

BASEMENT

Project Address:
RESIDENCE AT 3 SIR ECTOR COURT,
MARKHAM, ONTARIO

Client name:
Sasha

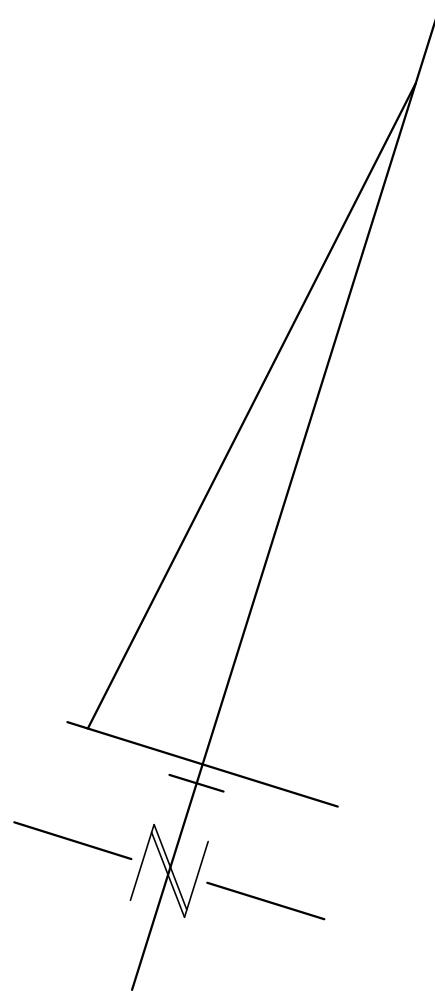


Revisions		Issues	Date
No.	Description		
01	ISSUED FOR CLIENT COMMENTS		20/02/17
02	ISSUED FOR CLIENT COMMENTS		20/02/19
03	ISSUED FOR CLIENT COMMENTS		20/02/21
04	ISSUED FOR CLIENT COMMENTS		20/02/23



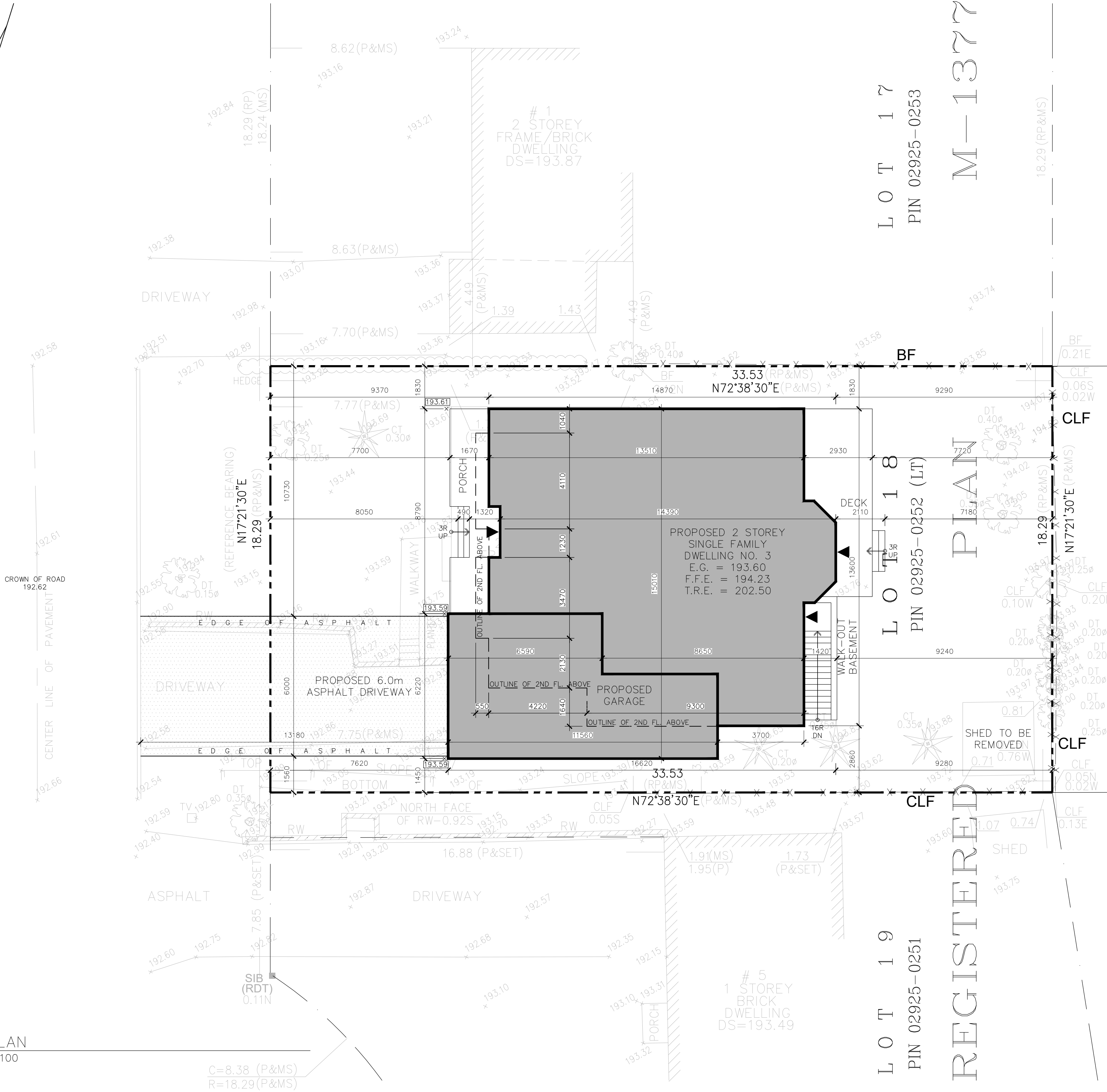
Design Professional Engineering Inc.
23 LORRAINE DR, NORTH YORK ONT M2N 6K5
Call (647) 7398653
permiluty@yahoo.ca

NOTES
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SIR ECTOR COURT
(BY REGISTERED PLAN M-1377)
PIN 02925-0365 (LT)

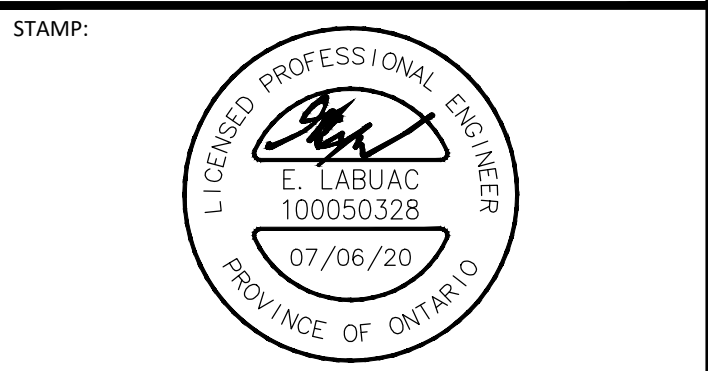
1
A-1.0
SITE PLAN
SCALE: 1:100



SITE STATISTICS:		
LEGAL DESCRIPTION:	PLAN M-1377 LOT 18	
LOT AREA:	613.26m ²	
LOT FRONTAGE:	18.29m	
LOT DEPTH:	33.53m	
ZONING CLASSIFICATION:	"R1" RESIDENTIAL INFILL HOUSING	
ZONING BY-LAW:	BY-LAW 1229, AS AMENDED BY BY-LAW 99-90	
<u>PROPOSED BUILDING:</u>		
	MAXIMUM:	PROPOSED:
LOT COVERAGE:	35%	40.42%
BUILDING AREA:	214.64m ²	247.88m ²
BUILDING HEIGHT:	9.80m	8.90m
BUILDING HEIGHT FROM CROWN OF ROAD	9.80m	9.88m
GROSS FLOOR AREA:	275.97m ²	359m ²
BUILDING DEPTH:	16.8m	16.62m
NET FLOOR AREA RATIO:	45%	58.5%
<u>SITE SETBACK:</u>		
	MINIMUM:	PROPOSED:
FRONT YARD:	7.62m	7.62m
REAR YARD:	7.62m	9.25m
NORTH SIDE YARD	1.83m	1.83m
SOUTH SIDE YARD (2 STOREY – DWELLING)	1.83m	2.86m
SOUTH SIDE YARD (1 STOREY – GARAGE)	1.22m	1.45m

NO.	ISSUED FOR	DATE
2	ZONING REVIEW COMMENTS	07/06/20
1	ZONING REVIEW	05/22/20

ALL MEASUREMENTS ARE IN mm UNLESS OTHERWISE NOTED.
UNAUTHORIZED USE OR REUSE OF THIS DRAWING IS NOT PERMITTED.



