

# Memorandum to the City of Markham Committee of Adjustment

June 22, 2020

**File:** A/031/20  
**Address:** 7683 9th Line – Markham, ON  
**Applicant:** Sean Young & Novelette Witter Young  
**Agent:** Vanle Architect Inc.  
**Hearing Date:** Thursday July 2, 2020

The following comments are provided on behalf of the East Team. The applicant is requesting relief from the Single Family Rural Residential – (RRH) zone requirements of By-law 194-82, as amended, as they relate to a proposed two-storey single detached dwelling on the subject property. The proposed variances are as follows:

**a) Section 7.2 (b):**

a minimum lot area of 1,800.28 m<sup>2</sup> (0.45 Ac), whereas the By-law requires 2,040.0 m<sup>2</sup> (0.50 Ac);

**b) Section 4.5.1 (a):**

a minimum setback of 25.18 m (82.61 ft) to the centre line of 9th line, whereas the By-law permits no part of any Building or Structure to be within 36.50 m (119.75 ft) of the centre line of 9th line;

**c) Section 7.2 (c):**

a minimum (north) side yard setback of 2.80 m (9.19 ft), whereas the By-law requires a minimum side yard setback of 3.0 m (9.84 ft); and

**d) Section 6.1:**

a Second Dwelling Unit, whereas the By-law permits no more than one (1) Single Detached Dwelling on one (1) lot.

## BACKGROUND

### Property Description

The 1,800.28 m<sup>2</sup> (0.45 Ac) subject property is located on the east side of 9<sup>th</sup> Line, north of Donald Cousens Parkway, and south of 14<sup>th</sup> Avenue. There is an existing one-storey detached dwelling located on the property with a pool in the rear yard, which was constructed in 1954 according to assessment records. Mature vegetation exists across the property including several mature trees in the front and rear yards. The street is undergoing a transition with newer dwellings being developed as infill developments.

### Proposal

The applicant is proposing to demolish the existing one-storey detached dwelling, and construct a new two-storey detached dwelling with a triple car garage. The proposed dwelling has a gross floor area of approximately 566.28 m<sup>2</sup> (6,095.39 ft<sup>2</sup>). The site plan shows the existing pool in the rear yard will remain.

The applicant is also requesting a variance to permit a two-bedroom secondary suite on the second floor of the proposed dwelling. The primary dwelling is accessed by the main doors entry at the front of the building. The proposed second-storey secondary suite would have separate access provided via a separate entry at the front of the building.

## **Provincial Policies**

### *More Homes, More Choice Act, 2019*

The *More Homes, More Choice Act, 2019*, S.O. 2019, c. 9 – (Bill 108), received Royal Assent on June 6, 2019 and portions were proclaimed on September 3, 2019. The proclaimed portions of Bill 108 amended the *Planning Act* to require Official Plans to contain policies providing for two residential units in detached, semi-detached and row houses, as well as permitting a residential unit in ancillary structures to a detached house, semi-detached house or rowhouse. Under this legislation, “second suites” are now referred to as “additional residential units”, and the terms are used synonymously in this memorandum.

### *Provincial Policy Statement, 2020*

Section 1.4.3 of the *Provincial Policy Statement, 2020*, requires planning authorities to provide for an appropriate range and mix of housing options and densities to meet the affordable housing needs of current and future residents. Amongst other means, this can be achieved by permitting and facilitating residential intensification, including additional residential units, and redevelopment by accommodating a significant supply and range of housing options through intensification and redevelopment while taking into account existing building stock.

### *A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019 (Growth Plan, 2019)*

Section 2.1.4 (c) of the Growth Plan, 2019 requires municipalities to provide a diverse range and mix of housing option including second units to support complete communities.

## **Official Plan and Zoning**

### Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The subject property is designated “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the “Residential Low Rise” designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new lots within a residential neighbourhood.

The 2014 Official Plan (Section 4.1.2.6) contains policies to support further diversification of the housing stock and rental housing tenure by permitting secondary suites within existing and new permitted single-detached, semi-detached and rowhouse dwellings in accordance with Section 3.5.22 of the Regional Official Plan and subject to appropriate zoning, development criteria and standards.

As previously mentioned, the City’s Official Plan designates the subject property “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings, and secondary suites in accordance with Section 8.13.8. A “Secondary Suite” in the 2014 Official Plan is defined as:

*“...a second residential unit in a detached house, semi-detached house or rowhouse that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking, sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons.”*

Section 8.13.8 states:

*“That in considering an application to amend the zoning by-law to permit the establishment of a secondary suite where provided for in this Plan, Council shall be satisfied that an appropriate set of development standards are provided for in the zoning by-law including:*

- a) the building type in which the secondary suite is contained;*
- b) the percentage of the floor area of the building type devoted to the secondary suite;*
- c) the number of dwelling units permitted on the same lot;*
- d) the size of the secondary suite;*
- e) the applicable parking standards; and*
- f) the external appearance of the main dwelling.”*

#### Zoning By-Law 194-82

The subject property is zoned Single Family Rural Residential (RRH) under By-law 194-82, as amended, which permits one single detached dwelling per lot. The proposed development does not comply with the By-law requirements with respect to the minimum lot area, minimum setback to the centre line of 9<sup>th</sup> Line, and minimum side yard setback along the north side. The proposed secondary suite also does not comply with the By-law requirement of only one dwelling unit on the lot.

#### **Applicant’s Stated Reasons for Not Complying with Zoning**

According to the information provided by the applicant, the reasons for not complying with zoning are:

- 1. *“to be compatible with other houses;*
- 2. *to match existing new rebuild houses; and*
- 3. *to accommodate an ailing mother.”*

#### **Zoning Preliminary Review (ZPR) Undertaken**

The applicant confirmed that a ZPR has not been conducted. However, the applicant has received comments from the building department through their permit process to confirm the variances required for the proposed development.

#### **COMMENTS**

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

### **Reduction in Minimum Lot Area**

The applicant is requesting a minimum lot area of 1800.28 m<sup>2</sup> (0.45 Ac), whereas the By-law requires a minimum lot area of 2,040.0 m<sup>2</sup> (0.5 Ac). According to the City's records, the subject lot was created prior to the passing of the applicable Zoning By-law. The requested variance will legalize the existing lot size and staff have no concerns.

