Memorandum to the City of Markham Committee of Adjustment July 08, 2020

File:A/055/20Address:26 Valloncliffe Road ThornhillApplicant:Arklab Inc. (Babak Ghassemi)Hearing Date:Thursday July 23, 2020

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of the Second Density Special Residential (SR2) zone in By-law 1767, as amended:

1. <u>Section 12(iv)(a) - Setback between existing dwellings:</u>

a minimum front yard setback of (34.94 ft) 10.65 m (basement cold cellar/roofed porch), whereas, the By-law requires that the front yard of a dwelling to be erected between two existing building shall comply with the corresponding yards of the two existing buildings (42.83 ft) 13.05m;

2. Section 14(i)(e) - Rear Yard Setback:

a minimum rear yard setback of 47 ft - 9 1/2 in, whereas, the By-law requires a minimum rear yard setback of 50 ft;

3. Parking By-law 28-97, Section 6.2.4.5 - Provisions for Circular Driveways:

a second driveway of 5.5 metres wide, whereas, the By-law permits only a 3.7 metres wide second driveway;

4. Section 14(i)(d) - Side Yard Setback:

the sum of the width of both side yards shall not be less than 18.0 percent (21.64 ft), whereas, the By-law requires that the sum of the width of both side yards shall not be less than 20 percent (24 ft);

5. Infill By-law 100-90; Section 1.2(iii) – Building Depth:

a maximum building depth of 20.46 metres, whereas, the By-law requires a maximum building depth of 16.8 metres;

6. Amending By-law 100-90; Section 1.2(i) – Building Height:

a maximum building height of 10.75 metres, whereas, the By-law permits a maximum building height of 9.8 metres;

as it relates to a proposed two-storey detached dwelling.

BACKGROUND

Property Description

The 1672.25 m² (18,000.00 ft²) subject property is located on the west side of Valloncliffe Road, north of Steeles Avenue East and east of Bayview Avenue. There is an existing two storey detached dwelling on the property, which according to assessment records was constructed in 1961. The property is located within an established residential neighbourhood comprised of mainly two-storey detached dwellings. The surrounding area is undergoing a transition with newer dwellings being developed as infill developments. Mature vegetation exists across the property.

Proposal

The applicant is proposing to demolish the existing dwelling and construct a new 816.21 m^2 (8786.00 ft²) two storey detached dwelling on the subject property. The proposal also includes a front covered porch and rear yard cabana.

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18) The subject property is designated "Residential Low Rise", which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the 'Residential Low Rise' designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a 'Residential Low Rise' area, including variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new lots within a residential neighbourhood.

Zoning By-Law 1767

The subject property is zoned Second Density Special Residential (SR2) under By-law 1767, as amended, which permits single detached dwellings. The proposed development does not comply with By-law 1767 with respect to minimum front yard setback, minimum rear yard setback, and minimum side yard setback.

Residential Infill Zoning By-law 100-90

The subject property is also subject to the Residential Infill Zoning By-law 100-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to maximum building depth and maximum building height.

Parking Standards By-law 28-97

The proposed secondary suite also does not comply with the standard of the Parking Bylaw 28-97 with respect to the provisions for circular driveways. Further details of the parking requirement is provided in the comment section below.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, *"The current zoning by-law does not allow to achieve a design intent that serves the family needs".*

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) on June 09, 2020 to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Reduction in Front Yard Setback

The applicant is requesting relief to permit a minimum front yard setback of 34.94 ft (10.65 m), whereas the By-law requires a minimum front yard setback of 42.83 ft (13.05 m). This represents a reduction of approximately 7.89 ft (2.4 m). Based on the submitted plans, the variance is entirely attributable to the front covered porch. The main front wall of the building provides a front yard setback of approximately 42.85 ft (13.06 m) and would comply with the requirements of the By-law (see A001 Site Plan, Appendix "B"). Staff are of the opinion the requested variance is minor in nature.

Reduction in Rear Yard Setback

The applicant is requesting relief to permit a minimum rear yard setback of 47.79 ft (14.57 m), whereas the By-law requires a minimum front yard setback of 50 ft (15.24 m). This represents a reduction of approximately 2.2 ft (0.67 m). Staff have no concerns with the proposed rear yard setback reduction.