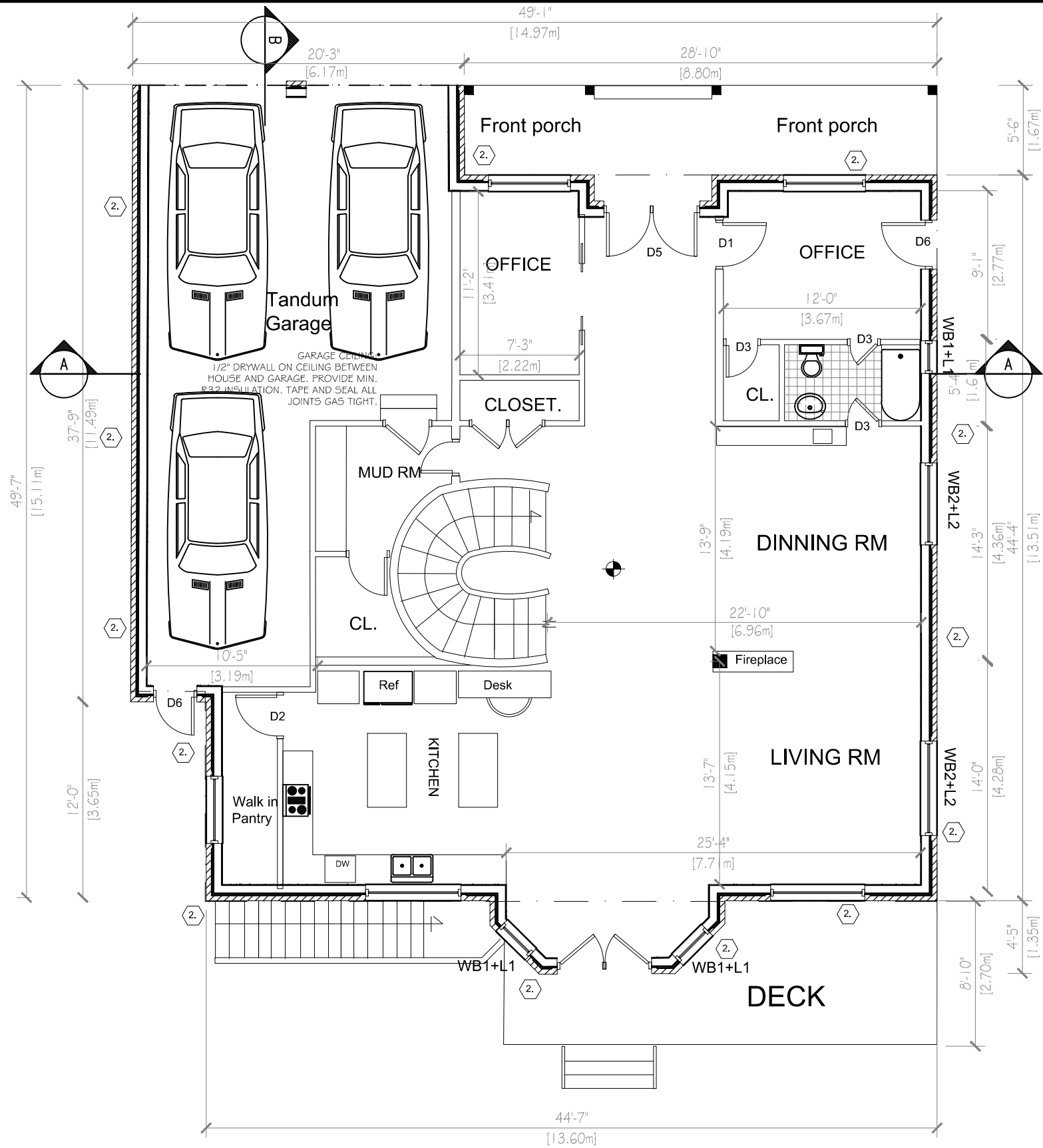
PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON, L3R 8N5
(647) 340-8649 landbuildx@gmail.com

PROJECT INFO:
**3 SIR ECTOR COURT
MARKHAM, ON.
L3P 2W6**

PROJECT NAME:
**PROPOSED TWO STOREY
SINGLE FAMILY DWELLING**

DRAWING TITLE:
SITE PLAN

SCALE: AS NOTED	DWG. NO.
DRAWN BY: P.R.	A-1.0
CHECKED BY: E.L.	
PROJECT NO.: 0520_3SEC	



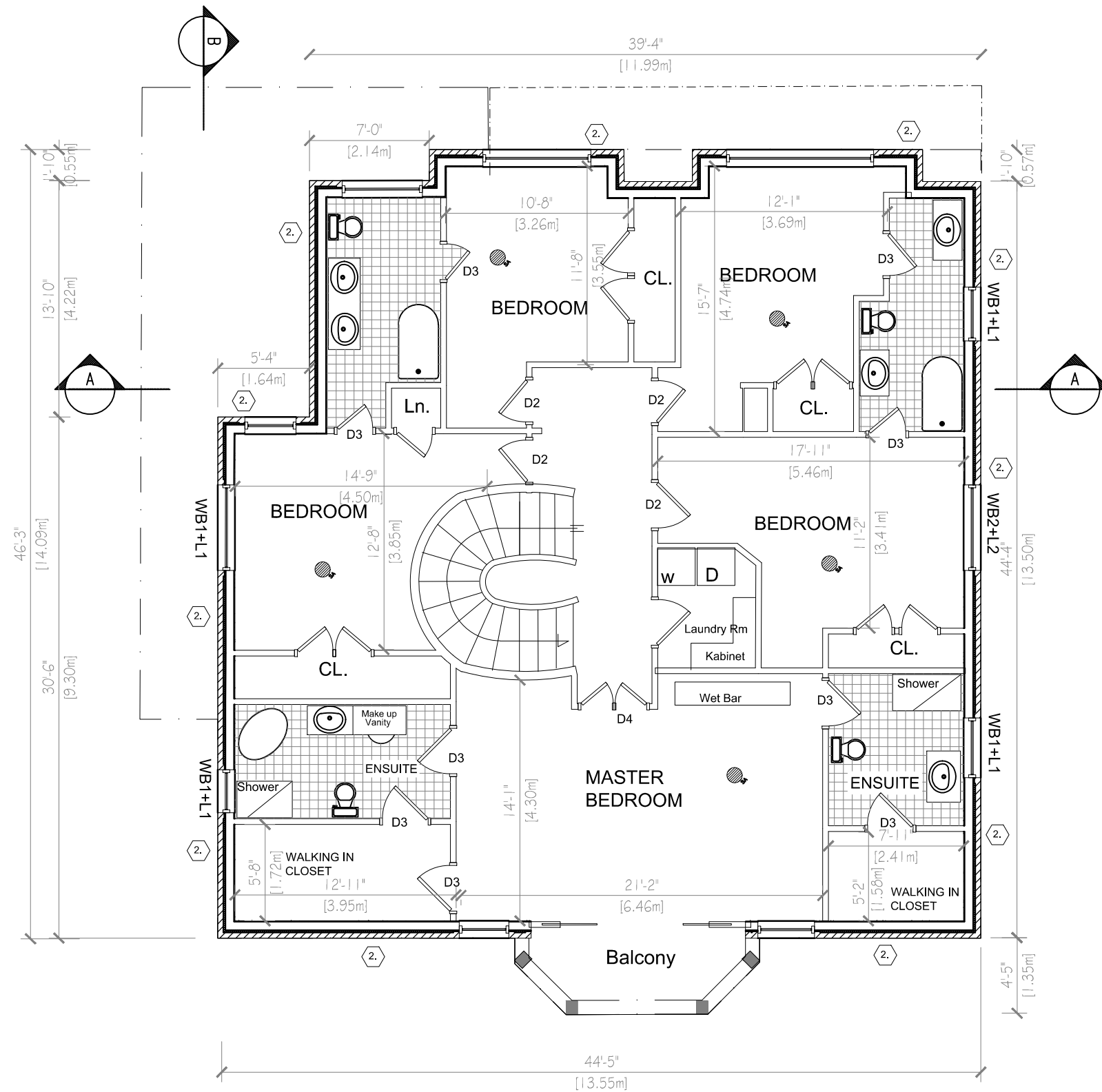
Revisions Issues		
No.	Description	Date
01	ISSUED FOR CLIENT COMMENTS	20/02/17
02	ISSUED FOR CLIENT COMMENTS	20/02/19
00	ISSUED FOR CLIENT COMMENTS	20/02/21



