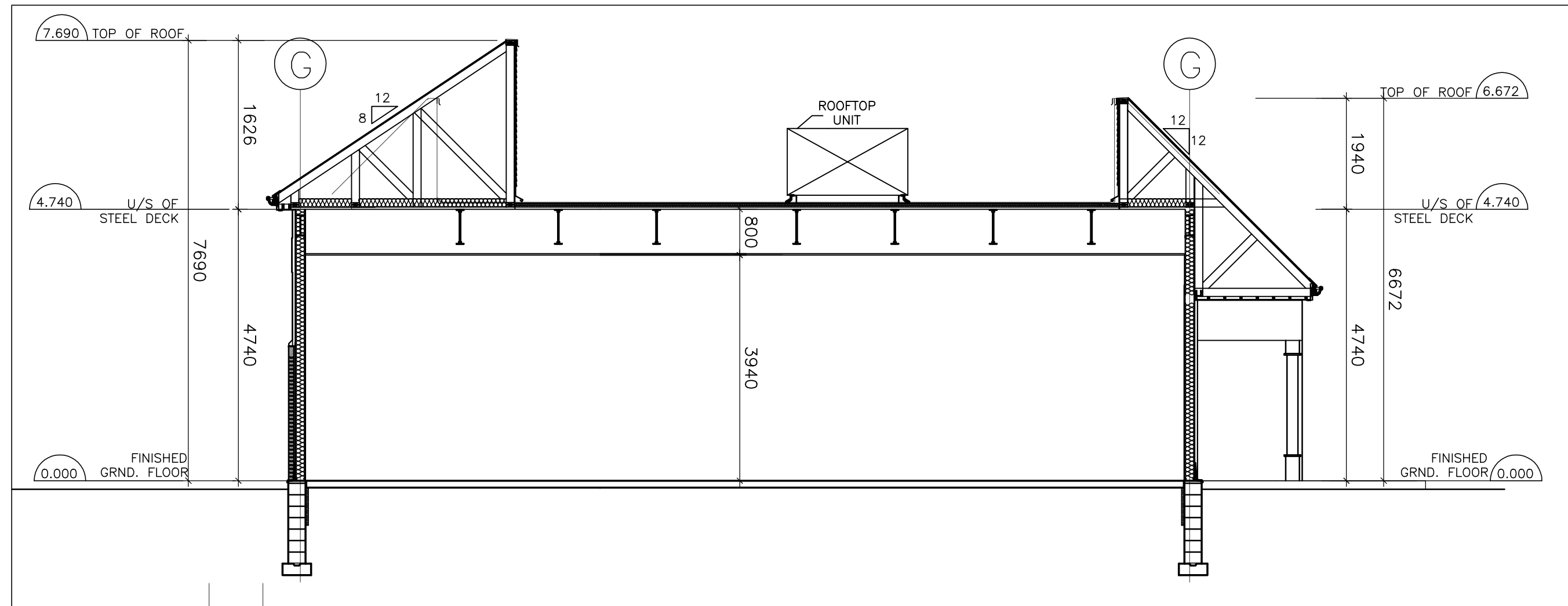
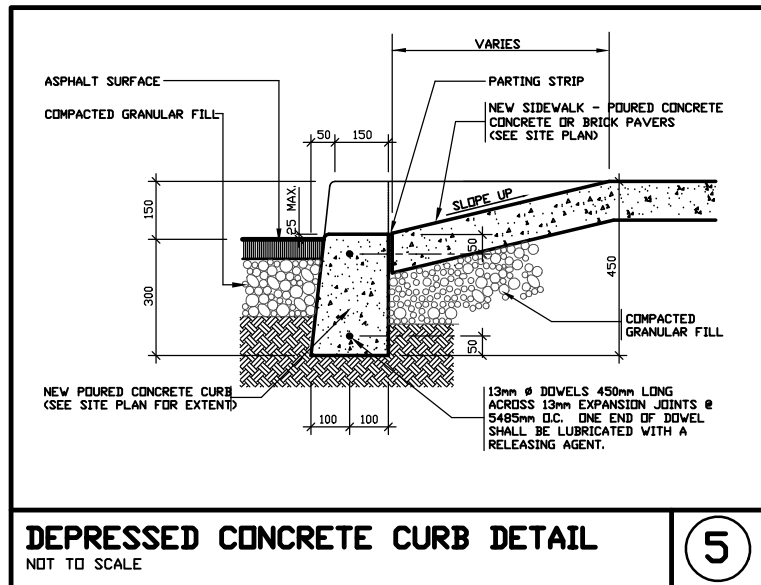
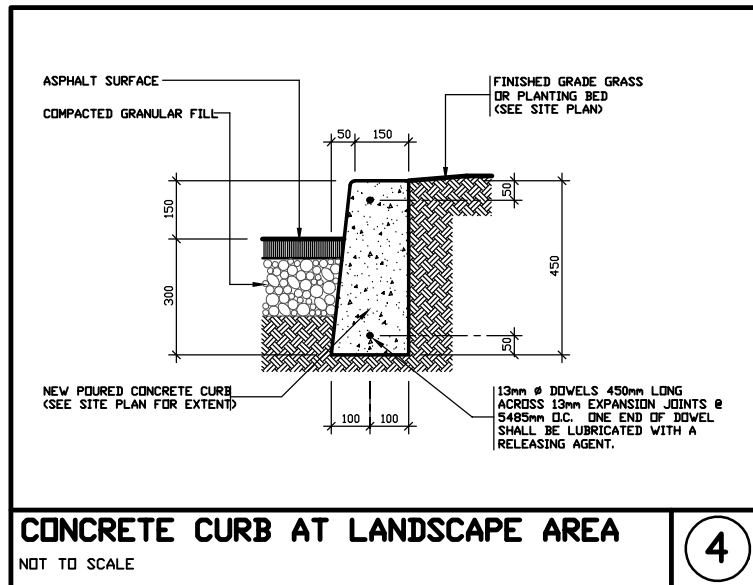
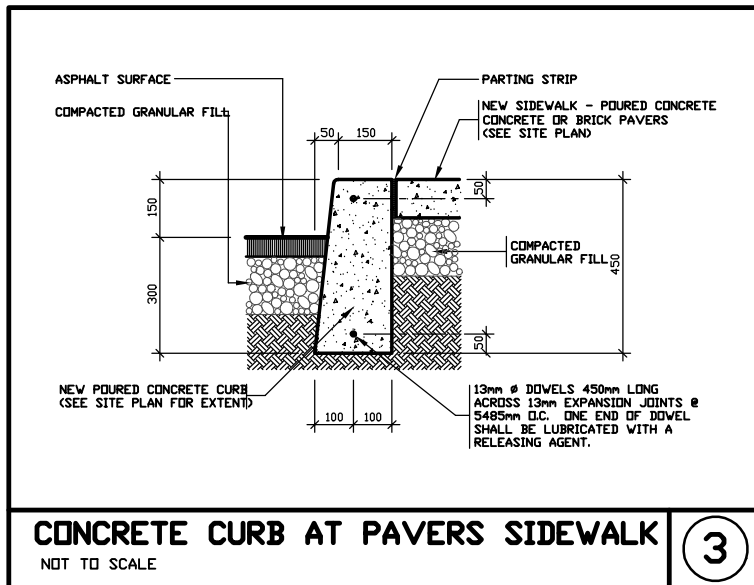