### **Reduction in Minimum Setback to Centre Line of 9<sup>th</sup> Line**

The applicant is requesting a minimum setback of 25.18 m (82.61 ft) from the centre line of 9<sup>th</sup> Line to the front wall of the building, whereas the By-law requires a minimum setback of 36.50 m (119.75 ft) from the centre line of 9<sup>th</sup> Line to any part of a building or structure. This is a reduction of approximately 11.32 m (37.14 ft).

The intent of the minimum setback from the centre line of 9<sup>th</sup> Line was to maintain an opportunity for the potential widening of 9<sup>th</sup> Line, which was previously an arterial road owned and operated by the Regional Municipality of York. This section of 9<sup>th</sup> Line has been downloaded to the City, and there are no plans for the future widening of 9<sup>th</sup> Line along this section. The proposed dwelling will comply with the minimum front yard setback of 7.50 m (24.61 ft). Staff have no concerns with the requested variance.

### **Reduction in Side Yard Setback**

The applicant is requesting a minimum side yard setback of 2.80 m (9.19 ft) along the north property line, whereas the By-law requires a minimum side yard setback of 3.0 m (9.84 ft). This is a reduction of 0.20 m (0.66 ft).

The applicant is proposing that the main wall of the building along the northern side be setback 3.12 m (10.24 ft) which complies with the By-law requirement. The proposed setback is attributable to a fireplace encroachment, and boxed window bay within the required side yard which have approximate widths of 1.52 m (5.0 ft) and 2.90 m (9.51 ft), respectively. Staff are of the opinion that the proposed setback will not adversely impact the character of the neighbourhood, and do not object to the variance.

### **Secondary Suites**

The City's Fire and Emergency Services Department has no objections provided the proposed secondary suite is registered with the City and complies with Building and Fire Codes. Should this application be approved, the applicant will be required to obtain a building permit to ensure the secondary suite is in compliance with Building Code and Fire Code regulations, and will be required to register their second suite with the Fire Department prior to the occupancy of the unit.

The City of Markham is committed to promoting affordable and shared housing opportunities. Secondary suites help the City increase the availability of affordable housing forms and provides support to achieve its affordable housing target required by the Province. Staff are of the opinion that the application meets the criteria under Section 8.13.8 of the 2014 Official Plan for the establishment of a secondary suite and have no objections to the requested variance.

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of June 22, 2020. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

## **APPLICATION PROCESSING**

This application was initially scheduled to be heard on April 1, 2020; however, this hearing date was scheduled prior to the Province of Ontario's decision to suspend *Planning Act* timelines for the consideration of a consent and minor variance application, as well as any appeal of an application to the Local Planning Appeal Tribunal (LPAT).

On June 12, 2020, the Province announced that the emergency regulations relating to *Planning Act* applications will end on June 22, 2020. After June 22, 2020, the procedural requirements (e.g. sending of notices, hearing of applications, eligibility for appeals to LPAT, etc.) of *Planning Act* applications shall proceed as they did prior to the declaration of the emergency. Revisions to the initial memorandum include an update on matters relating to application processing.

## **CONCLUSION**

Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the By-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

## **APPENDICES**

Appendix "A" – Conditions of Approval

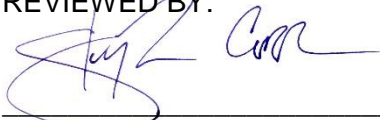
Appendix "B" – Plans

PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:



Stephen Corr, Senior Planner, East District

## **APPENDIX "A"**

### **CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/031/20**

1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the subject development, in substantial conformity with the plans attached as Appendix "B" to this Staff Report and received by the City of Markham on February 27, 2020, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan.
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations.
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:



---

Aleks Todorovski, Planner, Zoning and Special Projects

**APPENDIX “B”**

**PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/031/20**

7683 NINTH LINE	REQ'D	PROP'D	7683 NINTH LINE	REQ'D	PROP'D	7683 NINTH LINE	REQ'D	PROP'D	7683 NINTH LINE	REQ'D	PROP'D
ESTABLISHED GRADE	—	164.97M							BUILDING HEIGHT	MAX 10.5M	8.59M
LOT AREA		1800.38M²							MAIN WALL HEIGHT		6.55M
LOT DEPTH		59.39M							STOREYS		2
LOT FRONTAGE		30.48M							HEIGHT OF FIRST FLOOR ABOVE EST. GRADE		0.91M
FRONT YARD SETBACK	7.5M	7.55M							LOT COVERAGE		353.76M² (19.65%)
SIDE YARD SETBACK (LEFT)	3M	3.11M							TOTAL FLOOR AREA		566.28M² (EXCL. GAR. & BSMT.)
SIDE YARD SETBACK (RIGHT)	3M	3.00M							* AS PER ZONING BYLAW 194-82 -SECTION 4.10		
REAR YARD SETBACK	7.5M	29.69M									

7683 NINTH LINE	REQ'D	PROP'D
REAR YARD		
REAR YARD AREA		920.24M²
DECK/PATIO/TERRACE AREA		35.37M²
GRASS/PLANTING AREA		873.59M²
STEPS AREA		11.28M²
VEHICLE ENTRANCE WIDTH AT MAIN WALL		9.66M
BUILDING DEPTH		30.15M
BUILDING LENGTH		16.73M

7683 NINTH LINE	REQ'D	PROP'D
FRONT YARD		
FRONT YARD AREA		387.27M²
DRIVEWAY AREA		75.47M²
DRIVEWAY WIDTH		4.61M
FRONT PORCH AREA		9.64M²
WALKWAY AREA		15.18M²
GRASS/PLANTING AREA		281.81M²
STEPS AREA		5.17M²



7683 9TH LINE, MARKHAM, ON

SB-12 ENERGY EFFICIENCY DESIGN MATRIX		
PREScriptive COMPLIANCE	SB-12 (SECTION 2.1.1)	
PACKAGE A4	SPACE HEATING FUEL	
	<input type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	N/A	N/A
CEILING W/O ATTIC SPACE	R31	R31
EXPOSED FLOOR	R31	R31
WALLS ABOVE GRADE	22 + 5 ci	22 + 5 ci
BASEMENT WALLS	20 ci	20 ci
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	N/A	N/A
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	R10	R10
HEATED SLAB < 600mm BELOW GRADE	R10	R10
CONC. SLAB < 600mm BELOW GRADE	R10	R10
WINDOWS/GLAZING GLASS DOORS (MAX U-VALUE or MIN. ER)	0.28	0.28
SKYLIGHTS (MAX. U-VALUE)	0.49	0.49
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	90%	90%
HVAC EFFICIENCY (%)	-	87

