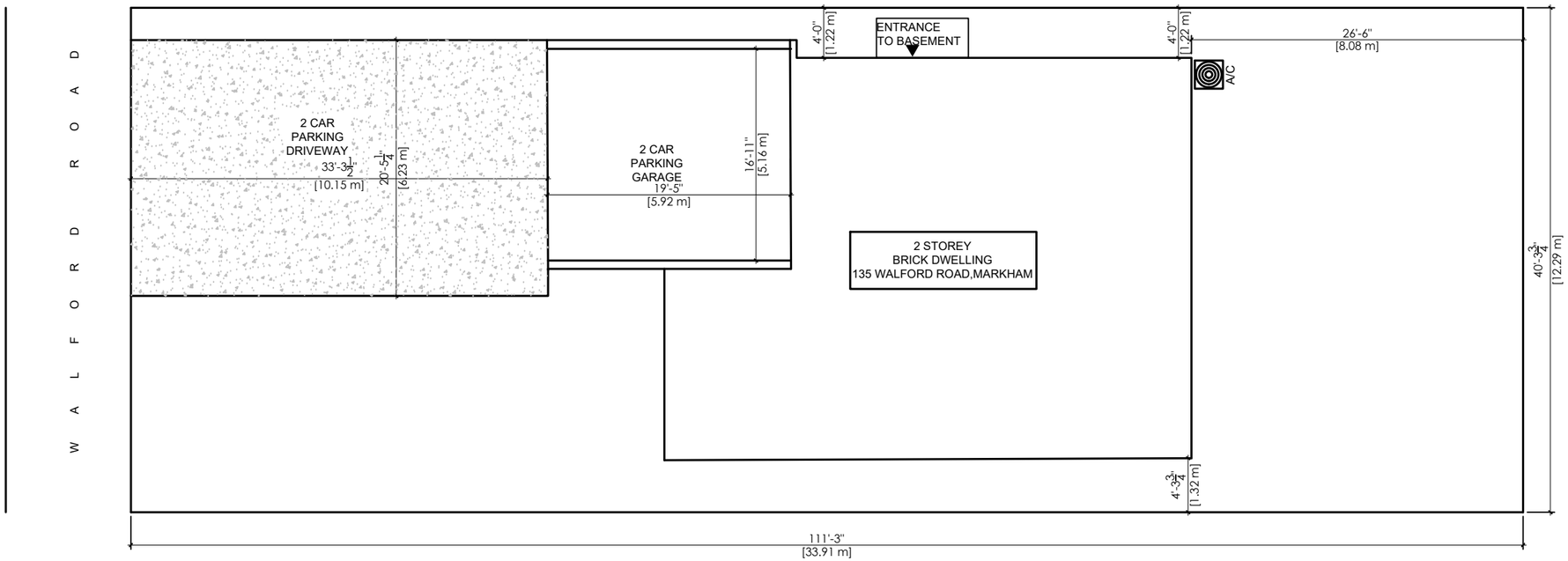
GROSS FLOOR AREA:- 312.2 SQ.M
BASEMENT AREA:- 98 SQ.M
MAIN FLOOR AREA:- 104 SQ.M
SECOND FLOOR AREA:-110 SQ.M



REVISION NO.	DATE	DESCIPTION	BY

NOBLE ELITE SOLUTIONS LTD

647-407-1048

LICENSED PROFESSIONAL ENGINEER
28/11/2019
J. S. BHAILA
100191467
PROVINCE OF ONTARIO

PROJECT TITLE:

135 Walford RdMarkham, ON L3S 2T7, Canada

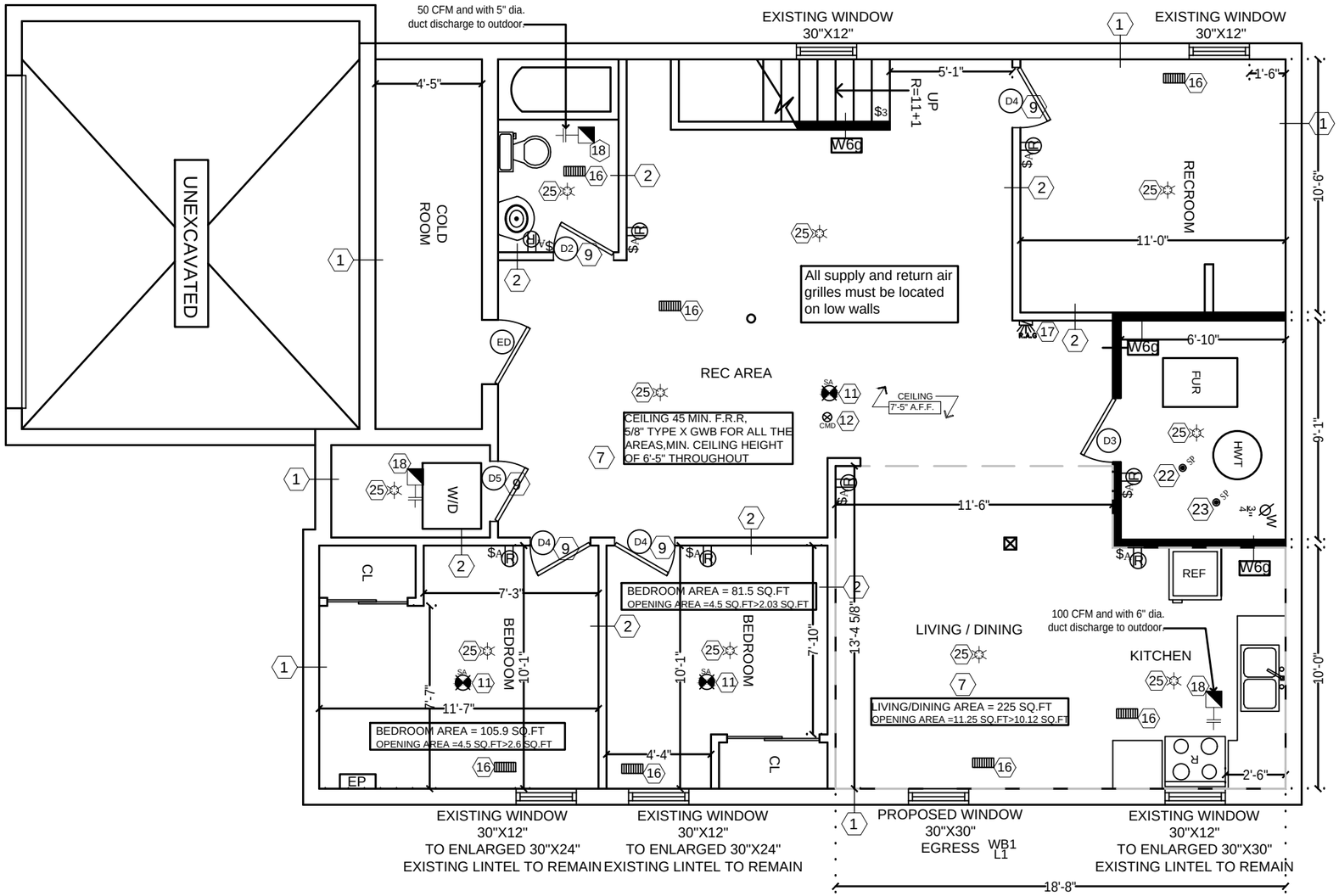
SHEET TITLE:

SITE PLAN

CLIENT EMAIL: ----------

CLIENT CONTACT: ----------

SCALE:	DRAWING NO.:
1/4"-1'-0"	A100
PLOT DATE: 05-06-2019	
DRAWN BY: MJ	
CHECKED BY: JA	



REVISION			
NO	DATE	DESCIPTION	BY

NOBLE ELITE SOLUTIONS LTD

647-407-1048

LICENSED PROFESSIONAL ENGINEER
28/11/2019
J. S. BHAILA
100191467
PROVINCE OF ONTARIO

PROJECT TITLE:

135 Walford RdMarkham, ON L3S 2T7, Canada

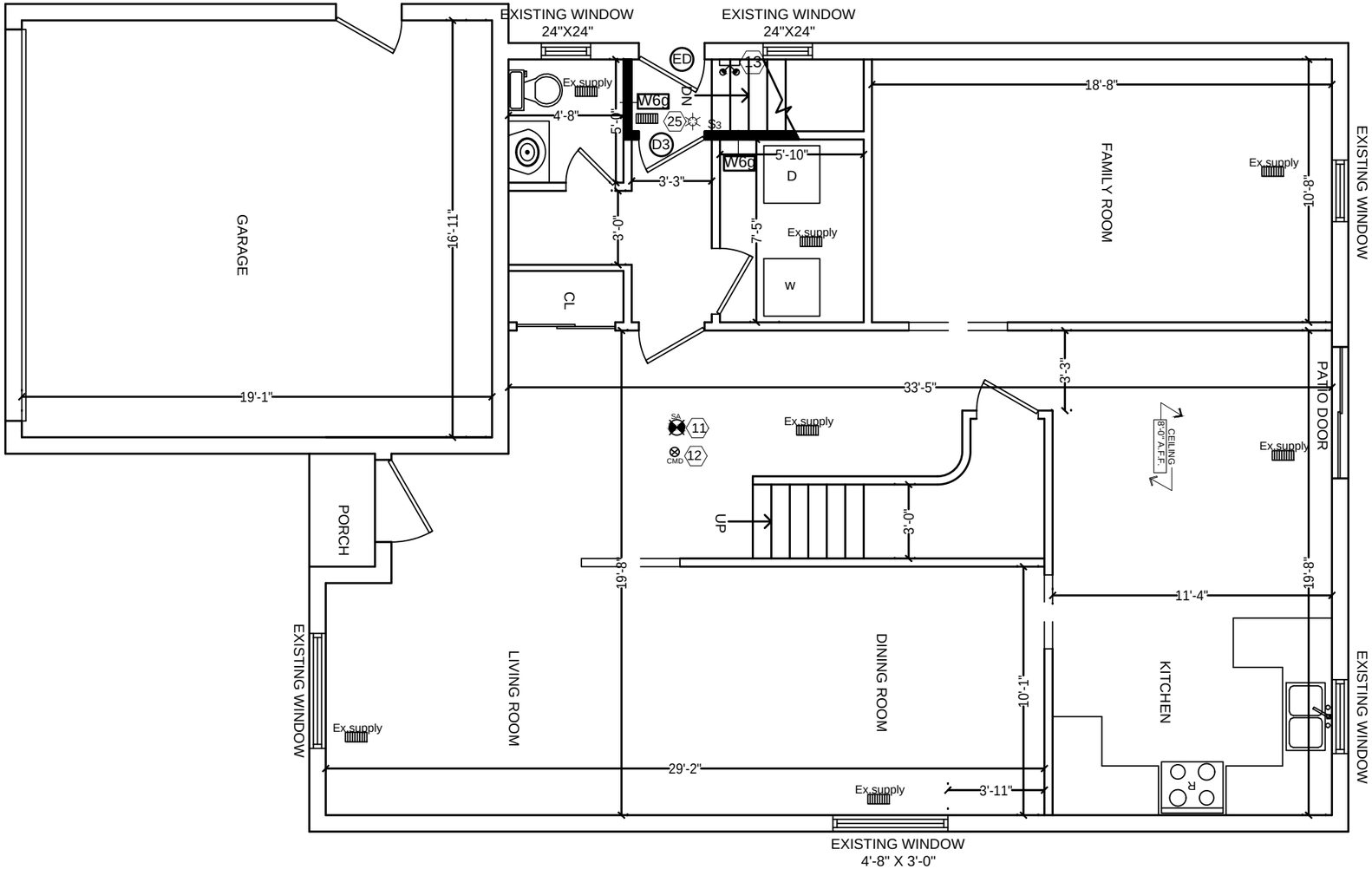
SHEET TITLE:

PROPOSED FINISHED BASEMENT PLAN

CLIENT EMAIL: ----------

CLIENT CONTACT: ----------

SCALE: 3/16"-1'-0"	DRAWING NO.: A101
PLOT DATE: 05-06-2019	
DRAWN BY: MJ	
CHECKED BY: JA	



MAIN FLOOR

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LICENSED PROFESSIONAL ENGINEER
28/11/2019
J. S. BHAILA
100191467
PROVINCE OF ONTARIO

PROJECT TITLE:

135 Walford RdMarkham, ON L3S 2T7, Canada

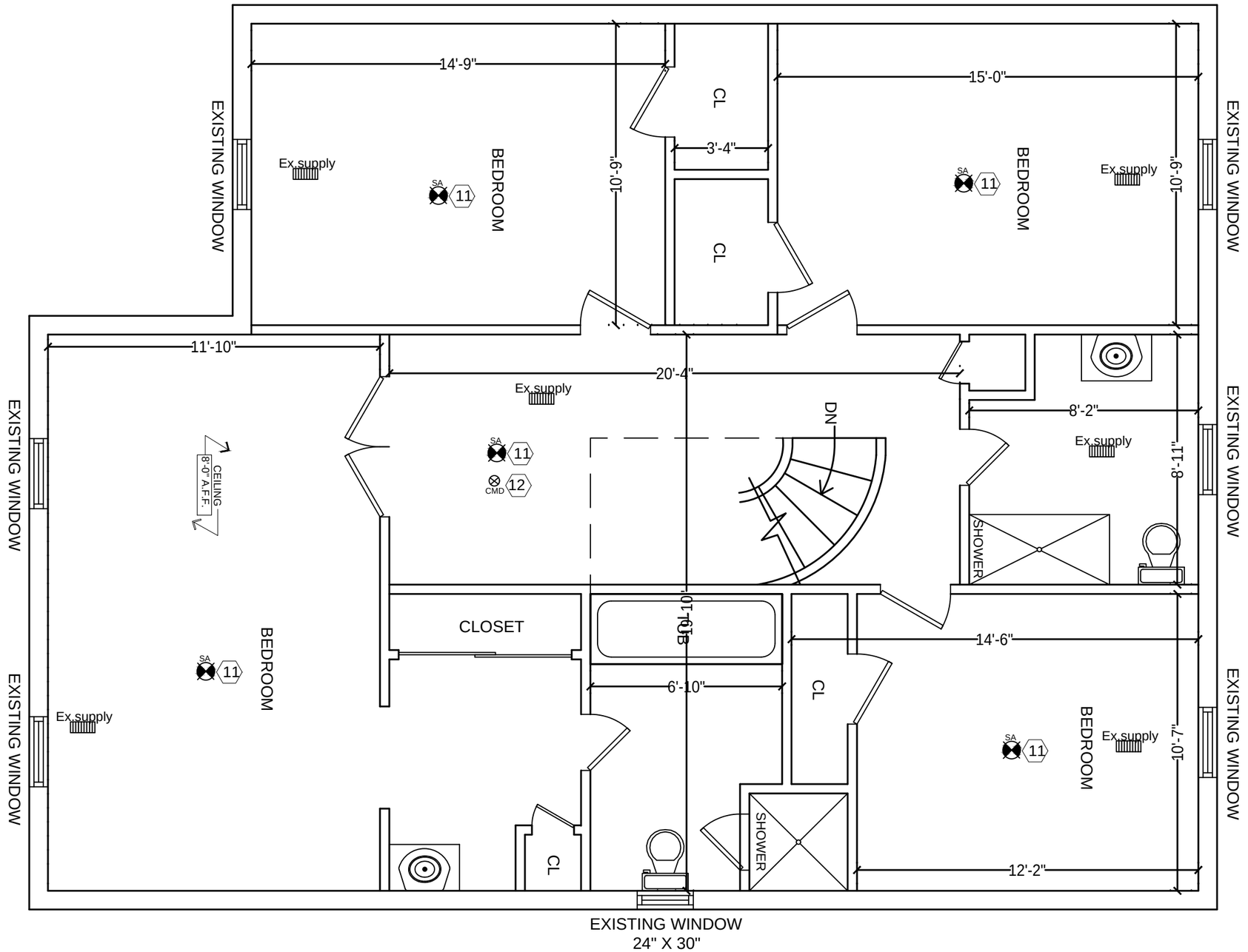
SHEET TITLE:

GROUND FLOOR PLAN

CLIENT EMAIL: ----------

CLIENT CONTACT: ----------

SCALE:	DRAWING NO.:
3/16"-1'-0"	A102
PLOT DATE: 05-06-2019	
DRAWN BY: MJ	
CHECKED BY: JA	



REVISION NO	DATE	DESCIPTION	BY

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LICENSED PROFESSIONAL ENGINEER
28/11/2019
J. S. BHAILA
100191467
PROVINCE OF ONTARIO

PROJECT TITLE:

135 Walford RdMarkham, ON L3S 2T7, Canada

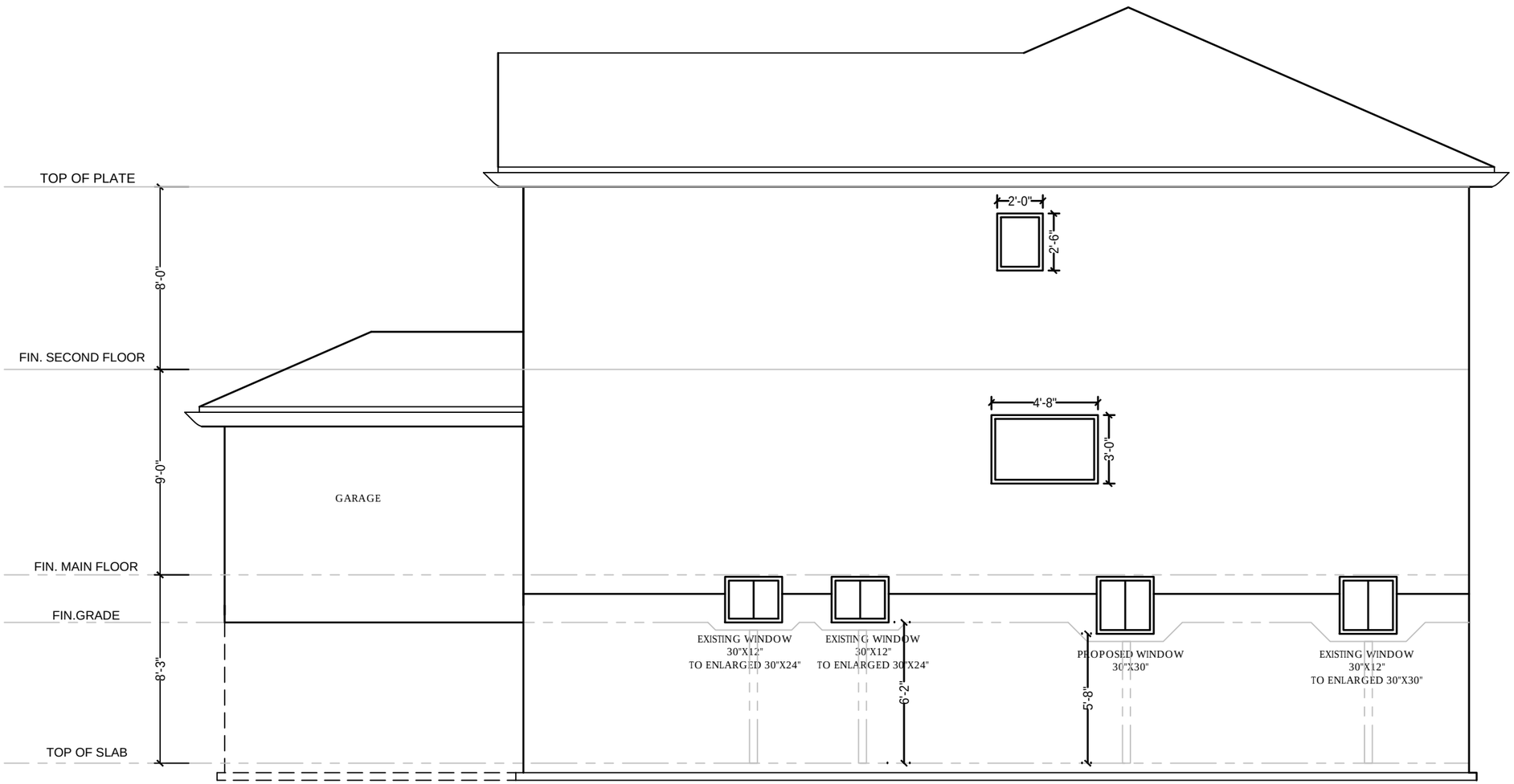
SHEET TITLE:

SECOND FLOOR PLAN

CLIENT EMAIL: ----------

CLIENT CONTACT: ----------

SCALE: 1/4"-1'-0"	DRAWING NO.: A103
PLOT DATE: 05-06-2019	
DRAWN BY: MJ	
CHECKED BY: JA	



RIGHT SIDE ELEVATION

ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	= 814.5 SF
LIMITING DISTANCE	= 4.0 FT
ALLOWABLE OPENINGS	= 57.01 SF
ACTUAL OPENINGS	= 39 SF

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LICENSED PROFESSIONAL ENGINEER
28/11/2019
J. S. BHAILA
100191467
PROVINCE OF ONTARIO

PROJECT TITLE:

135 Walford RdMarkham, ON L3S 2T7, Canada

SHEET TITLE:

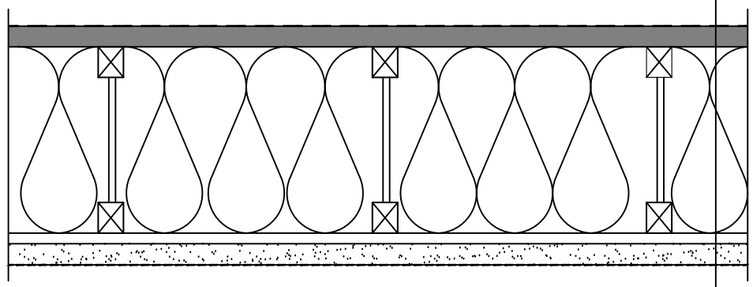
RIGHT SIDE ELEVATION

CLIENT EMAIL: ----------

CLIENT CONTACT: ----------

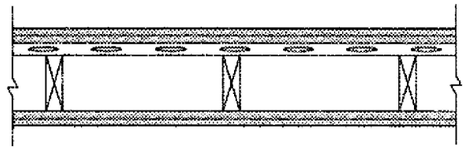
SCALE:	DRAWING NO.:
3/16"-1'-0"	A104
PLOT DATE: 05-06-2019	
DRAWN BY: MJ	
CHECKED BY: JA	

CEILING DETAIL



CEILING CONSTRUCTION
SB3- F10c (STC 51) (FIRE RESITANCE RATING 45 MIN(16)
-Absorptive material in cavity
-resilient channels spaced 406mm o.c
-NEW 5/8" TYPE-X GYPSUM BOARD