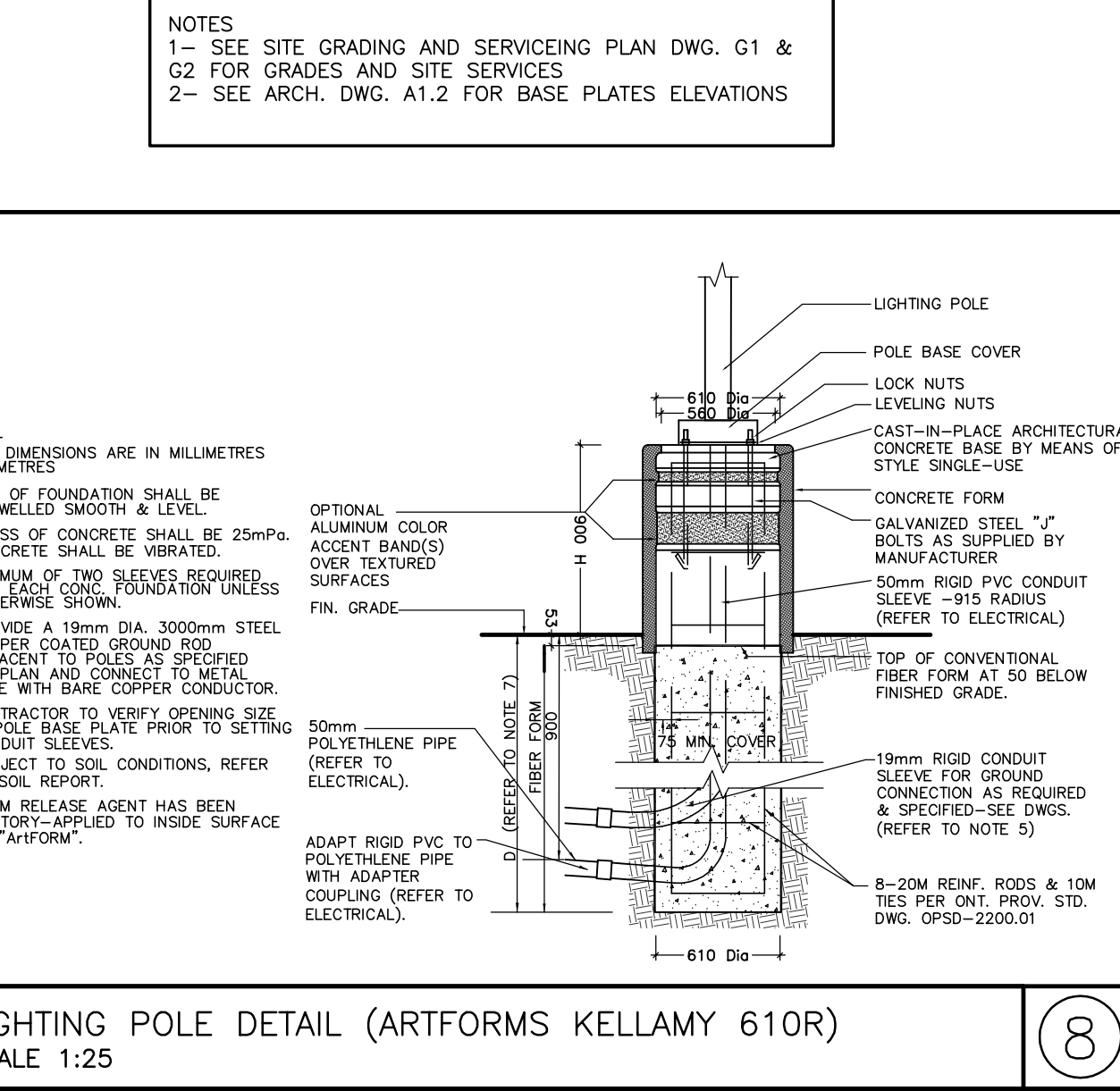
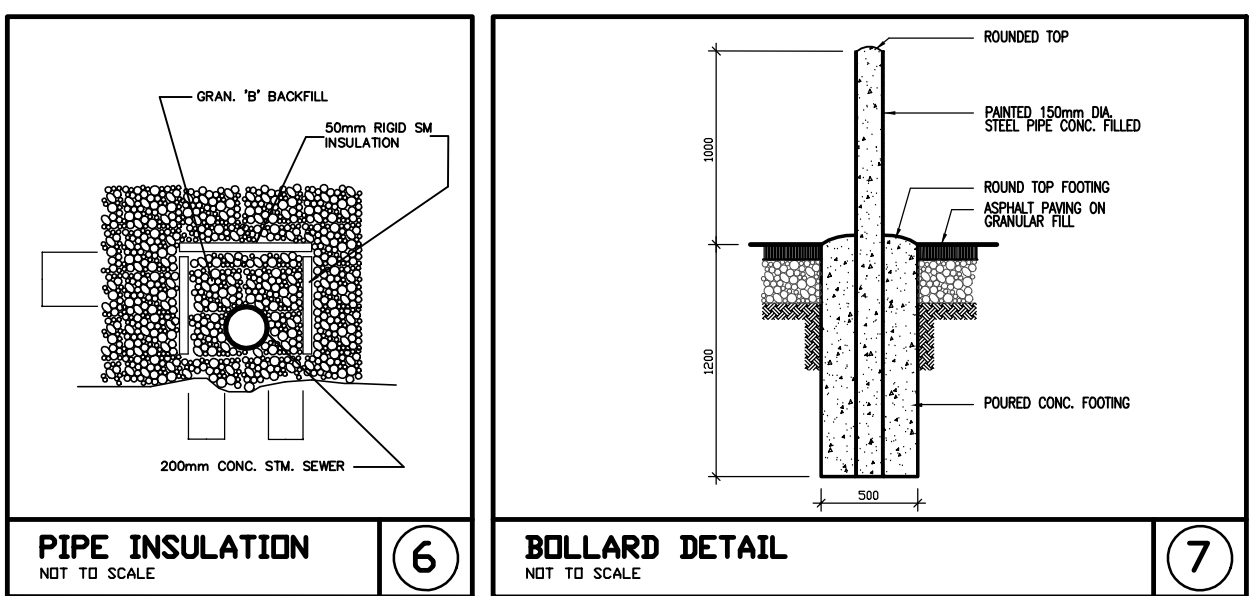
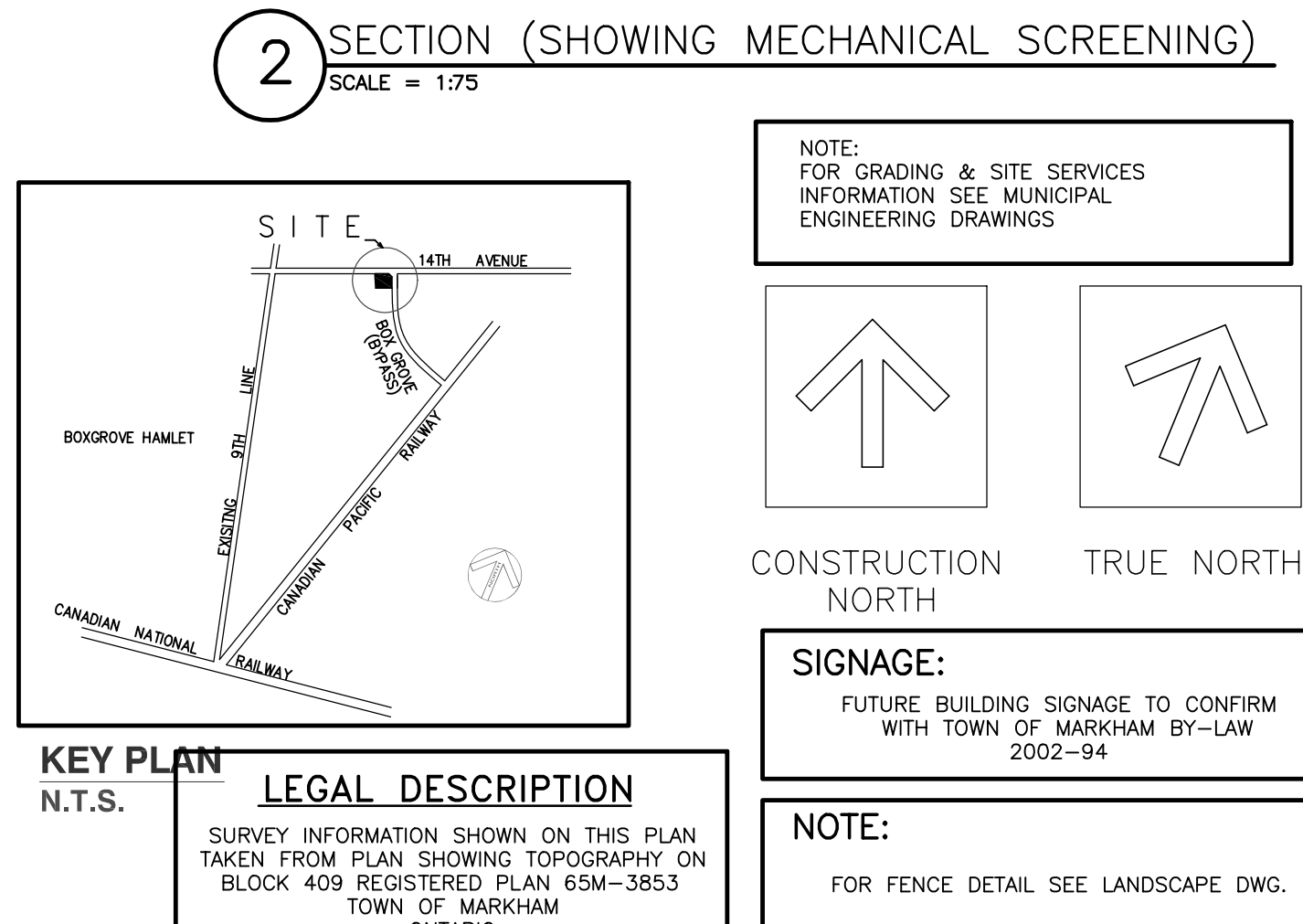
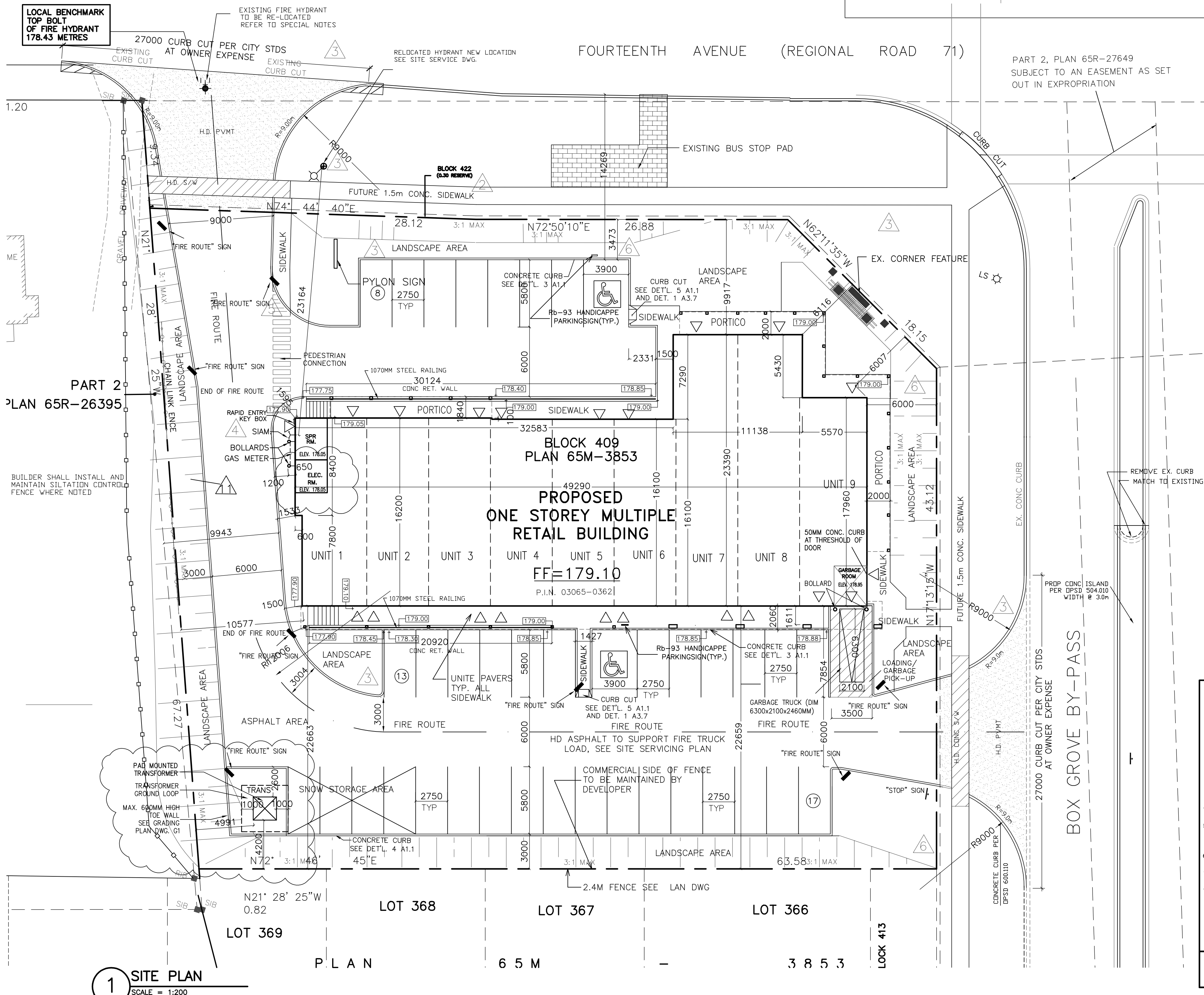