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN							2012 OBC					
ITEM	ONTARIO BUILDING CODE DATA MATRIX						OBC REFERENCE					
							References are to Division B unless noted [A] for Division A or [C] for Division C.					
1	PROJECT DESCRIPTION:	RESIDENTIAL HOME	<input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE		<input type="checkbox"/> PART 11	11.1 to 11.4	<input type="checkbox"/> PART 3 NOT APPLICABLE	<input checked="" type="checkbox"/> PART 9				
2	MAJOR OCCUPANCY(S)	C RESIDENTIAL					3.1.2.(1)	9.10.2				
3	BUILDING AREA (m2)	348.88m2					1.4.1.2.[A]	1.4.1.2.[A]				
4	GROSS AREA	566.28m2 (EXCLUDING GARAGE & BASEMENT)					1.4.1.2.[A]	1.4.1.2.[A]				
5	NUMBER OF STOREYS	ABOVE GRADE	2	BELOW GRADE	1	1.4.1.2.[A] & 3.2.1.1	1.4.1.2.[A] & 3.2.1.1					
6	NUMBER OF STREETS/ACCESS ROUTES	ONE STREET (FIRE ROUTE)										
7	BUILDING CLASSIFICATION	GROUP C, TWO STOREY					3.2.2.10 & 3.2.5	9.10.20				
8	SPRINKLER SYSTEM PROPOSED	<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED					3.2.2.20 – 83 3.2.2.20 – 83 3.2.1.5 3.2.2.17 INDEX	9.10.2 9.10.8.2				
9	STANDPIPE REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO										
10	FIRE ALARM REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					3.2.9	N/A				
11	WATER SERVICE SUPPLY IS ADEQUATE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					3.2.4					
12	HIGH BUILDING (HIGH-RISE)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					3.2.5.7					
13	PERMITTED CONSTRUCTION	<input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE					3.2.6					
14	ACTUAL CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE <input type="checkbox"/> BOTH					3.2.2.20 – 83	9.10.6				
15	MEZZANINE(S) AREA m2	–	N/A	(-% OF BUILDING OR SUITE AREA)		<input type="checkbox"/> BOTH	3.2.1.1.(3)–(8)	9.10.4.1 9.9.1.3				
16	TOTAL OCCUPANCY LOAD BASED ON	<input type="checkbox"/> m2/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING: 2/BED					3.1.17.1					
17	BASEMENT:	OCCUPANCY:	–	LOAD: – PERSONS								
18	1st FLOOR:	OCCUPANCY:	–	LOAD: 8 PERSONS								
19	2nd FLOOR:	OCCUPANCY:	–	LOAD: – PERSONS								
20	3rd FLOOR:	OCCUPANCY:	–	LOAD: – PERSONS								
21	4th FLOOR:	OCCUPANCY:	–	LOAD: – PERSONS								
22	BARRIER-FREE DESIGN ROUGH IN ONLY	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)					3.8	9.5.2				
23	HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					3.3.1.2 & 3.3.1.19	9.10.1.3(4)				
24	REQUIRED FIRE RESISTANCE RATING (FRR)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					9.2.2.20 – 83 & 3.2.1.4	9.10.8 9.10.9				
25	HORIZONTAL ASSEMBLIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO										
26	FLOORS	EXISTING CONDITION										
27	ROOF	NOT REQ.					–					
28	MEZZANINE	NOT REQ.					–					
29	FRR OF SUPPORTING	NOT REQ.					–					
30	FLOORS	NOT REQ.					–					
31	ROOF	NOT REQ.					–					
32	MEZZANINE	NOT REQ.					–					
33	MEZZANINE	N/A					–					
34	SPATIAL SEPARATION – CONSTRUCTION OF EXTERIOR WALLS							9.10.15.4				
35	WALL	AREA OF EBF (m2)	LD (m)	L/H or H/L	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	NON COMB CONSTR	COMB. NON COMB CLADDING	COMB CONSTR	
36	FRONT	128.06	–	–	NOT REQ.	–	NOT REQ.	NOT REQ.			YES	
37	REAR	125.89	–	–	NOT REQ.	–	NOT REQ.	NOT REQ.			YES	
38	LEFT	111.54	3.11	–	10% (11.5m2)	9.7% (10.9m2)	NOT REQ.	NOT REQ.			YES	
39	RIGHT	107.38	3.00	–	10% (10.74m2)	8.8% (9.5m2)	NOT REQ.	NOT REQ.			YES	
40	NOTES						OBC REFERENCE					
41	1. PROFESSIONAL ENGINEER AND ARCHITECT REQUIRED.						NO					TABLE 2.3.1.1
42	2. LOCATION OF FIRE HYDRANT, FIRE ACCESS ROUTES BY OTHERS, FIRE HYDRANT TO BE LOCATED WITHIN 90 M OF PRINCIPAL ENTRANCE.						YES					3.2.5.5.(2)(b)
43	3. REQUIRED FIRE PROTECTION RATING OF CLOSURE TO BE A MINIMUM 20 MINUTES IN WALLS REQUIRED TO HAVE BE A FIRE SEPARATION AND FIRE RESISTANCE RATING.						NO					3.2.8.10.(1)(a)
44	4. REFER TO FL/WALL SCHEDULE FOR ULC LISTINGS WHERE RATINGS ARE REQUIRED.						NO					NOT REQ.
45	5. REFER TO SIDE ELEVATION FOR REQUIREMENTS OF UNPROTECTED OPENING.						YES					

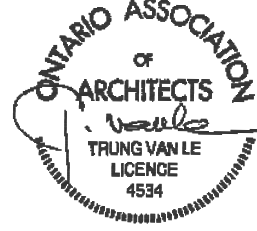
## FOR PERMIT

### LEGEND

- THREE-MEMBER SOLID WOOD BEARING
- DOOR NUMBER
- SIAMMESE FIRE HOSE
- WALL TYPE
- REVISION
- FINISHED FLOOR
- FLAT ARCH
- M.C. MEDICINE CABINET
- CONCRETE BLOCK WALL
- DOUBLE HEIGHT VOLUME WALL
- FIRE RATED WALL
- P.T. PRESSURE TREATED LUMBER
- G.T. GIRDER TRUSS
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- LVL LAMINATED VERTICAL LUMBER
- SOLID BEAR'G FROM ABOVE
- POINT LOAD FROM ABOVE
- SPECIFICATION NUMBER (SEE SPEC. SHEET)

No	Revision comments	DATE	BY
1	FOR PERMIT APP.	MAR.25/19	JL
2	FOR PERMIT APP.	APR.03/19	JL
3			
4			
5			
6			
7			
8			
9			
10			

Contractor must verify all dimensions on the job and report any discrepancy to the architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work.