Design Professional Engineering Inc.
23 LORRAINE DR. NORTH YORK C of A#100548925
Call (847) 398663 permitcity@yahoo.ca

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MAINFLOOR			Project Address: RESIDENCE AT 3 SIR ECTOR COURT, MARKHAM, ONTARIO	
Sheet no. A-1	Scale 3/16" = 1'-0"	Revised @11"x17"	Client name: Sasha	
	By DESIGNED B.V.	Drawn 20-02-2020 CHECKED		



Area of Staircase in Second floor=95Sqft=8.8Sqm

SECOND FLOOR

Project Address:
RESIDENCE AT 3 SIR ECTOR COURT,
MARKHAM, ONTARIO

Client name:
Sasha

Sheet no.	Scale	Printed
A-2	3/16" = 1'-0"	11" x 17"
DESIGNED	DATE	20-02-2020
B.V.	CHECKED	

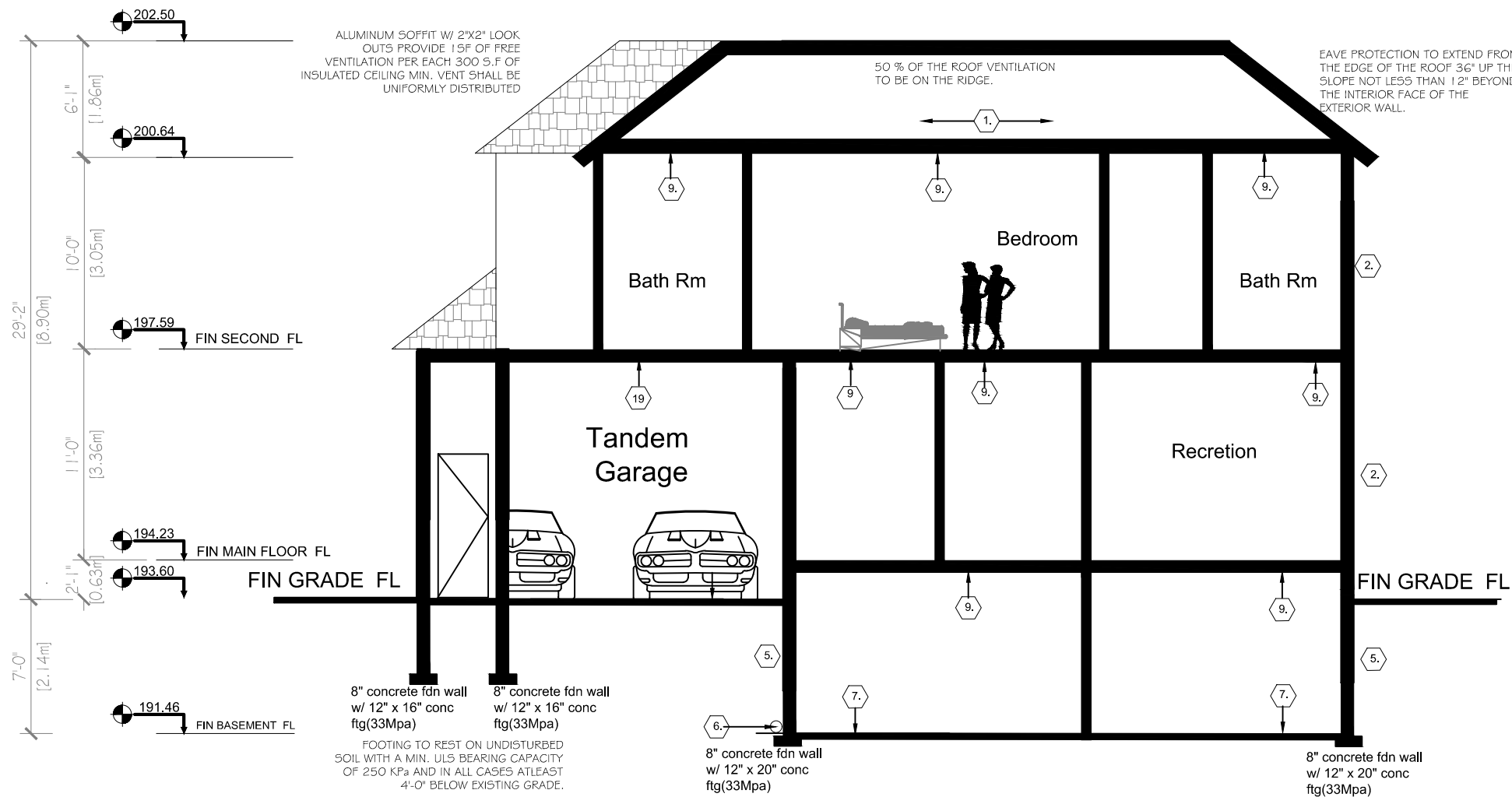


No.	Description	Date
01	ISSUED FOR CLIENT COMMENTS	20/02/17
02	ISSUED FOR CLIENT COMMENTS	20/02/19
03	ISSUED FOR CLIENT COMMENTS	20/02/21
04	ISSUED FOR CLIENT COMMENTS	20/02/23
05	ISSUED FOR CLIENT COMMENTS	20/02/26
06	ISSUED FOR CLIENT COMMENTS	20/02/28
07	ISSUED FOR CLIENT COMMENTS	20/02/28
08	ISSUED FOR CLIENT COMMENTS	20/02/29



Design Professional Engineering Inc.
23 LORRAINE DR. NORTH YORK, ONT. M2H 3K5
Call: (416) 339-8653 permit@dpeng.ca

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SECTION A-A

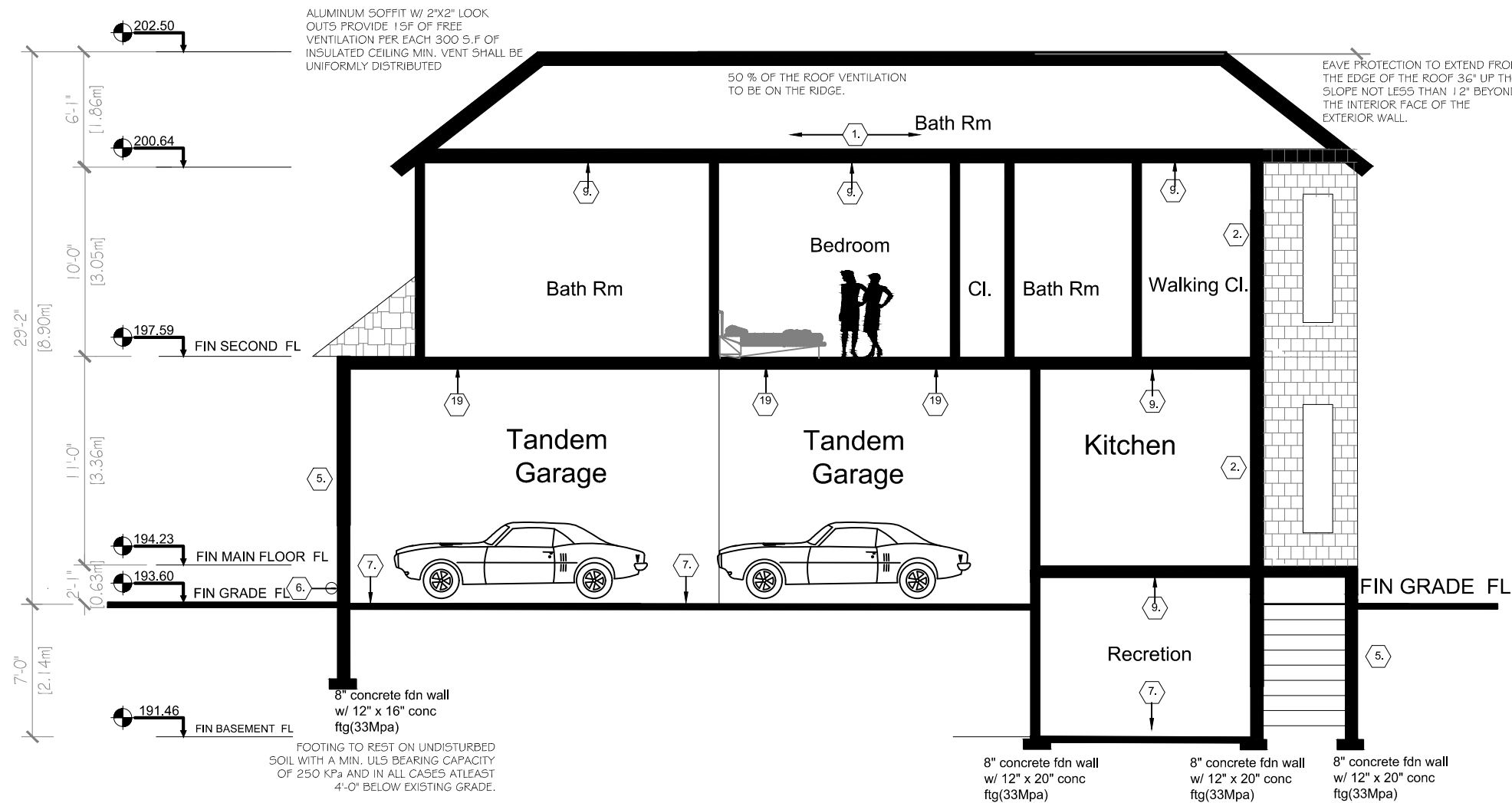
SECOND FLOOR		Project Address: RESIDENCE AT 3 SIR ECTOR COURT, MARKHAM, ONTARIO	
Client name: Sasha			
Sheet no. A-3	Scale 3/16" = 1'-00"	Printed 8 1/2" x 11"	Date 20-02-2020
DESIGNED B.V.	DRAWN C.H. CHOI		