PROJECT DATA						
ZONING CATEGORY		CA1-233				
LOT AREA		3,606.5 s.m.	38,820 s.f.			
LOT COVERAGE						
GROUND FLOOR		879.2 sm	24.4 %			
TOTAL AREA COVERAGE		879.2 sm	24.4 %			
SETBACKS		REQUIRED	PROVIDED			
FRONT YARD (NORTH)		6.0	9.92 m			
SIDE YARD (EAST)		6.0m	6.00 m			
SIDE YARD (WEST)		6.0m	10.58 m			
REAR YARD (SOUTH)		6.0m	22.66 m			
BLDG AREA		GROSS	NET	PARKING REQ'D		
UNIT 1	75.68 sm	815 sf	81.9 sm	882 sf	3.58	
UNIT 2	86.07 sm	926 sf	81.2 sm	874 sf	3.54	
UNIT 3	86.08 sm	927 sf	81.2 sm	874 sf	3.54	
UNIT 4	85.55 sm	921 sf	80.7 sm	868 sf	3.51	
UNIT 5	85.54 sm	921 sf	80.7 sm	868 sf	3.51	
UNIT 6	85.56 sm	921 sf	80.7 sm	868 sf	3.51	
UNIT 7	126.12 sm	1,358 sf	118.7 sm	1,278 sf	5.17	
UNIT 8	125.67 sm	1,353 sf	118.5 sm	1,276 sf	5.16	
UNIT 9	93.50 sm	1,007 sf	79.8 sm	859 sf	3.48	
GARAGE ROOM		10.27 sm	111 sf	-		
ELECTRICAL ROOM		9.45 sm	102 sf	-		
SPRINKLER ROOM		9.72 sm	105 sf	-		
TOTAL FL. AREA		879.22	9,488sf	803.4 sm	8,647 sf	34.99
BUILDING HEIGHT		REQUIRED	PROVIDED			
MINIMUM			9.0m	4.74 m		
MAXIMUM			11.0m	9.65 m		
PARKING						
FORMULA: 1 PARKING SPACE PER 23 sm OF LEASEABLE AREA						
REQUIRED		35				
PROVIDED:		39				
INCLUDES 2 H/C SPACE (3.9x5.8M)						
LOADING SPACE						
REQUIRED		12.0m X 3.5m				
PROVIDED:		7.8m X 3.6m				
LANDSCAPED AREA		925.5 sq. m				
% OF TOTAL LOT AREA		25.6 %				
PAVED AREA		1,802 sq. m				
% OF TOTAL LOT AREA		50 %				