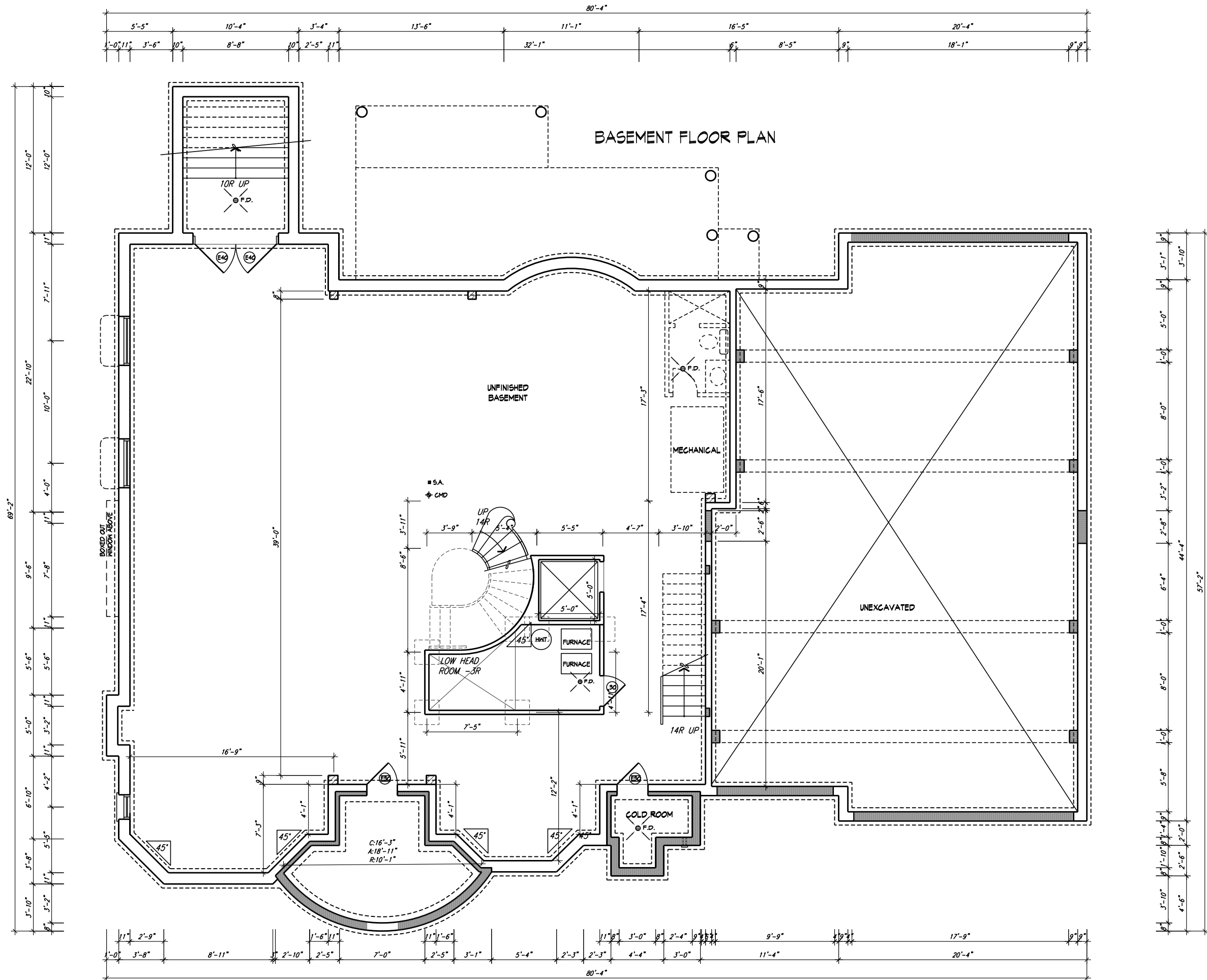
### SITE PLAN



80 Corporate Drive, Suite: 206, Scarborough, Ontario M1H 3Q5  
T: (416) 467-4667 E: info@vanle.ca W: vanle.ca

Scales: 1:150 Project No: 2017-05  
Drawn By: AY Checked By: TVL  
B.C.D.N. 3794





FOR VAR.APP

CITY OF MARKHAM  
DEVELOPMENT SERVICES

LEGEND

- THREE-MEMBER SOLID WOOD BEARING
- DOOR NUMBER
- SIAMMESE FIRE HOSE
- WALL TYPE
- REVISION
- FINISHED FLOOR
- FLAT ARCH
- MEDICINE CABINET
- CONCRETE BLOCK WALL
- DOUBLE HEIGHT VOLUME WALL
- FIRE RATED WALL
- P.T. PRESSURE TREATED LUMBER
- G.T. GIRDER TRUSS
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- LVL LAMINATED VERTICAL LUMBER
- SOLID BEAR'G FROM ABOVE
- POINT LOAD FROM ABOVE
- SPECIFICATION NUMBER (SEE SPEC. SHEET)

No	Revision comments	DATE	BY
1	FOR PERMIT APP.	MAR.26/19	JL
2			
3			
4			
5			
6			
7			
8			
9			
10			

Contractor must verify all dimensions on the job and report any discrepancy to the architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work.