Revisions		Issues
No.	Description	Date
01	ISSUED FOR CLIENT COMMENTS	20/02/17
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03	ISSUED FOR CLIENT COMMENTS	20/02/21
04	ISSUED FOR CLIENT COMMENTS	20/02/23
05	ISSUED FOR CLIENT COMMENTS	20/02/26
06	ISSUED FOR CLIENT COMMENTS	20/02/28
07	ISSUED FOR CLIENT COMMENTS	20/02/28
08	ISSUED FOR CLIENT COMMENTS	20/02/28

Design Professional Engineering Inc.
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permits@dpengr.com

NOTES
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SECTION B-B

SECOND FLOOR

Project Address:
RESIDENCE AT 3 SIR ECTOR COURT,
MARKHAM, ONTARIO

Client name:
Sasha

Sheet no.	Scale	Printed
A-4	3/16" = 1'-00"	@11"x17"
DESIGNED BY	DATE	CHECKED
B.V.	25/02/2020	



No.	Description	Date
01	ISSUED FOR CLIENT COMMENTS	20/02/17
02	ISSUED FOR CLIENT COMMENTS	20/02/19
03	ISSUED FOR CLIENT COMMENTS	20/02/21
04	ISSUED FOR CLIENT COMMENTS	20/02/23
05	ISSUED FOR CLIENT COMMENTS	20/02/26
06	ISSUED FOR CLIENT COMMENTS	20/02/28
07	ISSUED FOR CLIENT COMMENTS	20/02/28
08	ISSUED FOR CLIENT COMMENTS	20/02/28



Design Professional Engineering Inc.
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Call (416) 739-8653 permits@dpeng.ca

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CALCULATION OF UNPROTECTED OPENING ACCORDANCE WITH
O.B.C TABLE,9-10-14.4

Average distance from property line = 10.89m
Maximum percentage of aggregate area of unprotected openings=%45
Expose building face area=1300SF=121Square Meters
Area of proposed openings=145SF=13.5Square meters
45% of 216=54 Square meters
13.5 square meters< 54 square meters so meets O.B.C



ELEVATION WEST

WEST			Project Address: RESIDENCE AT 3 SIR ECTOR COURT, MARKHAM, ONTARIO	
A-5	Scale: 3/16" = 1'-0"	Printed: 8 1/2" x 11"	Client name: Sasha	
	DESIGNED B.V.	CHECKED		
	DATE 20-02-2020			



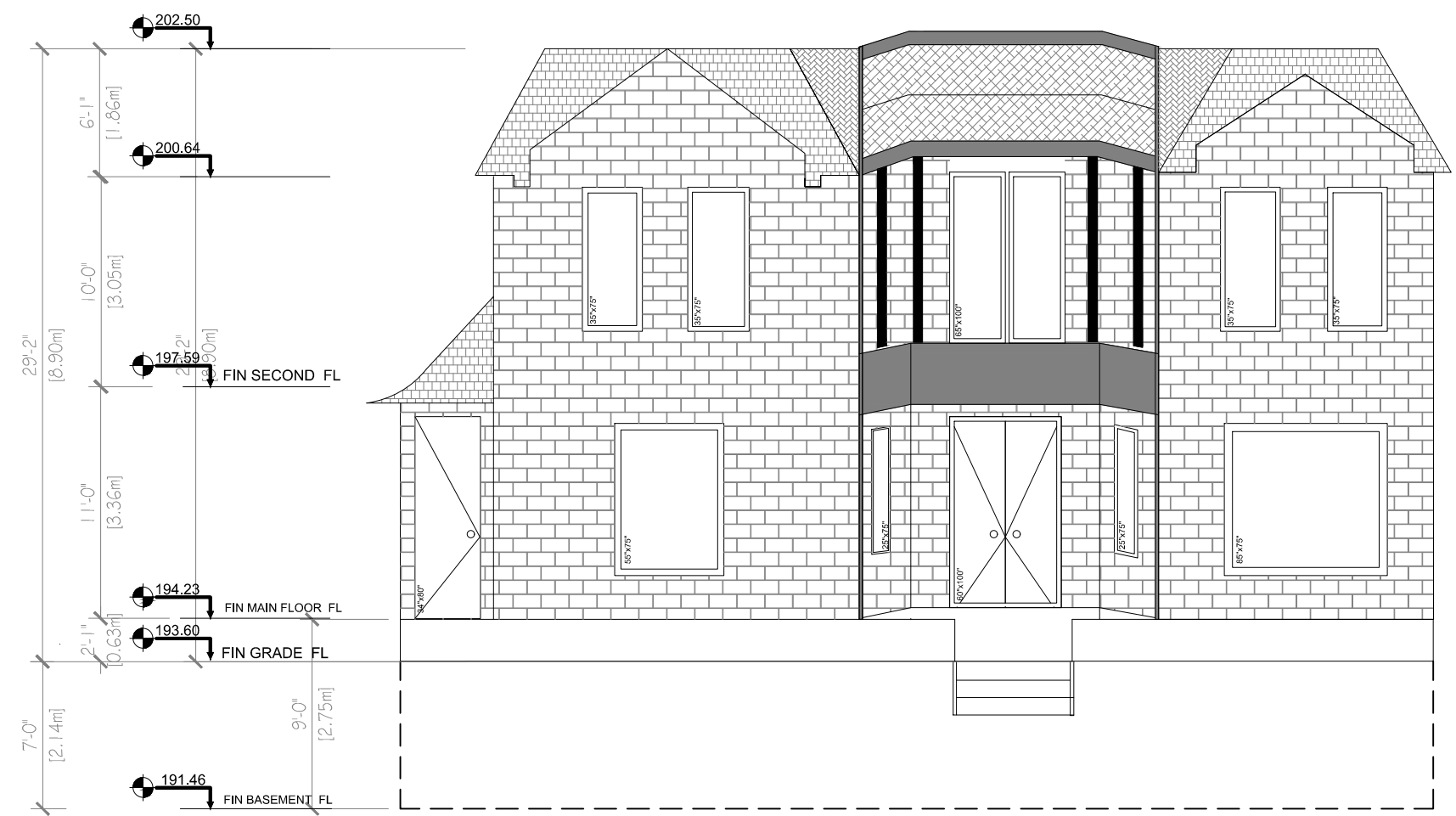
Revisions Issues		
No.	Description	Date
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05	ISSUED FOR CLIENT COMMENTS	20/02/26
06	ISSUED FOR CLIENT COMMENTS	20/02/28
07	ISSUED FOR CLIENT COMMENTS	20/02/28
08	ISSUED FOR CLIENT COMMENTS	20/02/28



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CALCULATION OF UNPROTECTED OPENING ACCORDANCE WITH
O.B.C TABLE,9-10-14.4

Average distance from property line = 7.69m
Maximum percentage of aggregate area of unprotected openings=%50
Expose building face area=1260SF=117Square Meters
Area of proposed openings=240SF=22.2Square meters
50% of 117=59 Square meters
22.2 square meters< 59 square meters so meets O.B.C



ELEVATION EAST

EAST			Project Address: RESIDENCE AT 3 SIR ECTOR COURT, MARKHAM, ONTARIO	
A-6			Client name: Sasha	
Sheet no.	Scale 3/16" = 1'-0"	Notes @ 1/16" = 1'-0"		
	Rev.	Date		
	DESIGNED B.V.	CHECKED		