ONTARIO BUILDING CODE DATA						OBC REFERENCE					
1	PROJECT DESCRIPTION:		☒ NEW ☐ ADDITION ☐ CHANGE OF USE ☐ ALTERATION		☐ PART 11	☒ PART 3		☐ PART 9 N/A			
2	MAJOR OCCUPANCY MINOR OCCUPANCY		GROUP E A-2 RESTAURANT								
3	BUILDING AREA (m2)		882.2 sm			1.1.3.2					
4	TOTAL PROPOSED AREA (m2)		882.2 sm			1.1.3.2					
5	NUMBER OF STOREYS ABOVE GRADE		1 BELOW GRADE 0			3.2.1.1& 1.1.3.2					
6	HEIGHT OF BUILDING (m)		9.6 m			3.2.2.10& 3.2.5.5					
7	NO. OF STREETS/ACCESS ROUTES		2			3.2.2.62					
8	BUILDING CLASSIFICATION		GROUP E & GROUP A			3.2.2.27					
9	SPRINKLER SYSTEM PROPOSED		☒ ENTIRE BUILDING ☐ BASEMENT ONLY ☐ IN LIEU OF ROOF RATING ☐ NOT REQUIRED ☐ NEW ADDITION			3.2.2.20-83 3.2.1.5 3.2.2.17					
10	STANPIPE REQUIRED		☐ YES ☒ NO			3.2.9					
11	FIRE ALARM REQUIRED		☐ YES ☒ NO			3.2.4					
12	WATER SERVICE/SUPPLY IS ADEQUATE		☒ YES ☐ NO			3.2.6					
13	HIGH BUILDING		☐ YES ☒ NO			3.2.2.29 (FOR ADDITION)					
14	PERMITTED CONSTRUCTION		☐ COMBUSTIBLE ☒ NONCOMBUSTIBLE ☒ BOTH			3.2.2.1.1.(3)-(8)					
15	ACTUAL CONSTRUCTION		☐ COMBUSTIBLE ☒ NONCOMBUSTIBLE ☒ BOTH			3.2.1.1					
16	MEZZANINE (S) AREA m2		N/A			3.2.1.1.(3)-(8)					
17	OCCUPANT LOAD BASED ON		m2/PERSON ☒ DESIGN OF BUILDING			3.1.1.6					
18	NEW BUILDING		12 PERSONS PER UNIT (12x8) 96 PERSONS								
19	BARRIER – FREE DESIGN		☒ YES ☐ NO (EXPLAIN)			3.8					
20	HAZARDOUS SUBSTANCES		☐ YES ☒ NO			3.1.2.(1) & 3.3.1.9(1)					
21	REQUIRED FIRE RESISTANCE (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)		LISTED DESIGN No. or DESCRIPTION (SG-2)		3.2.2.20-83 & 3.2.1.4					
22	FLOOR 0			NON COMBUSTIBLE							
23	ROOF 0			NON COMBUSTIBLE							
24	BETWEEN OCCUPANCIES = MAX 2 HRS = MIN 1 HR			ULC W404 ULC W415							
25	FRR OF SUPPORTING MEMBERS			LISTED DESIGN No. or DESCRIPTION (SG-2)							
26	FLOOR 0			NON COMBUSTIBLE							
27	ROOF 0 HOURS			NON COMBUSTIBLE							
28	MEZZANINE	N/A									
29	SPATIAL SEPARATION – CONSTRUCTION OF EXTERIOR WALLS					TABLE 3.2.3.1.D					
30	WALL AREA OF EXF (m2)	L.D. (m)	L/H or H/L	PERMITTED MAX. % OF OPENING	AREA OF OPENING (m2)	PROP. % OF OPENING	FRR (HOURS)	LISTED DESIGN DESCRIPTION	COMB CONST	COMB.CONSTR. NON COMB. CLADDING	NON-COMB. CONSTR.
31	NORTH	273.8	N/A	–	100%	N/A	N/A	–			
32	SOUTH	253	22.66	–	100%	–	–	–			
33	EAST	158.0	N/A	–	100%	N/A	N/A	–			
34	WEST	141.3	10.58	–	64%	32.8	23%	1 HR			