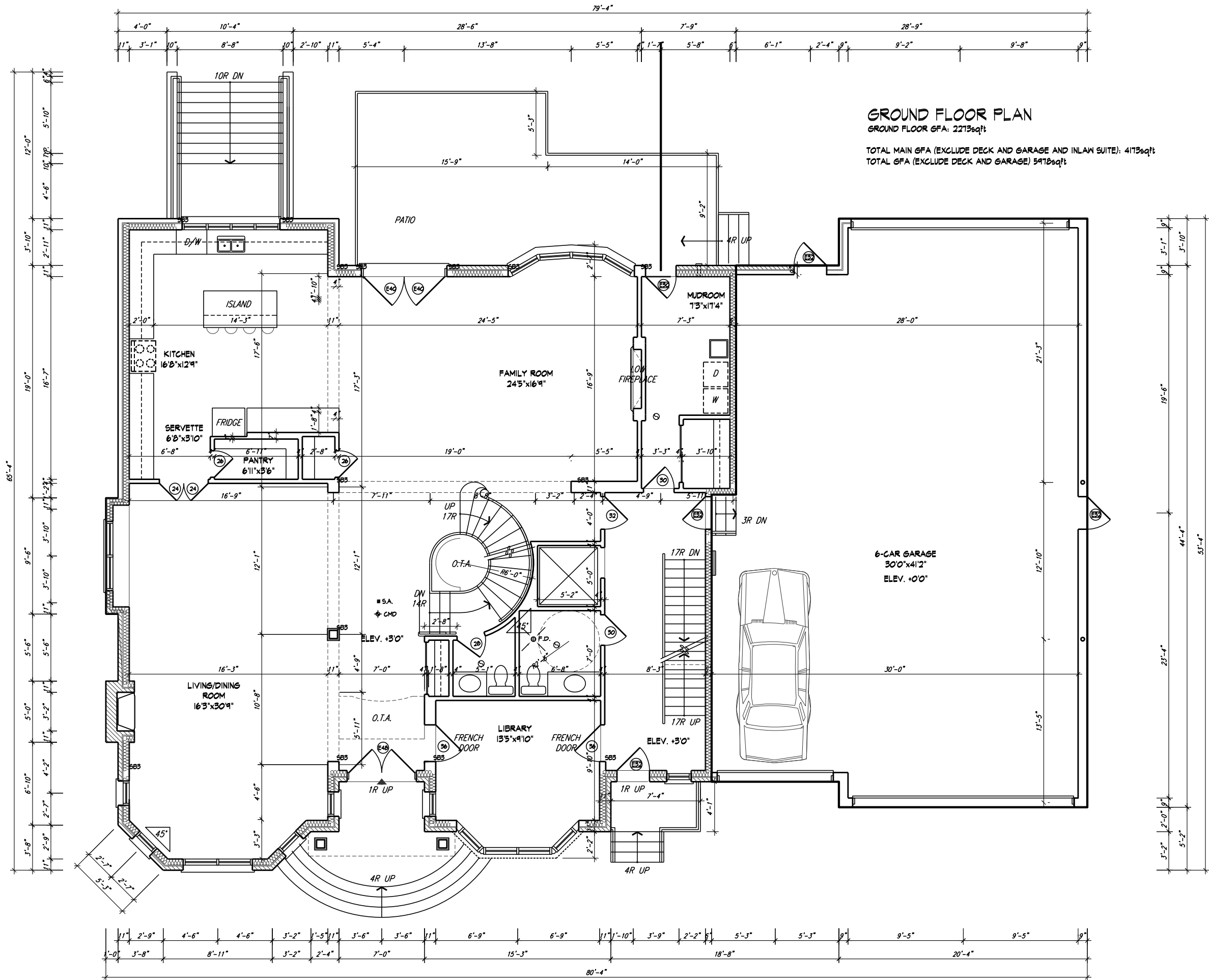
BASEMENT FLOOR PLAN



80 Corporate Drive, Suite 206, Scarborough, Ontario M1H 3G5  
T: (416) 467-4667 E: info@vanle.ca W: vanle.ca

Scale: 1/8" = 1'-0"  
Project No: 2016-15  
Drawn By: AY  
Checked By: TVL  
B.C.D.N.

A.02



## FOR VAR.APP

CITY OF MARKHAM  
DEVELOPMENT SERVICES

### LEGEND

- THREE-MEMBER SOLID WOOD BEARING
- DOOR NUMBER
- SIAMMESE FIRE HOSE
- WALL TYPE
- REVISION
- FINISHED FLOOR
- FLAT ARCH
- MEDICINE CABINET
- CONCRETE BLOCK WALL
- DOUBLE HEIGHT VOLUME WALL
- FIRE RATED WALL
- P.T. PRESSURE TREATED LUMBER
- G.T. GIRDER TRUSS
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- LVL LAMINATED VERTICAL LUMBER
- SOLID BEAR'G FROM ABOVE
- POINT LOAD FROM ABOVE
- SPECIFICATION NUMBER (SEE SPEC. SHEET)

No.	Revision comments	DATE	BY
1	FOR PERMIT APP.	MAR.26/19	JL
2			
3			
4			
5			
6			
7			
8			
9			
10			

Contractor must verify all dimensions on the job and report any discrepancy to the architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work.