WALL DETAIL

W6	• 38 mm x 89 mm wood studs spaced 406 mm or 610 mm o.c. • with or without absorptive material • resilient metal channels on one side • 2 layers of gypsum board on each side			
W6g	W6 with • studs spaced 406 mm or 610 mm o.c. • 89 mm thick absorptive material(4) • resilient metal channels spaced 406 mm o.c. • 12.7 mm regular gypsum board(5)	45 min	1 h	50

REVISION

NO	DATE	DESCIPTION	BY

NOBLE ELITE SOLUTIONS LTD

647-407-1048

LICENSED PROFESSIONAL ENGINEER
28/11/2019
J. S. BHAILA
100191467
PROVINCE OF ONTARIO

PROJECT TITLE:

135 Walford RdMarkham, ON L3S 2T7, Canada

SHEET TITLE:
WALL AND CEILING DETAIL

CLIENT EMAIL: ----------

CLIENT CONTACT: ----------

SCALE: 3/16"-1'-0"	DRAWING NO.: A105
PLOT DATE: 05-06-2019	
DRAWN BY: MJ	
CHECKED BY: JA	

CONSTRUCTION NOTES/LEGENDS

1. EXTERIOR WALL CONSTRUCTION "TYPE A"
   - 1/2" DRYWALL FINISH
   - 2" X 4" WOOD STUD @ 16"O.C.
   - 1" AIR SPACE
   - EXISTING R12 ROLLED BATT INSULATION
   - EXISTING VAPOUR BARRIER
   - EXISTING 8" CONCRETE WALL
   - EXISTING DAMP PROOFING PAPER

2. INTERIOR WALL CONSTRUCTION "TYPE B"
   - 1/2" DRYWALL
   - 2" X 4" WOOD STUD @ 16"O.C.
   - 1/2" DRYWALL FINISH

3. INTERIOR WALL CONSTRUCTION 30 MIN FRR "TYPE C"
   - 1/2" TYPE DRYWALL FINISH
   - 2" X 4" WOOD STUD @ 16"O.C.
   - 3 1/2" ROXULL SAFE 'N' SOUND INSULATION
   - 1/2" DRYWALL FINISH

4. EXTERIOR WALL CONSTRUCTION "TYPE A"
   - 3 1/2" Face Brick
   - 1" Air Gap
   - Air Barrier
   - 1/2" OSB
   - 2X6 STUDS AT 16" C/C WITH
   - 5 1/2" FIBREGLASS BATT INSULATION BETWEEN STUDS
   - 6 MIL VAPOUR BARRIER
   - 1/2" GYPSUM WALL BOARD

5. INTERIOR WALL CONSTRUCTION 45 MIN FRR "TYPE C"
   - 1/2" TYPE 'X' DRYWALL FINISH
   - 2" X 6" WOOD STUD @ 16"O.C.
   - 5 1/2" ROXULL SAFE 'N' SOUND INSULATION
   - 1/2" DRYWALL FINISH

6. INTERIOR WALL CONSTRUCTION 30 MIN FRR "TYPE C"
   - 5/8" TYPE 'X' DRYWALL FINISH
   - 2" X 4" WOOD STUD @ 16"O.C.
   - 5/8" TYPE 'X' DRYWALL FINISH

7. SUBFLOOR OF 5/8" PLYWOOD, OSB OR WAFERBOARD
   ON WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 24" O.C.
   3 1/2" ROXULL SAFE 'N' SOUND INSULATION MIN. 50STC.
   RESILIENT METAL CHANNELS SPACED AT 16" O.C. MIN. 50STC
   5/8" TYPE-X GYPSUM BOARD
   or
   EXISITNG 1/2" DRYWALL FOR AS-BUILT BASEMENT

8. EVERY DOOR IN A FIRE SEPERATION SHALL HAVE A SELF-CLOSING DEVICE.
   20 MIN FIRE PROTECTION RATING OF CLOSURE IS REQUIRED FOR 30 OR 45 MIN FRR OF FIRE SEPARATION.

9. UNDERCUT DOOR MIN 1" SHORT TO ANY ROOM WITHOUT RETURN GRILL

10. 20 MIN RATED DOOR AND FRAME WITH SELF CLOSING DEVICE.

11. As per the requirements of OBC 9.10.19. Smoke Alarms. All smoke alarms shall be interconnected.

12. As per the requirements of OBC 9.33.4
    A Carbon Monoxide Alarm shall be installed adjacent to every sleeping area for dwellings with fuel burning appliances.

13. BATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA C22.2 NO.141 "EMERGENCY LIGHTING EQUIPMENT" SHALL BE PROVIDED IN ANY COMMON MEANS OF EGRESS

14. AN ADEQUATE SUPPLY OF COMBUSTION AIR MUST BE AVAILABLE FOR THE FURNACE AND HOT WATER TANK.

15. THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH SYSTEM WITH A MINIMUM 3/4" COPPER PIPE CONNECTED TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER THE WATER METER AND SHALLL HAVE A SUPERVISED SHUT OFF SUPPLY VALVE.

16. AIR SUPPLY REGISTERS AT CEILING.

17. AIR RETURN REGISTER AT FLOOR LEVEL.

18. EXHAUST FAN TO DIRECTLY DISCHARGE OUTSIDE.

19. UNDERCUT DOOR MIN 1" SHORT TO ANY ROOM WITHOUT RETURN GRILL

20. 2" X 6" STUDS 16" O.C (2" X 6") SIL PLATE ON DAMPPROOFING MATERIAL (1/2") DIA. ANCHOR BOLTS 8" LONG EMBEDDED MIN. (4") INTO CONCRETE 7'-10" O.C. (4") HIGH CONCRETE CURB ON (14" X 6") CONCRETE FOOTING ADD HORIZONTAL BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED

21. THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH SYSTEM WITH A MINIMUM 3/4" COPPER PIPE CONNECTED TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER THE WATER METER AND SHALLL HAVE A SUPERVISED SHUT OFF SUPPLY VALVE.