NINO RICO
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DO NOT SCALE DRAWINGS.

179.00	PROPOSED FINISHED GRADE
179.00	EXISTING GRADE
179.00	PRINCIPAL ENTRANCE
179.00	MAN DOOR LOCATIONS
179.00	OVERHEAD DRIVE-IN DOOR
179.00	OVERHEAD LOADING DOOR
179.00	CATCH BASIN
179.00	CATCH BASIN MANHOLE
179.00	SANITARY MANHOLE
179.00	STORM SEWER MANHOLE
179.00	FIRE HYDRANT
179.00	GAS METER
179.00	ROOF DRAIN
179.00	TEST BORE LOCATION
179.00	SIAMSESE FIRE CONNECTION
179.00	BOLLARD
179.00	LIGHT STANDARD
179.00	FIRE ACCESS ROUTE
179.00	HEAVY DUTY ASPHALT PAVING
179.00	LIGHT DUTY ASPHALT PAVING
179.00	SNOW STORAGE

12 JUNE 02, 09 TRANS & ELEC. ROOM REVISED
11 APR. 23, 09 SPLIT FIRE ROUTE AS PER BLDG DEPT
10 APR. 06, 09 RE-ISSUED FOR PERMIT
9 FEB. 28, 09 ISSUED FOR PERMIT
8 OCT. 16, 08 REISSUED FOR SITE PLAN APPROVAL
7 JUNE 16, 08 ELEC. ROOM REVISED
6 FEB. 04 08 SET BACK DIM REVISED
5 DEC. 03 07 REVISED PER FIRE DEP. COMMENTS
4 NOV. 30 07 REVISED PER FIRE DEP. COMMENTS
3 NOV. 15 07 DRIVEWAY, PARKING & S/W REVISED
2 OCT 25 07 REVISED BUILDING OUTLINE & PARKING LAYOUT
1 MAR 05 07 ISSUED FOR SITE PLAN APPROVAL

NO. DATE ISSUE OR REVISION

QUALIFICATION INFORMATION
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

NINO RICO INC. BCDN 3181
Name: Signature Individual BCIN / BCDN
NINO RICO INC ARCHITECT BCDN 3181
Firm Name: Firm BCIN / BCDN

CLIENT:
WOODEN SPIRE ESTATES INC.