### GROUND FLOOR PLAN



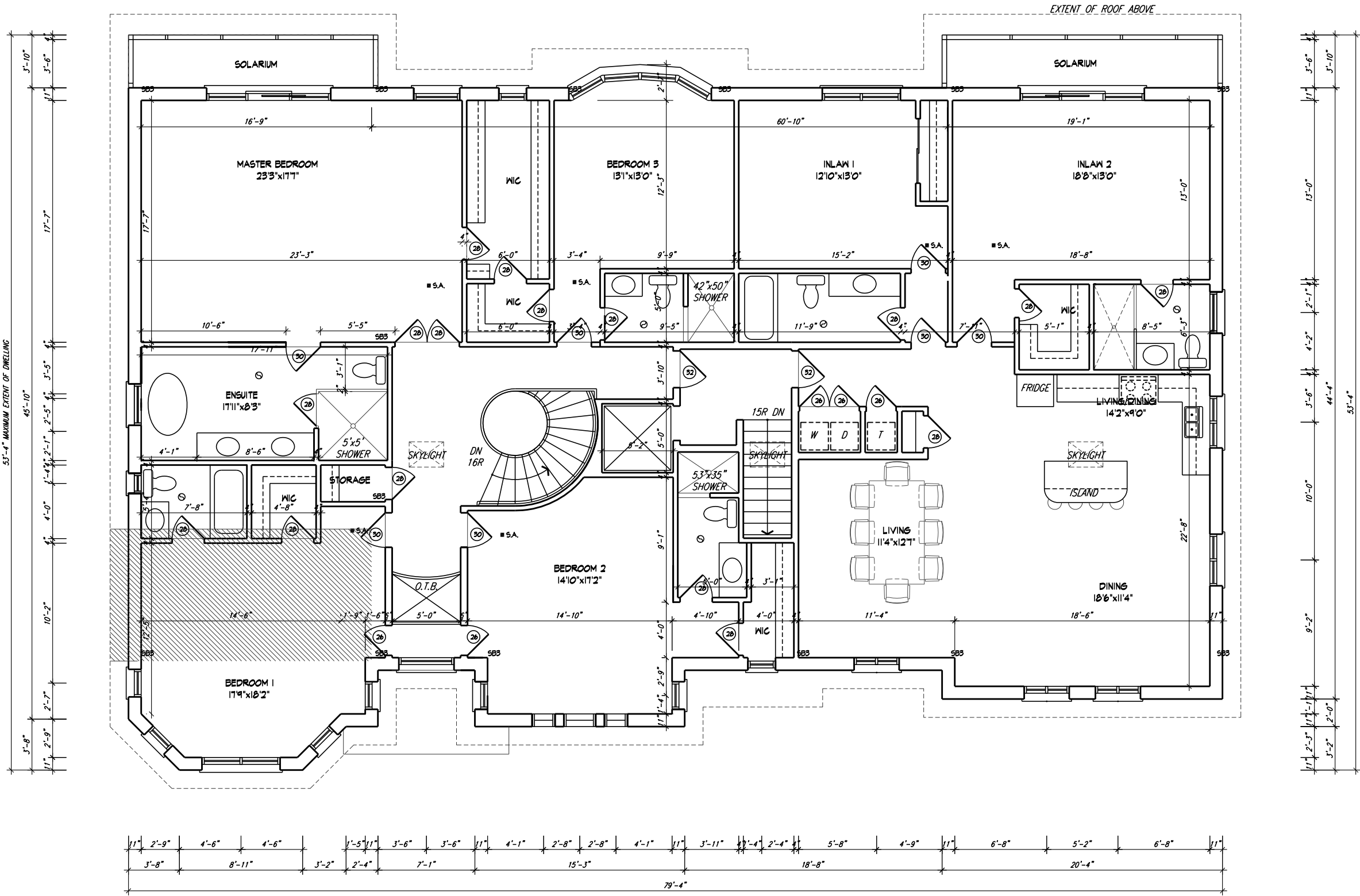
80 Corporate Drive, Suite 206, Scarborough, Ontario M1H 3G5  
T: (416) 467-4667 E: info@vanle.ca W: vanle.ca

Scale: 1/8" = 1'-0"  
Project No: 2016-15  
Drawn By: AY  
Checked By: TVL  
B.C.D.N.

SECOND FLOOR PLAN

SECOND FLOOR GFA: 3545sqft (EXCLUDING SOLARIUM)

SECOND FLOOR MAIN GFA: 1900sqft  
SECOND FLOOR INLAW GFA: 1645sqft  
SOLARIUM: 160sqft



FOR VAR.APP

CITY OF MARKHAM  
DEVELOPMENT SERVICES

LEGEND

- THREE-MEMBER SOLID WOOD BEARING
- DOOR NUMBER
- SIAMMSE FIRE HOSE
- WALL TYPE
- REVISION
- FINISHED FLOOR
- FLAT ARCH
- MEDICINE CABINET
- CONCRETE BLOCK WALL
- DOUBLE HEIGHT VOLUME WALL
- FIRE RATED WALL
- P.T. PRESSURE TREATED LUMBER
- G.T. GIRDER TRUSS
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- LVL LAMINATED VERTICAL LUMBER
- SOLID BEAR'G FROM ABOVE
- POINT LOAD FROM ABOVE
- SPECIFICATION NUMBER (SEE SPEC. SHEET)

No	Revision comments	DATE	BY
1	FOR PERMIT APP.	MAR.26/19	JL
2			
3			
4			
5			
6			
7			
8			
9			
10			

Contractor must verify all dimensions on the job and report any discrepancy to the architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work.