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03	ISSUED FOR CLIENT COMMENTS		20/02/21
04	ISSUED FOR CLIENT COMMENTS		20/02/23
05	ISSUED FOR CLIENT COMMENTS		20/02/26
06	ISSUED FOR CLIENT COMMENTS		20/02/28
07	ISSUED FOR CLIENT COMMENTS		20/02/28
08	ISSUED FOR CLIENT COMMENTS		20/02/28

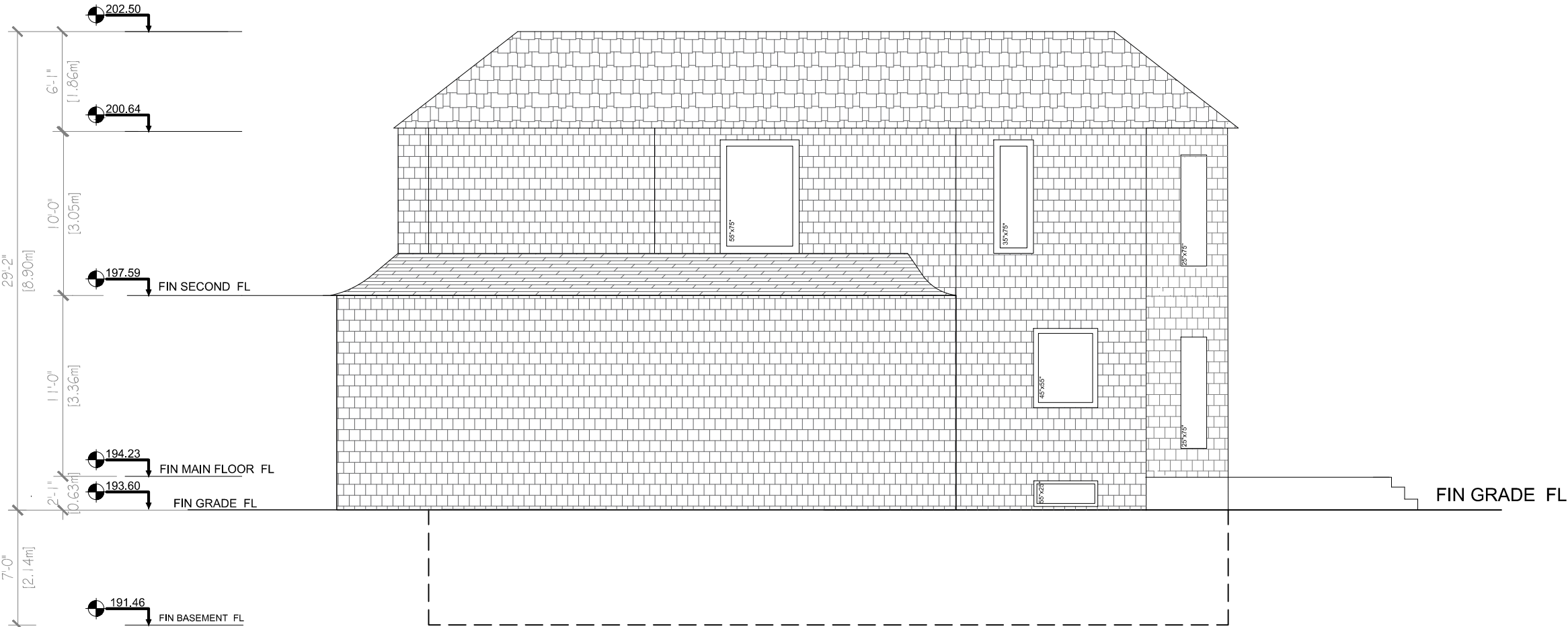


NOTES

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CALCULATION OF UNPROTECTED OPENING ACCORDANCE WITH
O.B.C TABLE,9-10-14.4

Average distance from property line = 1.55m
Maximum percentage of aggregate area of unprotected openings=%7
Expose building face area=1460SF=137Square Meters
Area of proposed openings=3
7% of 117=8.2Square meters
3square meters< 8.2 square meters so meets O.B.C



ELEVATION SOUTH

SOUTH		Project Address: RESIDENCE AT 3 SIR ECTOR COURT, MARKHAM, ONTARIO	
A-7		Client name: Sasha	
Sheet No.	Scale: 3/16" = 1'-0"	Drawn: @11"x11"	
	No.	Date: 20-02-2020	
	DESIGNED: B.V.	CHECKED:	

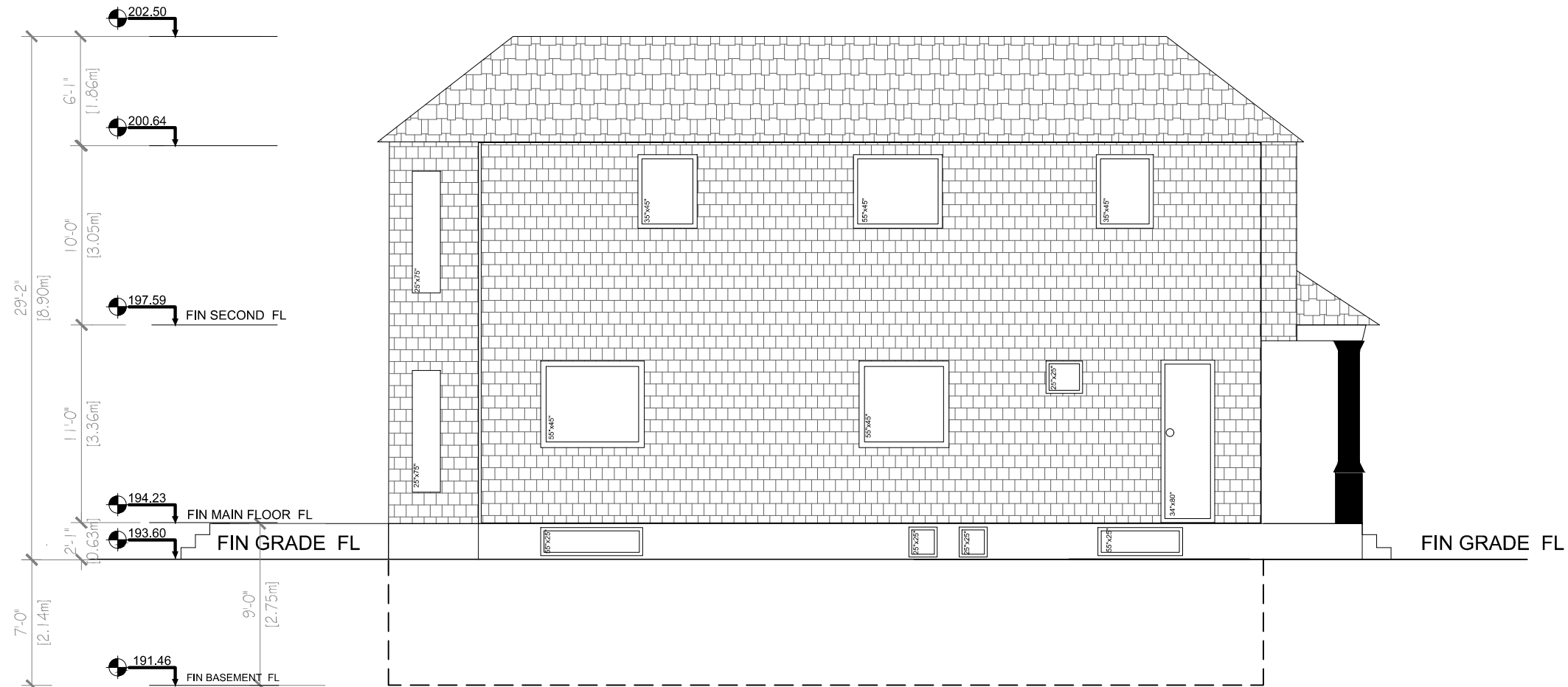


Revisions		Issues
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03	ISSUED FOR CLIENT COMMENTS	20/02/21
04	ISSUED FOR CLIENT COMMENTS	20/02/23
05	ISSUED FOR CLIENT COMMENTS	20/02/25
06	ISSUED FOR CLIENT COMMENTS	20/02/28
07	ISSUED FOR CLIENT COMMENTS	20/02/28
08	ISSUED FOR CLIENT COMMENTS	20/02/28



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Average distance from property line = 1.74m
Maximum percentage of aggregate area of unprotected openings=45
Expose building face area=1350SF=126Square Meters
Area of proposed openings=137sqft=10m2
7.5% of 126=10.5 Square meters
10square meters< 10.7 square meters so meets O.B.C