22. PROVIDE SMOKE DETECTOR IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPTON ACTIVATION OF SMOKE DETECTOR. SEE NOTE 5

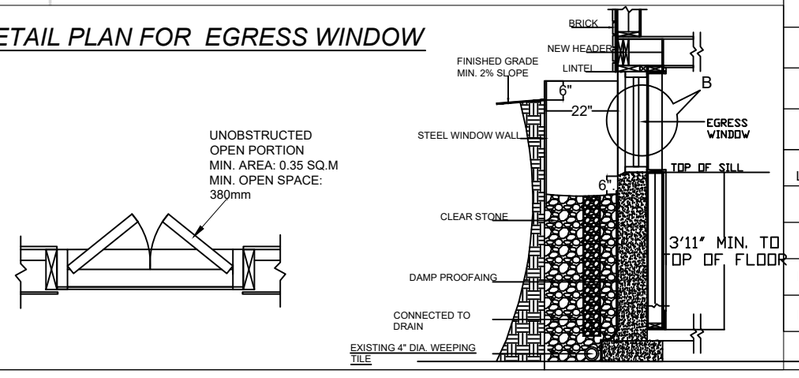
23. PROVIDE SPRINKLERS IN AREAS WITH UNFINISHED CEILING. NEW SPRINKLER SYSTEM TO BE PROVIDED. SEE NOTE 21
    GASPROOF ALL CEILING VOIDS.

24. AN ADEQUATE SUPPLY OF COMBUSTION AIR MUST BE AVAILABLE FOR THE FURNACE AND HOT WATER TANK.

25. A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCH RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.

26. ALL FRAMING LUMBER WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.05 MM POLYETHYLENE OR TYPE 'S' ROLL ROOFING.

DETAIL PLAN FOR EGRESS WINDOW



CMD	CARBON MONOXIDE DETECTOR
SA	SMOKE ALARM. INTERCONNECTED
	WARM AIR REGISTER
R.A.G	RETURN AIR REGISTER
	EXHAUST FAN.
CL	CLOSET
EP	ELECTRICAL PANEL
LHR	LOW HEAD ROOM AREA
	LIGHT FIXTURE
$3	THREE WAY SWITCH
	SPRINKLERS
	EMERGENCY LIGHT

DOOR SCHEDULE

D1	32 X 80 WEATHER-STRIP DOOR
D2	24 X 78 DOOR
D3	32 X 78 = 20 MIN FRR (SELF CLOSING)
D4	30 X 78 WOOD DOOR
D5	32 X 78 WOOD DOOR
D6	DOUBLE DOOR (2-24 X 78 WOOD DOOR)
ED	EXISTING DOOR

LINTEL/BEAM SCHEDULE

LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"X6"
WB2	UPTO 66" OPENINGS	2-2"X8"
WB3	UPTO 78" OPENINGS	3-2"X10"
WB4	UPTO 90" OPENINGS	3-2"X12"

LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L 3.5" X 3.5" X 0.3125"
L2	UPTO 66" OPENINGS	L 4.0" X 3.5" X 0.3125"
NA		
NA		

REVISION NO	DATE	DESCIPTION	BY

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647-407-1048

LICENSED PROFESSIONAL ENGINEER
28/11/2019
J. S. BHAILA
100191467
PROVINCE OF ONTARIO

PROJECT TITLE:

135 Walford RdMarkham, ON L3S 2T7, Canada

SHEET TITLE:
CONSTRUCTION NOTES/LEGENDS

CLIENT EMAIL: ----------

CLIENT CONTACT: ----------

SCALE:

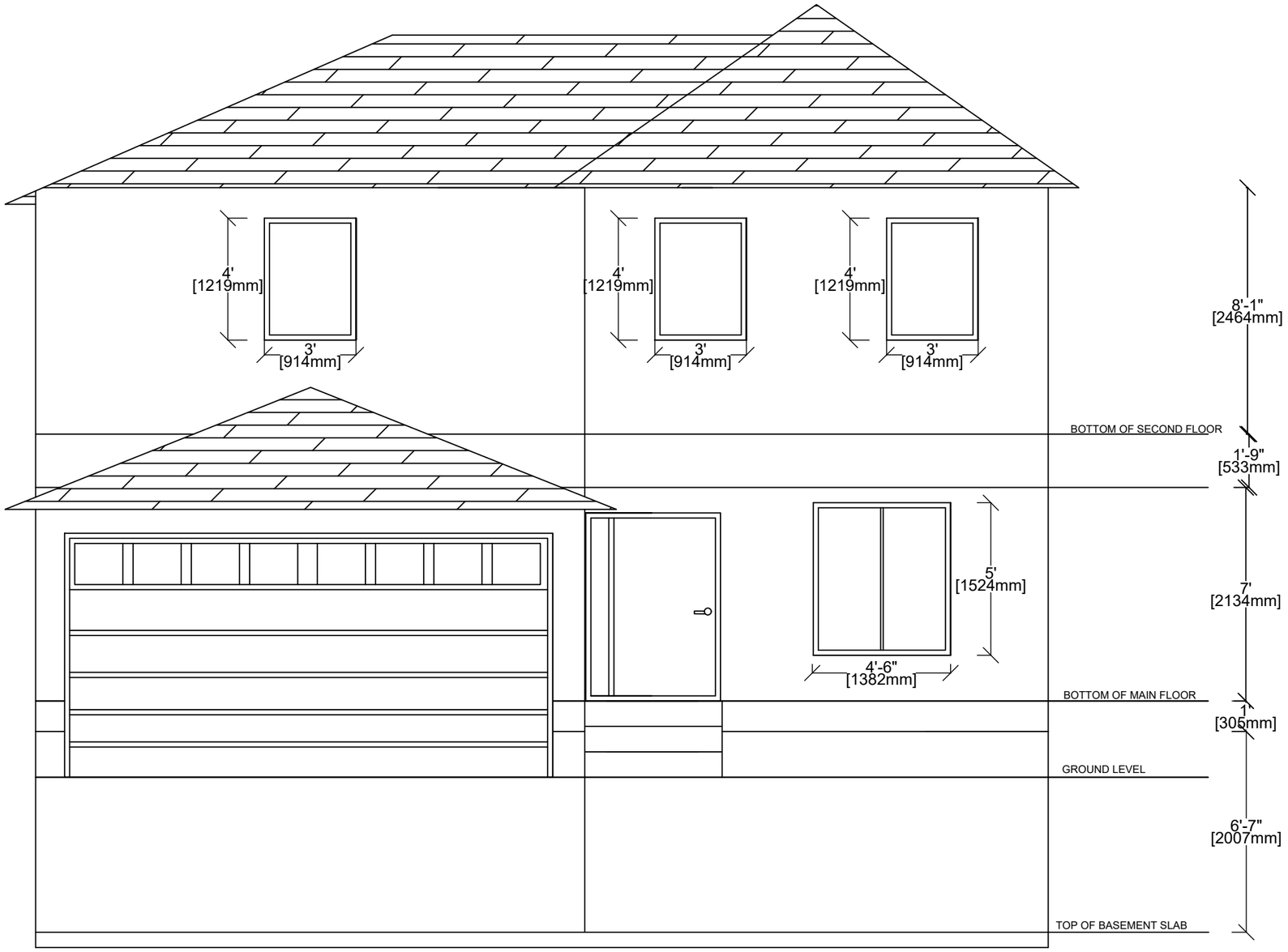
DRAWING NO.:

PLOT DATE: 05-06-2019

DRAWN BY: MJ

CHECKED BY: JA

A106



FRONT VIEW

Hetal Nirav
Ashra Professionals Inc

80 Hanlan Road, Unit #4
Woodbridge, ON, L4L 3P6
647 717 5776
Ashra Professionals Inc.

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

ADDRESS:

135, WALFORD ROAD,
MARKHAM, ON L3S 2T7

PROJECT TITLE:

BUILDING PERMIT

LICENSED PROFESSIONAL ENGINEER
H. A. PARMAR
100144323
18 June 2020
PROVINCE OF ONTARIO

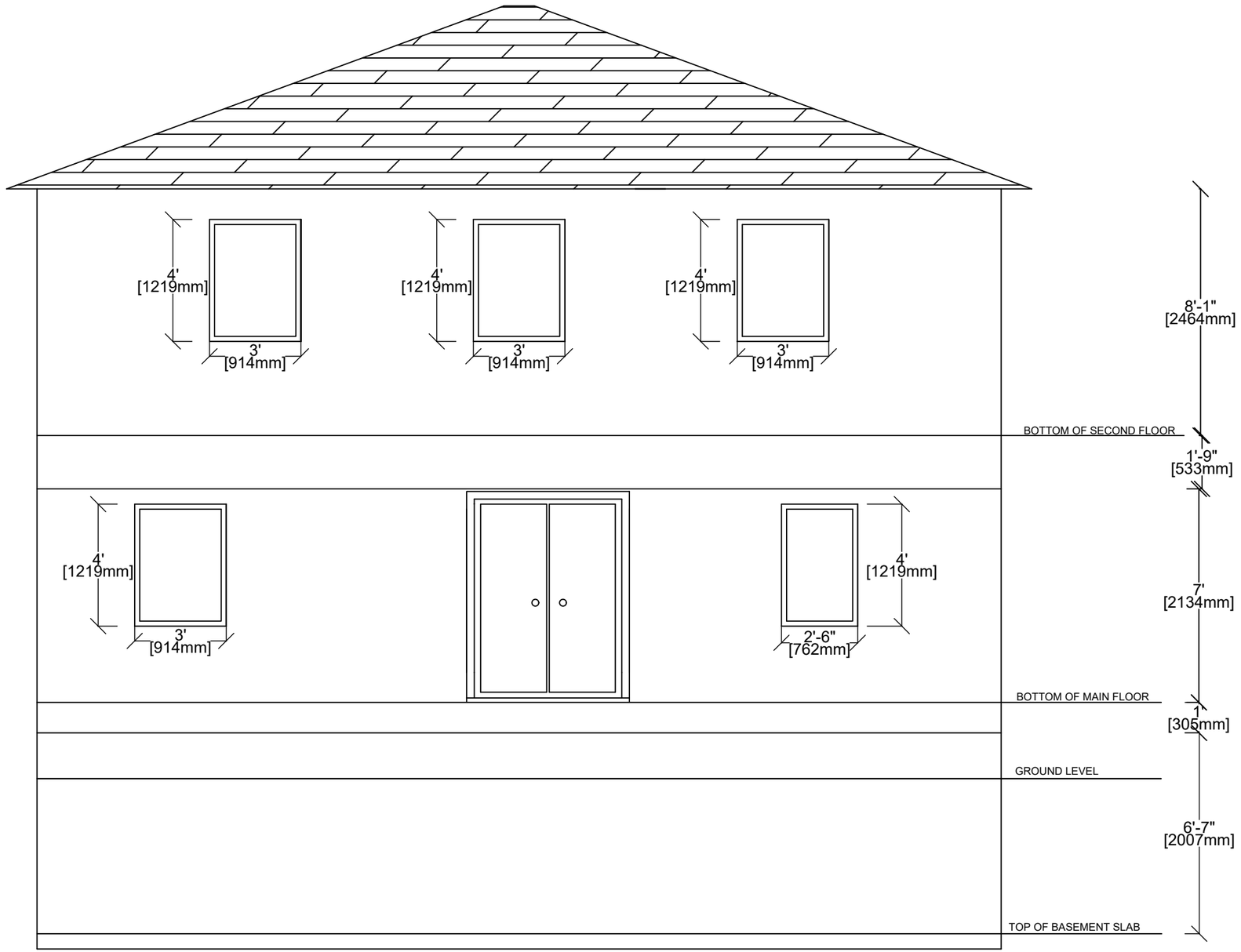
DWG TITLE:

FRONT ELEVATION

DRAWN BY	GM
CHECKED BY	HP
DATE	06/18/2020

DWG. NO.