SECOND FLOOR PLAN

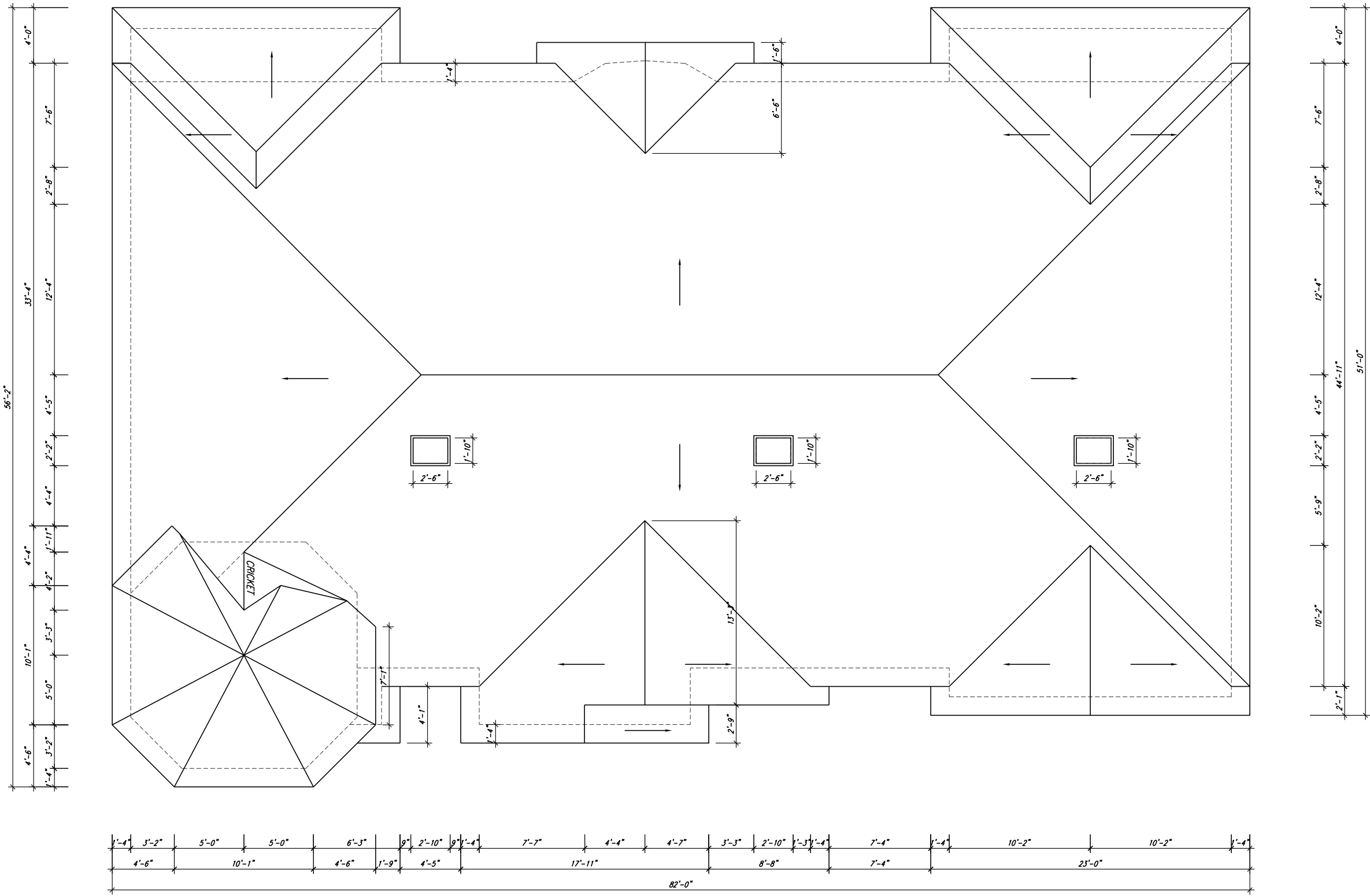


80 Corporate Drive, Suite 206, Scarborough, Ontario M1H 3G5  
T: (416) 467-4667 E: info@vanle.ca W: vanle.ca

Scale: 1/8" = 1'-0"  
Project No: 2016-15  
Drawn By: AY  
Checked By: TVL  
B.C.D.N.

ROOF PLAN

ROOF AREA: 384.59 SQM = 4139.66 SQFT



FOR VAR.APP

CITY OF MARKHAM  
DEVELOPMENT SERVICES

LEGEND

- THREE-MEMBER SOLID WOOD BEARING
- DOOR NUMBER
- SIAMMESE FIRE HOSE
- WALL TYPE
- REVISION
- FINISHED FLOOR
- FLAT ARCH
- MEDICINE CABINET
- CONCRETE BLOCK WALL
- DOUBLE HEIGHT VOLUME WALL
- FIRE RATED WALL
- P.T. PRESSURE TREATED LUMBER
- G.T. GIRDER TRUSS
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- LVL LAMINATED VERTICAL LUMBER
- SOLID BEAR'G FROM ABOVE
- POINT LOAD FROM ABOVE
- SPECIFICATION NUMBER (SEE SPEC. SHEET)

No	Revision comments	DATE	BY
1	FOR PERMIT APP.	MAR.26/19	JL
2			
3			
4			
5			
6			
7			
8			
9			
10			

Contractor must verify all dimensions on the job and report any discrepancy to the architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work.



ROOF PLAN



80 Corporate Drive, Suite 206, Scarborough, Ontario M1H 3G5  
T: (416) 467-4667 E: info@vanle.ca W: vanle.ca

Scale: 1/8" = 1'-0"  
Project No: 2016-15  
Drawn By: AY  
Checked By: TVL  
B.C.D.N.



FOR VAR.APP

CITY OF MARKHAM  
DEVELOPMENT SERVICES

LEGEND

- THREE-MEMBER SOLID WOOD BEARING
- DOOR NUMBER
- SIAMMESE FIRE HOSE
- WALL TYPE
- REVISION
- FINISHED FLOOR
- FLAT ARCH
- MEDICINE CABINET
- CONCRETE BLOCK WALL
- DOUBLE HEIGHT VOLUME WALL
- FIRE RATED WALL
- P.T. PRESSURE TREATED LUMBER
- G.T. GIRDER TRUSS
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- LVL LAMINATED VERTICAL LUMBER
- SOLID BEAR'G FROM ABOVE
- POINT LOAD FROM ABOVE
- SPECIFICATION NUMBER (SEE SPEC. SHEET)

No.	Revision comments	DATE	BY
1	FOR PERMIT APP.	MAR.26/19	JL
2			
3			
4			
5			
6			
7			
8			
9			
10			

Contractor must verify all dimensions on the job and report any discrepancy to the architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work.



WEST ELEVATION



80 Corporate Drive, Suite 206, Scarborough, Ontario M1H 3G5  
T: (416) 467-4667 E: info@vanle.ca W: vanle.ca

Scale: 1/8" = 1'-0"  
Project No: 2016-15  
Drawn By: AY  
Checked By: TVL  
B.C.D.N.

A.06

7683 9TH LINE, MARKHAM, ON



FOR VAR.APP

CITY OF MARKHAM  
DEVELOPMENT SERVICES

LEGEND

- THREE-MEMBER SOLID WOOD BEARING
- DOOR NUMBER
- SIAMMESE FIRE HOSE
- WALL TYPE
- REVISION
- FINISHED FLOOR
- FLAT ARCH
- MEDICINE CABINET
- CONCRETE BLOCK WALL
- DOUBLE HEIGHT VOLUME WALL
- FIRE RATED WALL
- P.T. PRESSURE TREATED LUMBER
- G.T. GIRDER TRUSS
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- LVL LAMINATED VERTICAL LUMBER
- SOLID BEAR'G FROM ABOVE
- POINT LOAD FROM ABOVE
- SPECIFICATION NUMBER (SEE SPEC. SHEET)

No.	Revision comments	DATE	BY
1	FOR PERMIT APP.	MAR.26/19	JL
2			
3			
4			
5			
6			
7			
8			
9			
10			

Contractor must verify all dimensions on the job and report any discrepancy to the architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work.



EAST ELEVATION

**VANLE ARCHITECT**  
info@vanle.ca  
80 Corporate Drive, Suite 206, Scarborough, Ontario M1H 3G5  
T: (416) 467-4667 E: info@vanle.ca W: vanle.ca

Scale: 1/8" = 1'-0"	Project No: 2016-15
Drawn By: AY	Checked By: TVL
B.C.D.N.	