ELEVATION NORTH

NORTH		Project Address: RESIDENCE AT 3 SIR ECTOR COURT, MARKHAM, ONTARIO	
Sheet no.	Scale 3/16" = 1'-0"	Printed @ 11"x17"	Client name: Sasha
A-8	No.	Date 20-05-2020	
	01/3/2019 B.V.	01/05/2020	



Revisions		Issues
No.	Description	Date
01	ISSUED FOR CLIENT COMMENTS	20/02/17
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04	ISSUED FOR CLIENT COMMENTS	20/02/23
05	ISSUED FOR CLIENT COMMENTS	20/02/26
06	ISSUED FOR CLIENT COMMENTS	20/02/28
07	ISSUED FOR CLIENT COMMENTS	20/02/28
08	ISSUED FOR CLIENT COMMENTS	20/02/28



ENGINEERING INC.
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CONSTRUCTION NOTES

Natural Ventilation

- Every roof space above an insulated ceiling shall be ventilated with unobstructed openings equal to not less than 1/300 of insulated area
- Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area.
- Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or insects
- Unheated crawl spaces shall be provided with 1.1 ft² of ventilation for each 538² ft
- Minimum natural ventilation areas, where mechanical ventilation is not provided, are:
Bathrooms: 0.97 ft²
other rooms: 3 ft²
Unfinished basement: 0.2% of floor area

Doors and Windows

- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed open area of 3.8 ft² and no dimension less than 15" which is openable from the inside without tools
- Exterior house doors and windows within 6' 7" from grade shall be constructed to resist forced entry. Doors shall have a deadbolt lock
- The principal entry door shall have either a door viewer, transparent glazing or a sidelight

Exterior Walls

- No windows or other unprotected openings are permitted in exterior walls less than 3' 11" from property lines
- 5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends of roofs which are less than 3' 11" from property lines
- Non combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines

Ceramic Tile

- When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2" thick & reinforced with galvanized diamond mesh lath, applied over polyethylene on subflooring on joists at no more than 16" o.c. with at least 2 rows cross bridging

Access to Attics and Crawl Spaces

- Access hatch minimum 19 3/4 x 2' 4" to be provided to every crawl space and every roof space which is 108 ft² or more in area and more than 23 5/8" in height

Garage Gasproofing

- The walls and ceiling of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust fumes
- All plumbing and other penetrations through the walls and ceiling shall be caulked
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weatherstripped and have a self-closer

Alarms and Detectors

- At least one smoke alarm shall be installed on or near the ceiling on each floor and basement level 2' 11" or more above an adjacent level
- Smoke alarms shall be interconnected and located such that one is within 16' 5" of every bedroom door and no more than 49' 3" travel distance from any point on a floor
- A carbon monoxide detector shall be installed on or near the ceiling in every room containing a solid fuel burning fireplace or stove

Stairs

- Maximum Rise 7 7/8"
- Minimum Run 8 1/4"
- Minimum Tread 9 1/4"
- Minimum Head Room 6' 5"
- Minimum Width 2' 10"
- Curved stairs shall have a min. run of 5 7/8" at any point and a minimum average run of 7 7/8"
- Winders which converge to a point in stairs must turn through an angle of no more than 90° with no less than 30° or more than 45° per tread. Sets of winders must be separated by 3' 11" along the run of the stair
- A landing minimum 2' 11" in length is required at the top of any stair leading to the principal entrance to a dwelling, and other entrances with more than 3 risers
- Exterior concrete stairs with more than 2 risers require foundations

Handrails and Guards

- A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers
- Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level
- Interior and exterior guards min. 2' 11" high. Exterior guards shall be 3' 6" high where height above adjacent surface exceeds 5' 11"
- Guards shall have no openings greater than 4", and no member between 4" and 2' 11" that will facilitate climbing

Plumbing

- Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities
- A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. In other cases, it shall be connected to a storm drainage system, ditch or dry well

Electrical

- An exterior light controlled by an interior switch is required at every entrance
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport. A switched receptacle may be provided instead of a light in bedrooms and living rooms
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head and foot of the stairs
- Basements require a light for each 323 ft² controlled by a switch at the head of the stairs

Mechanical Ventilation

- A mechanical ventilation system is required with a total capacity at least equal to the sum of:
 - 10 cfm each for basement and master bedroom
 - 5 cfm for each other room
- A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity
- A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any solid fuel burning appliances are installed
- Supply air intakes shall be located so as to avoid contamination from exhaust outlets

Excavation and Backfill

- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities
- The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material
- If termites are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of 11 3/4" in excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4"
- Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter

Dampproofing and Drainage

- In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be dampproofed. Where hydrostatic pressure occurs, a waterproofing system is required
- Masonry foundation walls shall be parged with 1/4" of mortar coved over the footing prior to dampproofing
- 4" foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump
- Window wells shall be drained to the footing
- Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion
- Concrete slabs in attached garages shall be sloped to drain to the exterior
- The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties

Footings

- minimum 2200 psi poured concrete
- minimum 4" below finished grade
- Footings shall be founded on natural undisturbed soil, rock or compacted granular fill with minimum bearing capacity of 1570 psi

Footing Size

- | Floors Supported | Supporting Ext. Wall | Supporting Int. Wall | Column Area |
|------------------|----------------------|----------------------|----------------------|
| 1 | 9 7/8" | 9 7/8" | 4.3 ft ² |
| 2 | 13 3/4" | 13 3/4" | 8.1 ft ² |
| 3 | 17 3/4" | 19 3/4" | 10.9 ft ² |
- Increase footing width by 2 5/8" for each storey of brick veneer supported, and by 5 1/8" for each storey of masonry
 - The projection of an unreinforced footing beyond the wall supported shall not be greater than its thickness

Step Footings

- Vertical Rise 23 5/8" Max. for firm soils
15 3/4" Max. for sand or gravel
Horizontal Run = 23 5/8" Min.

Foundation Walls

- To be poured concrete, unit masonry or preserved wood (see drawings for type and thickness)
- Dampproofing shall be a heavy coat of bituminous material.
- Foundation wall to extend minimum 6 7/8" above finished grade.
- A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 2' 11" below exterior grade. A drainage layer shall consist of
 - Min. 3/4" mineral fibre insulation with min. Density of 3.6 lb/ft³
 - Min. 4" of free drainage granular material, or
 - An approved system which provides equivalent performance
- Foundation walls shall be braced or have the floor joists installed before backfilling

Concrete Floor Slabs

- Garage, carport and exterior slabs and exterior steps shall be 4650 psi concrete with 5-8% air entrainment
- Other slabs 3600 psi concrete
- Minimum 3" thick, placed on a minimum 4" of coarse, clean, granular material
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support

Masonry Walls

- Where constructed of 3 1/2" brick, wall shall be bonded with header course every 6th course
- Provide 2" solid masonry or continuous 1 1/2" plate under all roof and floor framing members
- Provide 7 1/2" solid masonry under beams and columns
- Masonry wall to be tied to each tier of joists with 1 9/16" x 3/16" corrosion resistant steel straps, keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists @ 6'-7" o.c.
- Inside back of wall to be parged and covered with No. 15 breather-type asphalt paper
- For reduced foundation walls to allow a brick facing while maintaining lateral support, tie minimum 3 1/2" brick to minimum 3 1/2" back-up block with corrosion resistant ties at least 0.028 in² in cross sectional area, spaced 7 7/8" vertically and 2'-11" horizontally, with joints completely filled with mortar
- Masonry over openings shall be supported on corrosion resistant or prime painted steel lintels with a minimum of 5 7/8" end bearing

Masonry Veneer

- Minimum 2 3/4" thick if joints are not raked and 3 1/2" thick if joints are raked
- Minimum 1" air space to sheathing
- Provide weep holes @ 31 1/2" o.c. at the bottom of the cavity and over doors and windows
- Direct drainage through weep holes with 20 mil poly flashing extending minimum 5 7/8" up behind the sheathing paper
- Veneer ties minimum 0.030" thick x 7/8" wide corrosion resistant straps spaced @ 23 5/8" vertically and 15 3/4" horizontally
- Fasten ties with corrosion resistant 0.125" diameter screws or spiral nails which penetrate at least 1-3/16" into studs

GENERAL NOTES

Sheet no.	Scale: 3/16" = 1'-0"	Printed: 5/25/2020
A-10	No. 111117	
	Date: 20-02-2020	
	DESIGNED	CHECKED
	S.V.	