A01



BACK VIEW

Hetal Nirav
Ashra ProFessionals Inc

80 Hanlan Road, Unit #4
Woodbridge, ON, L4L 3P6
647 717 5776
Ashra Professionals Inc.

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MARKHAM, ON L3S 2T7

PROJECT TITLE:

BUILDING PERMIT

LICENSED PROFESSIONAL ENGINEER
H. A. PARMAR
100144323
18 June 2020
PROVINCE OF ONTARIO

DWG TITLE:

BACK ELEVATION

DRAWN BY	GM
CHECKED BY	HP
DATE	06/18/2020

DWG. NO.

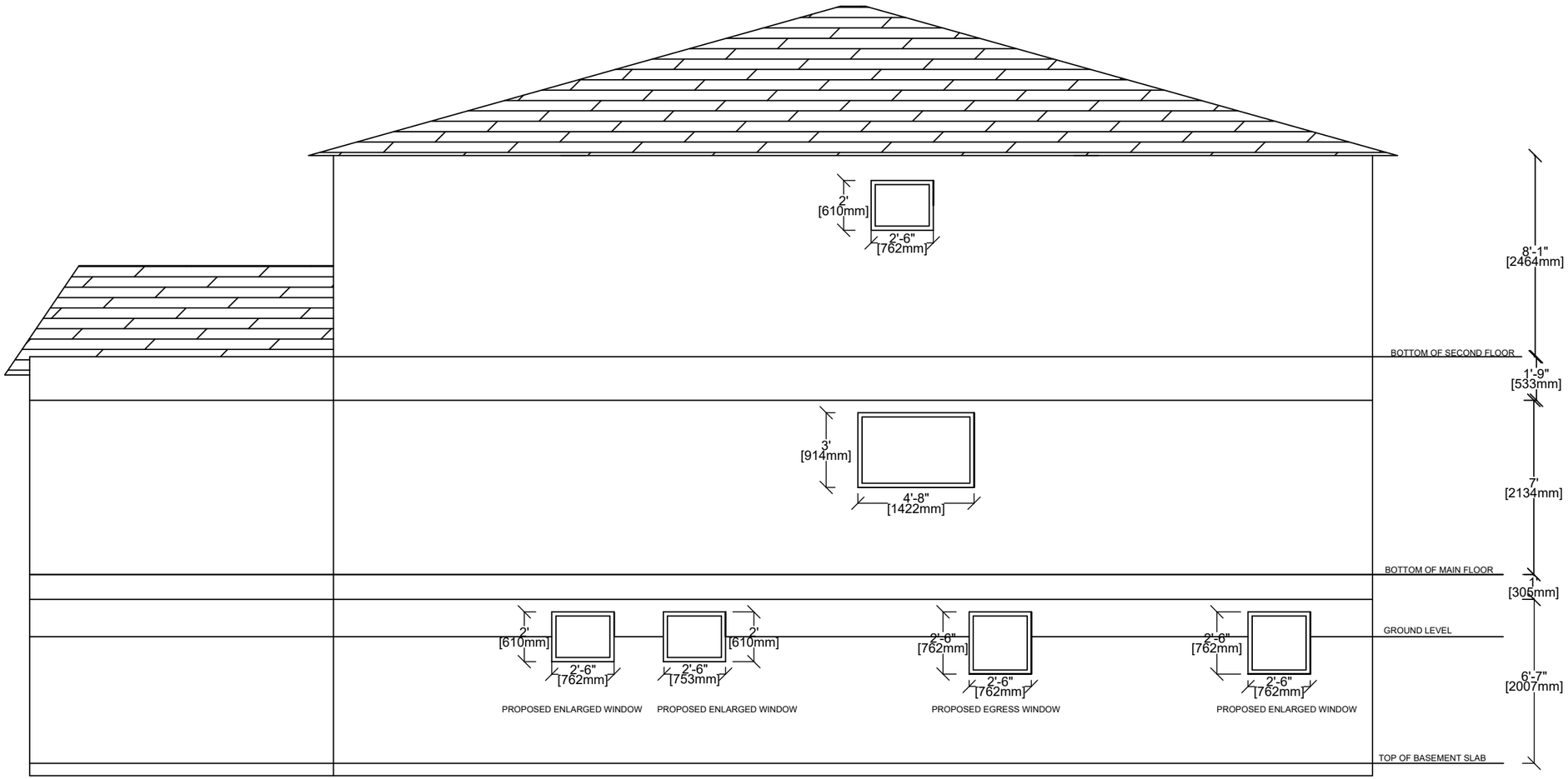
A02

RIGHT ELEVATION GLAZED OPENING CAL

SETBACK = 4'- 3" ; (1.32 M)

WALL AREA = 1218.17 SQ.FT (113.17 SQ.M)

WINDOW OPENING ALLOW (OBC 9.10.15.4)
7% OF THE WALL AREA = 85.27 SQ.FT (7.92 SQ.M)
PROPOSED WINDOWS AREA = 41.24 SQ.FT (3.83 SQ.M)



RIGHT SIDE ELEVATION

Hetal Nirav
Ashra Professionals Inc

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Woodbridge, ON, L4L 3P6
647 717 5776
Ashra Professionals Inc.

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PROJECT TITLE:

BUILDING PERMIT

LICENSED PROFESSIONAL ENGINEER
H. A. PARMAR
100144323
18 June 2020
PROVINCE OF ONTARIO

DWG TITLE:

RIGHT ELEVATION

DRAWN BY	GM
CHECKED BY	HP
DATE	06/18/2020

DWG. NO.

A03