Drawing Approved For: Client Review

PERMIT
GAE AND NINO RICO
LICENCE 3567
Construction

PROJECT NAME :
PROPOSED ONE STOREY MULTIPLE RETAIL BUILDING
6899, 14TH AVE.
BLOCK 409, PLAN 65M-3853
TOWN OF MARKHAM

DRAWING TITLE :
SITE PLAN, SECTION, DETAILS

FILE NO. SC 07 117026

DATE: OCT, 2007 PLOT DATE : OCT 25, 2007

PROJECT No. DRAWING No.

6008 A0.1

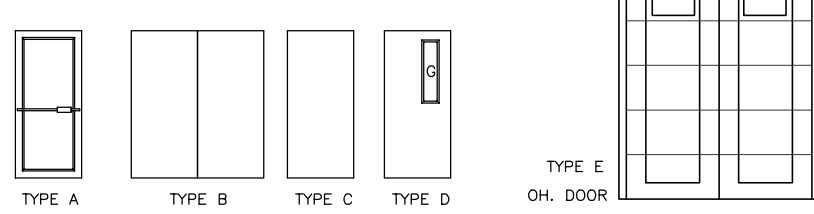
OF -

NOTE:
1-ALL THE COL'S SHOULD BE COVERED BY 2 LAYERS OF 16MM GYP. BOARD TYPE X W 35MM STEEL STUD TO PROVIDE 45MIN FRR.
2-APPLY 45MIN FRR. SPRAY FOAM TO EXPOSED BEAMS, JOISTS & SUPPORTING MEMBERS @ US. OF DECK AT DEMISING WALL

NOTE:
INTERIOR WALLS AND ABOVE GROUND PLUMBING FACILITIES SHOWN ON DWG ARE NOT INCLUDED IN THIS PERMIT APPLICATION AND TO BE PART OF TENANT IMPROVEMENT SCOPE OF WORK.

LEGEND
ALUM ALUMINUM LEVER LEVER HANDLE PT PAINTED B.F. BARRIER FREE
ANOD ANODIZED PREFIN PREFINISHED P.M. PRESSED METAL H.M. HOLLOW METAL
DELAY DELAY ACTION SELF CLOSER ST STAIN S.C. SOLID CORE WOOD H.W. HOLLOW CORE WOOD

DOOR TYPES

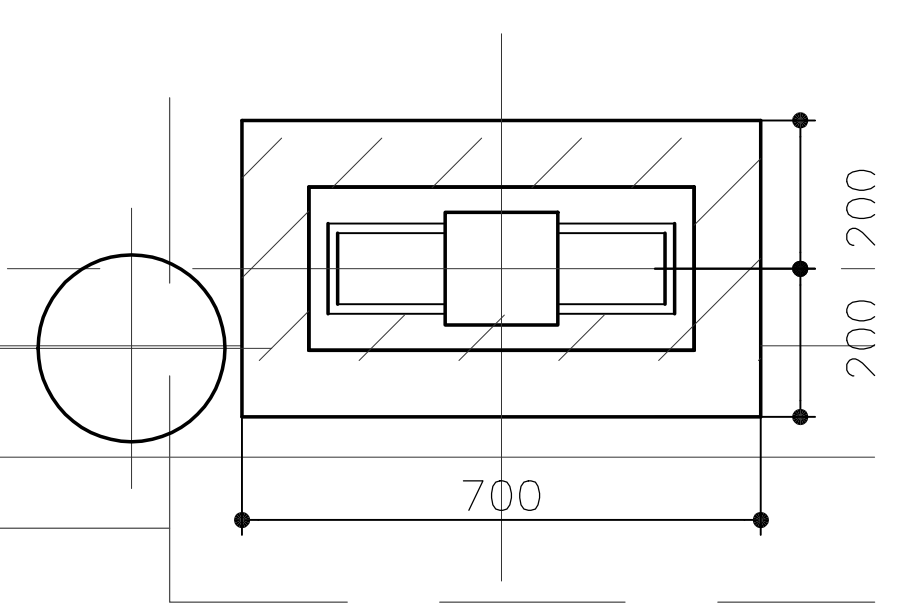


DOOR SCHEDULE

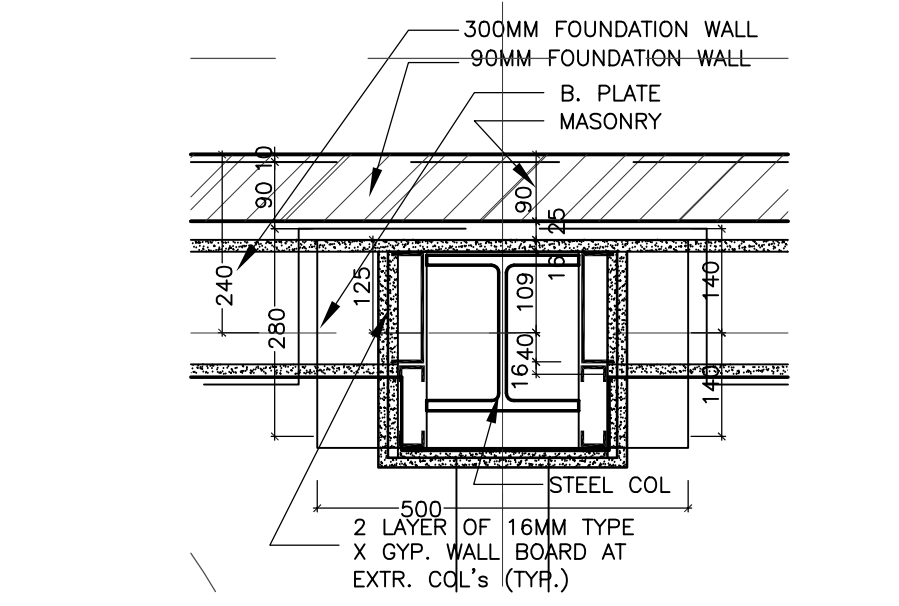
DOOR NO.	LOCATION	SIZE	TYPE	FIRE RATING	MATERIAL OF DOOR	FINISH	SELF CLOSURE	LATCH	LOCK	WEATHER STRIPPING	PANIC H/WARE	THRESHOLD	UNDER-CUT	REMARKS
001	EXIT FROM UNITS	914x2134x44	C	-	H.M. P.M.	PT	○	○	○	○	○	○	-	INSULATED
002	ENTRANCE TO UNITS	914x2134x44	A	-	ALUM ALUM	PT	○	○	○	○	○	○	-	INSULATED POWER DOOR OPERATOR
003	ENTRANCE TO SP./ELEC. RM.	914x2134x44	C	-	H.M. P.M.	PT	○	○	○	○	○	○	-	INSULATED NOTE 1
004	GARBAGE RM.	2134x2134x44	E	-	H.M. P.M.	PT	○	○	○	○	WITH ELEC. DOOR OPENER	○	-	INSULATED O.H. COLONIAL STYLE
005	H/C WASHROOM	914x2134x44	C	-	H.W. P.M.	PT	○	○	○	○	○	○	-	NOTE 2