Project Address:
RESIDENCE AT 3 SIR ECTOR COURT,
MARKHAM, ONTARIO

Client name:
Sasha

Revisions	Issues	
No.	Description	Date
01	ISSUED FOR CLIENT COMMENTS	20/02/17
02	ISSUED FOR CLIENT COMMENTS	20/02/19
03	ISSUED FOR CLIENT COMMENTS	20/02/21
04	ISSUED FOR CLIENT COMMENTS	20/02/23
05	ISSUED FOR CLIENT COMMENTS	20/02/25
06	ISSUED FOR CLIENT COMMENTS	20/02/26
07	ISSUED FOR CLIENT COMMENTS	20/02/28
08	ISSUED FOR CLIENT COMMENTS	20/02/29



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NOTES

1. The Contractor must verify all dimensions and advise/report any discrepancies to the consultant before any executions.
2. All drawings and specifications remain the property of DPE consultants.
3. No Variations or modifications to work shown shall be implemented without prior written approval.
4. This drawing must not be used for construction until the stamp and sign appearing and dated by the Engineer on drawing.

1. ROOF CONSTRUCTION(W/ R 60 INSULATION)
No. 210 (10.25 kg/m2) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 24" (600) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2' - 11" (900) FROM EDGE OF ROOF AND MIN. 12" (300) BEYOND INNER FACE OF EXTERIOR WALL, 2"x4" (38x89) TRUSS BRACING @ 6' - 0" (1830) O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVES TROUGH, FASCIA, RWL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OD INSULATED CEILING AREA WITH 50% AT EAVES.

2. STUCCO WALL CONSTRUCTION (2"x6")(W/ R-19+5Ci INSUL)
STUCCO CLADDING CONFORMING TO O.B.C 9.27.1.1.(2) & 9.28 REQUIREMENTS AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MINIMUM EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPROVED CONTIN. AIR BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS O 400mm (16") O.C., RSI 3.35 (R24) BATT INSUL, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH

3. BRICK/STONE VENEER WALL CONSTRUCTION (2"x6")
4" (90) FACE BRICK 1" (25) AIR SPACE, 7/8"x7"x0.003" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. TIES TO BE IN CONTACT WITH WOOD STUDS ONLY. APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, 2"x6" (38x140) STUDS @16" (400) O.C., R(19+5Ci) INSULATION AND 6 mil POLYETHYLENE VAPOR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER. WALL ASSEMBLY R22 (RSI 3.80) AS PER O.B.C 9.23 & 12.3.2.1 & 12.3.3.3

4. INTERIOR STUD PARTITIONS
FOR BEARING PARTITIONS 2"x4" (38x89) @ 16" (400) O.C. FOR 2 STOREY AND 12" (300) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (600) O.C. PROVIDE 2"x4" (39x89) BOTTOM PLATE AND 2/2"x4" (2/38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED.

5. FOUNDATION WALL/FOOTING: -O.B.C. 9.15.4.- (W/ R-12+10Ci INSUL)
10" (300) or 8"(200) POURED CONC. FDTN. WALL 25Mpa (3600psi) WITH BITUMINOUS DAMPROOFING AND DRAINAGE LAYER. MAXIMUM UNSUPPORTED HEIGHT 8'-2" (2500) WITH 6'-11" (2100) MAX. EARTH RETENTION FROM BASEMENT SLAB TO FIN. GRADE, ON CONC. FOOTING. JOIST SPANS GREATER THAN 16'-0" (4900) SHALL BE SIZED IN ACCORDANCE TO 9.15.3.4 (1) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTING SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER.

Note: For foundation wall, use Vertical reinforcement (Rebar) 15M@22" to connect and tie to dowels from strip footing and Horizontal reinforcement(Rebar) use minimum 2-10M top, mid-height and Bottom as per article 9.15.4.2 of the 2015 National Building Code(NBC)

Note: For strip footings underneath of foundation walls, use 15M@12" as Horizontal reinforcement(Rebar) and utilize L shape dowels 32"height and 7" the bottom of Lshape to match vertical bars of foundation walls.

6. 4" (100), WEEPING TILE 6" (150) CRUSHED STONE OVER AND AROUND WEEPING TILE TO BE CONNECTED TO EXISTING WEEPING TILE.

7. BASEMENT SLAB -O.B.C. 9.13-
3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COURSE GRANULAR FILL, OR 20 MPa (2900psi) CONC. WITH DAMPROOFING BELOW SLAB.

8. EXPOSED FLOOR TO EXTERIOR
PROVIDE R(Base on EFDS) INSULATION, 6 mil POLY VAPOR BARRIER AND CONTIN. AIR BARRIER, FINISHED SOFFIT, FLOOR ASSEMBLY R(Base on EFDS) O.B.C. 12.3.2.1 & 12.3.3.3.

9. R(Base on EFDS) INSULATION, 6 mil POLY VAPOR BARRIER, 5/8" (15.9) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQUAL. ROOF ASSEMBLY R31 O.B.C. 12.3.2.1 & 12.3.3.3

10. STAIR/EXTERIOR STAIRS (PUBLIC)-O.B.C. 9.8. 4(FOR RECTANGULAR)
MAX. RISE =180MM Min Rise=125
MAX RUN=NO LIMIT MIN RUN=280MM
9.8.6.- LANDING=1100 HEIGHT OVER LANDING=2050MM
9.8.7- HEIGHT OF HANDRAILS MIN=860MM MAX=965MM
TERMINATION OF HANDRAILS SHALL EXTEND HORIZONTALLY NOT LESS THAN 300MM BEYOND THE TOP AND BOTTOM OF EACH STAIR

11. GUARDS/RAILINGS -O.B.C 9.8-
FINISHED NON-COMBUSTIBLE GUARD/RAILING (4" TO 35" ABOVE FLOOR) WITH 4" (100) O.C. MAXIMUM SPACING BETWEEN PICKETS. THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY REQUIRED SHALL BE
I) A UNIFORM LOAD OF 113 lb/ft OR A CONCENTRATED LOAD OF 225lb
II) A VERTICAL LOAD OD 168 lb/ft, WHICH NEED NOT ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.
III) INDIVIDUAL ELEMENTS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 113 lbs AT ANY MOMENT.

12. GUARDS -O.B.C. 9.8.8-
INTERIOR GUARDS: 2'-11" (900) MIN.
EXTERIOR GUARDS: 3'-6" (1070) MIN.

13. R(12+10Ci) INSULATIONS BLANKET OR BATT WITH 2"x4" (38x89) STUD WALL, 6 mil POLYETHYLENE VAPOR BARRIER, TO EXTEND TO NOT MORE THAN 1'-3" (380 mm) ABOVE FIN. BASEMENT FLOOR. DAMPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. WALL ASSEMBLY R14 (RSI 2.46)
NOTE: FULL HEIGHT INSULATION AT COLD CELLAR. (O.B.C 12.3.2.1, 12.3.2.4 & 12.3.3.3)

14. BEARING STUD PARTITION
2"x4" (38x89) STUDS @ 16" O.C., 2"x4" (38x89) SILL PLATE ON DAMPROOFING MATERIAL, 1/2 (12.7) ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN INTO CONC. @ 7'-1-" (2400) O.C. 4"(100) HIGH CONC. CURB ON 14"x6" (350x150) CONC. FOOTING ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15B. STEEL COLUMN
3 1/2" (90) x 0.188 (4.78) NON ADJUSTABLE STEEL COL. TO BE ON 6"x6"x3/8" (150x150x9.5) STL. TOP PLATE & 6"x4"x3/8" (150x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2-1/2" x 12" LONG x 2" HOOK ANCHORS (2 - 12.7x305x50). FIELD WELD COL. TO BASE PLATE AND BEAMS.

16. BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS. MIN. BEARING 3 1/2" (90)

17. 1"x3" (19x64) CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM

18. GARAGE SLAB
4" (100) 32KPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COURSE GRANULAR FILL WITH COMPACTED SUB BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.

19. 1/2" (12.7) GYPSUM BD. ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. R19 (RSI 3.34) IN WALLS, R25 (RSI 4.4) IN CEILING. TAPE AND SEAL ALL JOINTS.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

21. PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7-7/8" (200) MIN TREAD 9-1/2" (235)

22. CAPPED DRYER EXHAUST VENTED TO EXTERIOR. CONFORMING TO PART 6, O.B.C. 9.32.1.5.(1)

23. ATTIC ACCESS HATCH MIN. 0.32m2 WITH NO DIM . LESS THAN 545mm WITH WEATHER STRIPPING. R40 (RSI 7.00) RIGID INSULATION BACKING. O.B.C. 9.19.2.1

24. 210 ASPHALT SHINGLES SELF SEALING AS PER MATERIAL STANDARDS 9.26.2.10BC ON ½" PLYWOOD SHEATHING, EDGES SUPPORTED WITH H CLIPS ON APPVD. TRUSSES

25. COLD CELLAR
VENTED.5" R/C SLAB , 4650 PSI,5-8% AIR ENT, 10 M BARS @8"O.C BOTH WAYS

26. HIGH WALLS: OBC. 9.23.11, 9.23.16
FOR WIND LOADS <= 0.5 KPA FOR A MAX OF 18'-4" PROVIDE 2-2"x6" SPR # 2 CONT. STUDS @ 12"O.C FOR BRICK OR FRAMED WALL. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS AT 4'-0" VERTICALLY.