FOR VAR.APP

CITY OF MARKHAM  
DEVELOPMENT SERVICES

LEGEND

- THREE-MEMBER SOLID WOOD BEARING
- DOOR NUMBER
- SIAMMESE FIRE HOSE
- WALL TYPE
- REVISION
- FINISHED FLOOR
- FLAT ARCH
- MEDICINE CABINET
- CONCRETE BLOCK WALL
- DOUBLE HEIGHT VOLUME WALL
- FIRE RATED WALL
- P.T. PRESSURE TREATED LUMBER
- G.T. GIRDER TRUSS
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- LVL LAMINATED VERTICAL LUMBER
- SOLID BEAR'G FROM ABOVE
- POINT LOAD FROM ABOVE
- SPECIFICATION NUMBER (SEE SPEC. SHEET)

No	Revision comments	DATE	BY
1	FOR PERMIT APP.	MAR.26/19	JL
2			
3			
4			
5			
6			
7			
8			
9			
10			

Contractor must verify all dimensions on the job and report any discrepancy to the architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work.



NORTH ELEVATION

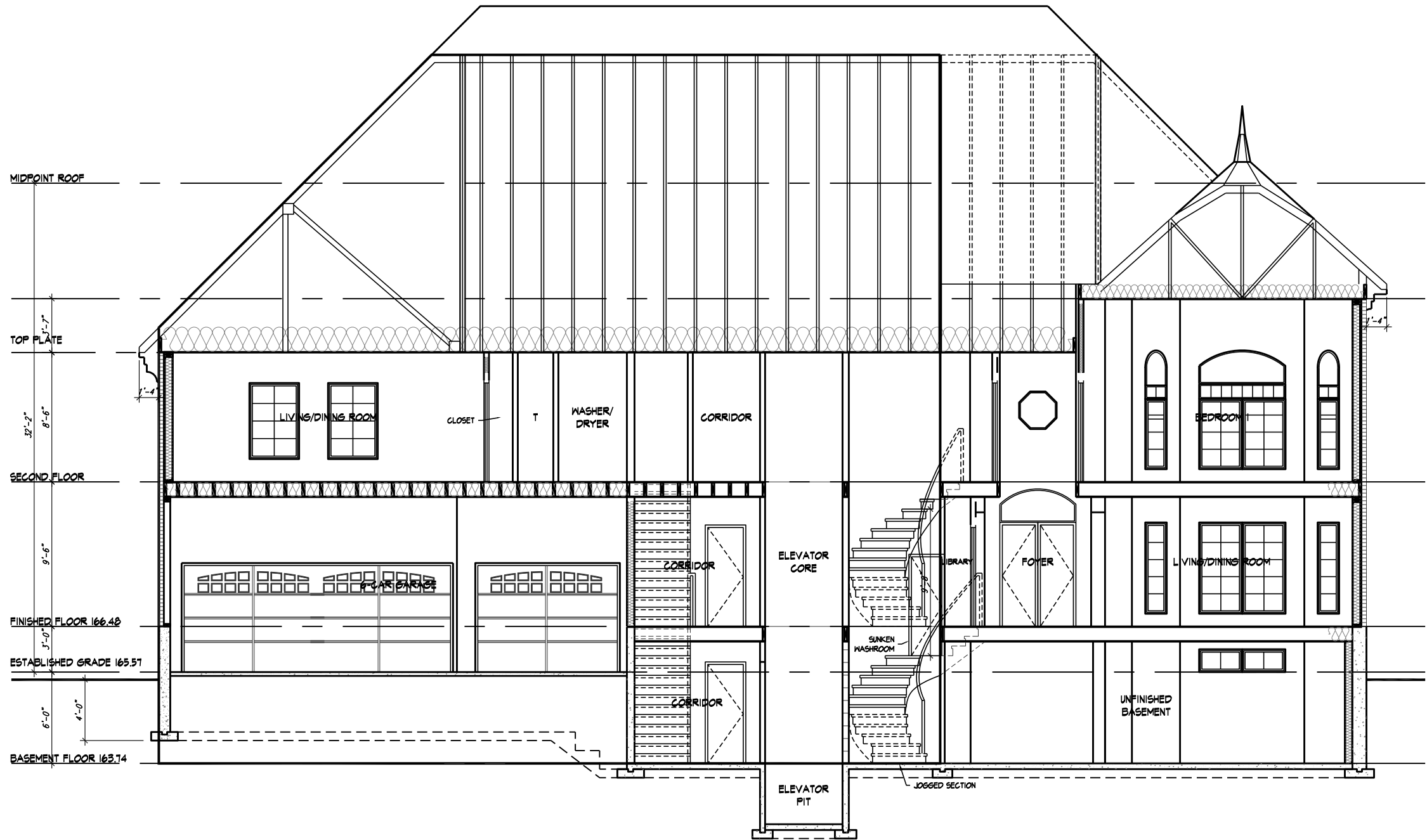


80 Corporate Drive, Suite 206, Scarborough, Ontario M1H 3G5  
T: (416) 467-4667 E: info@vanle.ca W: vanle.ca

Scale: 1/8" = 1'-0"  
Project No: 2016-15  
Drawn By: AY  
Checked By: TVL  
B.C.D.N.

A.08

7683 9TH LINE, MARKHAM, ON



7683 9TH LINE, MARKHAM, ON

## FOR VAR.APP

CITY OF MARKHAM  
DEVELOPMENT SERVICES

### LEGEND

- THREE-MEMBER SOLID WOOD BEARING
- DOOR NUMBER
- SIAMMESE FIRE HOSE
- WALL TYPE
- REVISION
- FINISHED FLOOR
- FLAT ARCH
- MEDICINE CABINET
- CONCRETE BLOCK WALL
- DOUBLE HEIGHT VOLUME WALL
- FIRE RATED WALL
- P.T. PRESSURE TREATED LUMBER
- G.T. GIRDER TRUSS
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- LVL LAMINATED VERTICAL LUMBER
- SOLID BEAR'G FROM ABOVE
- POINT LOAD FROM ABOVE
- SPECIFICATION NUMBER (SEE SPEC. SHEET)

No.	Revision comments	DATE	BY
1	FOR PERMIT APP.	MAR.26/19	JL
2			
3			
4			
5			
6			
7			
8			
9			
10			

Contractor must verify all dimensions on the job and report any discrepancy to the architect before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work.



### EAST SECTION PLAN



80 Corporate Drive, Suite 206, Scarborough, Ontario M1H 3G5  
T: (416) 467-4667 E: info@vanle.ca W: vanle.ca

Scale: 1/8" = 1'-0"  
Project No: 2016-15  
Drawn By: AY  
Checked By: TVL  
B.C.D.N.