NOTE 1: PROVIDE 50 MM CONC. CURB AT GARBAGE ROOM MANDOR
NOTE 2: PROVIDE DOOR HARDWARE SCHEDULE AS PER OBC. DIV. B 3.8.3.12 (1) (b) (i)

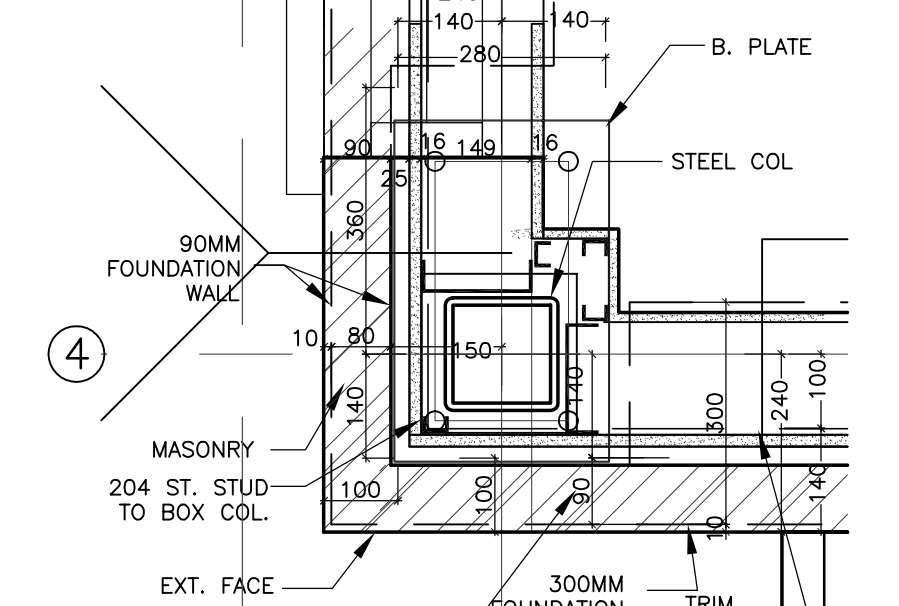
6 PLAN DET. @ EXT. PILASTER (TYP.)
SCALE = 1:10



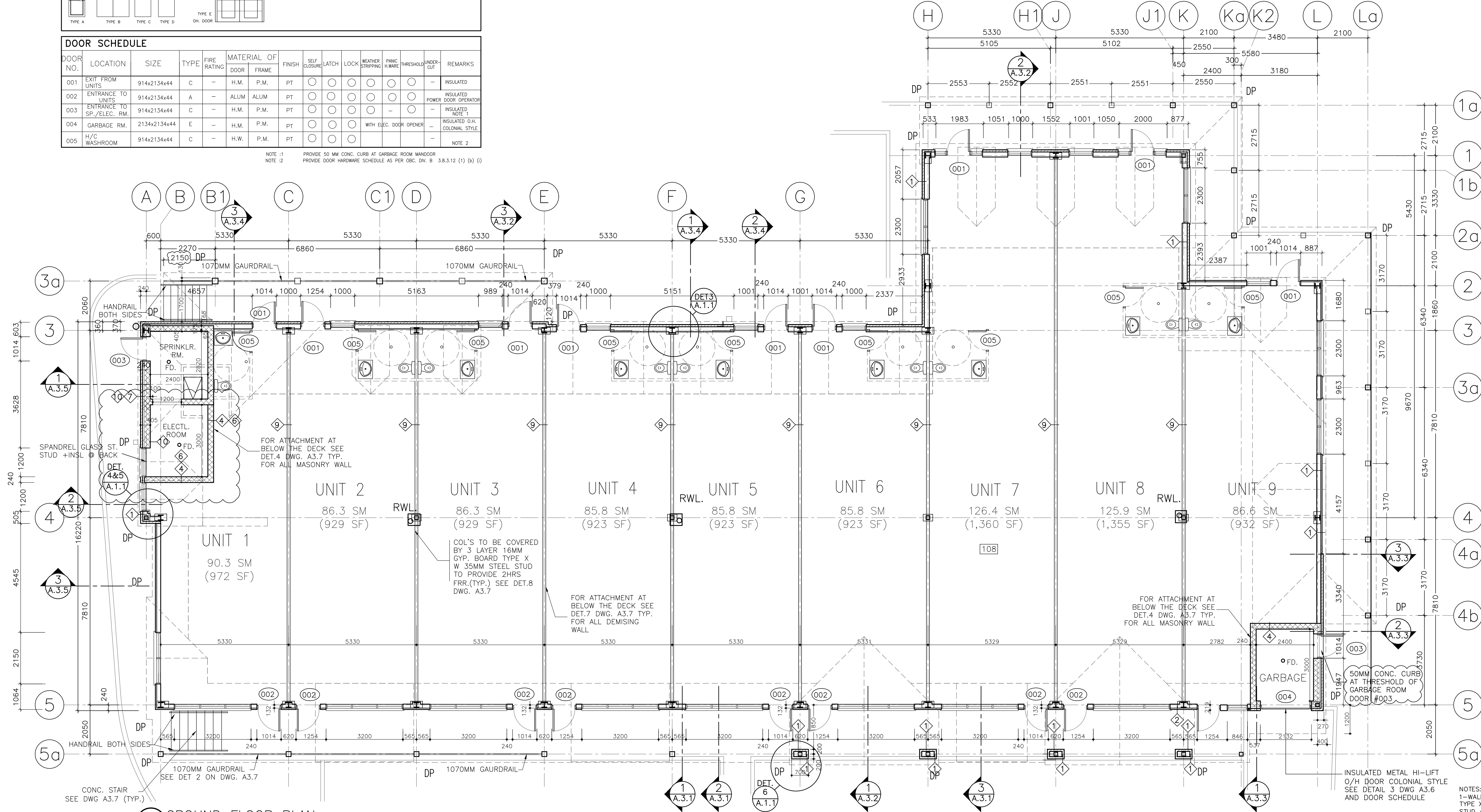
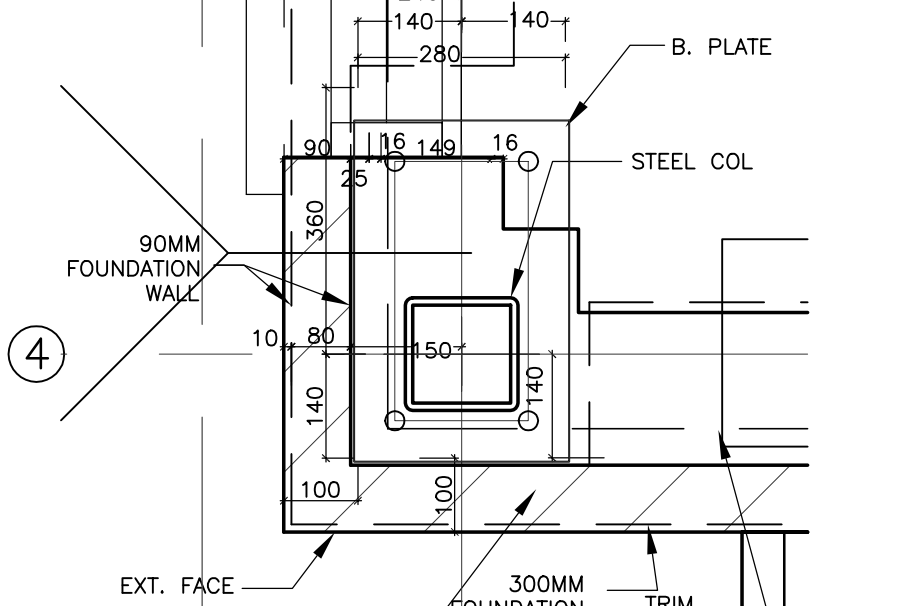
3 PLAN DET. @ EXT. COLUMN (TYP.)
SCALE = 1:10
SEE STRUCT. DWG.