27. LINTEL
WB1 2/ 2"x8" (2/ 38X 184) SPR #2
WB2 3/ 2"x8" (2/ 38X 184) SPR #2
WB3 2/ 2"x12"(2/38 X 286) SPR#2
L1 L90x90x6MM for Max 4' span
L2 L100x90x8MM for Max 7' span
L3 L125x90x8MM for Max 8' span

WINDOW SCHEDULE

W1	(55")WX(75")H	W9	(55")WX(55")H
W2	(25")WX(40")H	W10	(55")WX(45")H
W3	(35")WX(75")H		
W4	(65")WX(100")H		
W5	(85")WX(75")H		
W6	(25")WX(75")H		
W7	(45")WX(55")H		
W8	(25")WX(25")H		

DOOR SCHEDULE

D1	DOOR(34")WX(6' 8") H
D2	DOOR(32")WX(6' 8") H
D3	DOOR(30")WX(6' 8") H
D4	DOUBLE DOOR(45")WX(6' 8") H
D5	HARD WOOD DOOR(45")WX(6' 8") H
D6	EXTERIOR DOOR(36")WX(6' 8") H

- Smoke Alaram/Co2 Detector Interconnected
- Smoke Alarm Visual signaling Component interconnected

GENERALNOTES2

Sheet no.	3/18" = 1:50	Printed @11"x17"
		Date 16-11-2018
A-11	Drawn By: C	CHECKED

Project Address:

RESIDENCE AT 3 SIR ECTOR COURT,
MARKHAM, ONTARIO

Client name:

Sasha



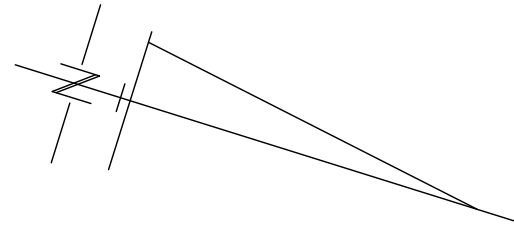
Revisions	Issues	
No.	Description	Date
00	ISSUED FOR CLIENT COMMENTS	18/11/11



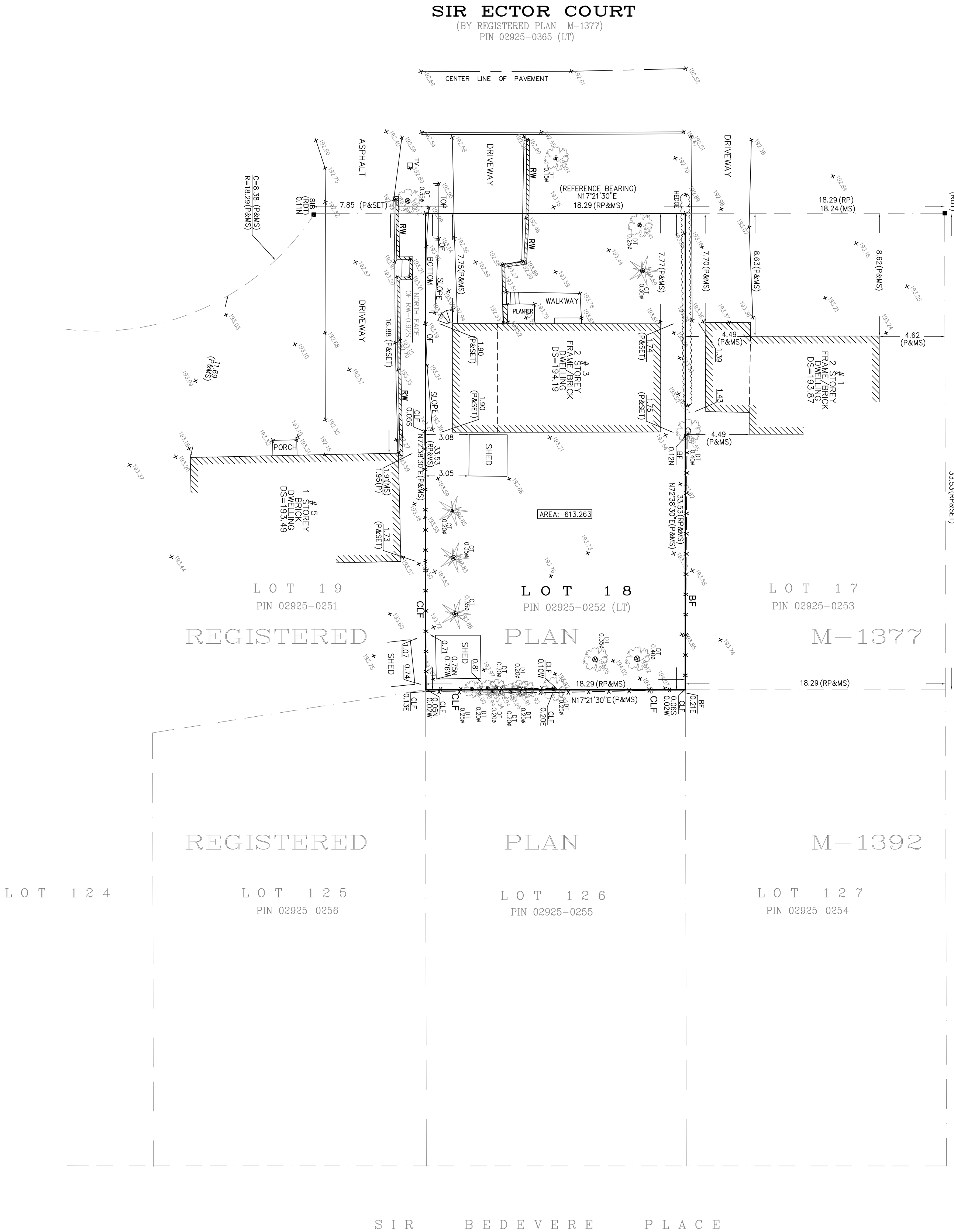
DD-Building Consultants:
23 LORRAINE DR. NORTH YORK
Call (416) 733-8853 permits@yehco.ca

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S I R B E D E V E R E P L A C E



SURVEYORS REAL PROPERTY REPORT OF
PART 1:
PLAN OF LOT 18
REGISTERED PLAN M-1377
TOWN OF MARKHAM
(REGIONAL MUNICIPALITY OF YORK)

SCALE = 1:200
METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

A. AZIZ SURVEYORS INC., O.L.S.

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PART 2:
REPORT
• THIS REPORT WAS PREPARED FOR S. ECTOR, AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
BOUNDARIES
• LOT 18, REGISTERED PLAN M-1377
TITLE SEARCH INDICATES
• NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING BY LAW HAS BEEN MADE FOR THE SUBJECT PROPERTY (PROPERTIES).
ZONING
• PLEASE NOTE THE POSITION OF THE FENCES IN RELATION TO THE SOUTHERLY, NORTHERLY & EASTERLY BOUNDARIES THEY ARE LOCATED OVER THE SUBJECT BOUNDARIES TO THE EXTENT SHOWN ON THE PLAN.
• BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF SIR ECTOR COURT HAVING A BEARING OF N77°21'30"E
• ELEVATIONS SHOWN ON REGISTERED PLAN M-1377
• BENCH MARK #3298-88, ELEVATION 186.670 M

LEGEND:
• DROPPED SURVEY MONUMENT FOUND
• STANDARD IRON BAR
• S.S.W. - BOARD FENCE - SOUTH, WEST
• R.P. - GRAVEL LINK FENCE - 1977
• P - SURVEY BY R.D. THOMPSON
• R.D. THOMPSON O.L.S. 1971

IB DROPPED IRON BAR
OT GREEN UNKNOWN
TV TV CABLE BOX
DO DECK/DOOR FRAME
OS DOOR SILL
RW RETAINING WALL

SURVEYORS CERTIFICATE
I, CERTIFY THAT: THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 30th DAY OF MAY, 2019