4 PLAN DET. @ CORNER COLUMN (TYP.)
SCALE = 1:10
SEE STRUCT. DWG.



5 B. PLATE @ CORNER COLUMN (TYP.)
SCALE = 1:10
SEE STRUCT. DWG.



WALL TYPES

W1	TYP. 300 mm EXTERIOR WALL
W2	TYP. EXTERIOR WALL WITH FIBER CEMENT SIDING
W3	TYP. INTERIOR METAL STUD WALL
W4	TYP. 240 mm INT. CONC. BLOCK
W5	TYP. EXTERIOR ALUM. FRAME WINDOW
W6	TYP. FOUNDATION WALL
W7	TYP. FOUNDATION WALL
W8	16mm GYPSUM BOARD TYP. X ON BOTH SIDES OF 92mm OR 152mm METAL STUDS @ 600 TO UNDER SIDE OF STEEL DECK
W9	2 HR FRR INTERIOR METAL STUD WALL COMPLY WITH ULC W453
W10	TYP. CONC. BLK. EXTERIOR WALL
W11	TYP. CONC. BLK. EXTERIOR WALL AND CEMENT SIDING



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ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF NINO RICO INC. ARCHITECT AND SHALL NOT BE USED FOR ANY PURPOSE WITHOUT APPROVAL FROM THE ARCHITECT.

11 JUNE 04 09 ELEC. RM. REVISED & RE-ISSUED
10 JUNE 01 09 RE-ISSUED FOR PERMIT
8 MAY 26 09 REVISED FOR CONSTRUCTION
8 APR 30 09 REVISED AS PER CITY'S COMMENT
7 APR 08 09 RE-ISSUED FOR PERMIT
FEB 28 09 ISSUED FOR PERMIT
5 DEC 22 08 ISSUED FOR CLIENT REVIEW
4 OCT 16 08 REVISED ELEC. ROOM
3 MAR 28 08 REVISED FLOOR PLAN & ELEVATIONS
2 OCT 25 07 REVISED ELEVATIONS FACADE
1 MAR 05 07 ISSUED FOR SITE PLAN APPROVAL

NO. DATE ISSUE OR REVISION

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Name: Signature: Individual BCDN / BCDN
NINO RICO INC ARCHITECT BCDN 3181
Firm Name: Firm BCDN / BCDN

CLIENT:

WOODEN SPIRE
ESTATES INC.

Drawing Approved For: Client Review
JUNE 25, 08

ONTARIO ASSOCIATION
OF
ARCHITECTS
GAEWANO NINO RICO
LICENCE
3567

PROJECT NAME :

PROPOSED
ONE STOREY MULTIPLE
RETAIL BUILDING
BLOCK 409, 14TH AVE.,
MARKHAM

DRAWING TITLE :

GROUND FLOOR PLAN

TOWN REFERENCE: 905 SC 2778

DATE:
MAR - 2008

PROJECT No.
6008

PLOT DATE :
MAR - 2008

DRAWING No.
A1.1

OF -

NOTES:
1-WALL TYPE FOR MECH. SHAFT WALL IS SIM TO W8 W/
TYPE X GYP. BOARD ON BOTH SIDES. USE C-H TYPE SHAFT
STUD AND 1" TYPE X WALL BOARD IF REQ'D
2- APPLY WATER RESISTANT GYP. BOARD AT WASHROOMS.