Increase in Maximum Driveway Width

The applicant initially requested relief from the Parking By-law to permit a second driveway with a maximum width of 5.5 m (18.04 ft), whereas the Parking By-law permits a second driveway with a maximum width of 3.70 m (12.14 ft) for lots with frontages greater than 19.20 m (63 ft). Through discussions with Staff, the applicant has revised their proposal to permit a second driveway with a maximum width of 3.70 m which would comply with the requirements of Parking By-law 28-97. Therefore, this variance request (#3 identified above), is no longer required.

Reduced Side Yard Setback

The applicant is requesting relief to permit a reduced combined side yard setback of 18 percent (21.64 ft), whereas the By-law requires that the sum of the width of both side yards is not less than 20 percent (24 ft). This represents a reduction of approximately 2.36 ft. (0.72 m).

The applicant is proposing a north side yard setback of 3.66 m (12 ft) and a south side yard setback of 2.94 m (9.65 ft). The south side yard setback is taken to the one storey attached garage (see A001 Site Plan Appendix "B"). However, the main two storey portion of the building is setback 9.18 m (30.18 ft) from the side lot line. Given that the majority of the dwelling would comply with the side yard setback requirements in the By-law, it is Staff's opinion that the requested variance is minor in nature and Staff do not anticipate any adverse impacts to the abutting properties.

Increase in Maximum Building Depth

The applicant is requesting relief to permit a maximum building depth of 20.46 m (67.13 ft), whereas the By-law permits a maximum building depth of 16.8 m (55.12 ft). This represents an increase of approximately 3.66 m (12.01 ft).

Building depth is measured based on the shortest distance between two lines, both parallel to the front lot line, one passing though the point on the dwelling which is the

nearest and the other through the point on the dwelling which is the farthest from the front lot line.

The variance includes a front covered porch which adds approximately 1.53 m (5.02 ft) to the overall depth of the building. The main component of the building, excluding the porch, has a depth of 18.93 m (62.11 ft). This is an increase of approximately 2.13 m (6.99 ft) from the requirements of the By-law. Staff are of the opinion that the variance for maximum building depth is comparable to other development in the surrounding area.

Increase in Maximum Building Height

The applicant is requesting relief to permit a maximum building height of 10.75 m (35.27 ft), whereas the By-law permits a maximum building height of 9.8 m (32.15 ft). This represents an increase of 0.95 m (3.12 ft) or 9.70 percent. Staff are of the opinion the proposed increase in building height is comparable to developments in the surrounding area and will not create any significant impacts on neighbouring properties.

PUBLIC INPUT SUMMARY

No written submissions were received as of July 8, 2020. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variances requested meet the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:

Harley Miller

Hailey Miller, Planner, Zoning and Special Projects

REVIEWED BY:

David Miller, Development Manager, West District

- 1. The variances apply only to the proposed development as long as it remains;
- 2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
- 3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
- 4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations;
- 5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:

Houly Miller

Hailey Miller, Planner, Zoning and Special Projects

SITE LOCATION | ZONE R3 NORTH YORK | TORONTO **PROJECT STATISTICS**

SITE AREA	18000 ft ²	1672.25 m ²
LOT FRONTAGE	120' 0''	36.58 m
LOT DEPTH	150' 0''	45.72 m
SETBACKS		
FRONT YARD	42' 10''	13.06 m
REAR YARD	47' 9 ½''	14.75 m
SIDE YARD (EAST)	9' 7 ³ ⁄ ₄ "	2.94 m
SIDE YARD (WEST)	12'0"	3.66 m
PROPOSED DWELLING		
LENGTH	98' 3 ¹ ⁄ ₂ "	29.96 m
WIDTH	53' 4 ¹ ⁄ ₄ "	16.26 m
HEIGHT	34' 1¾''	10.41 m
LOT COVERAGE	4704 ft ² (26.13%)	437 m² (26.13%)
CABANA COVERAGE	113 ft ² (00.62%)	10.49 m² (00.62%)
TOTAL COVERAGE	4817 ft ² (26.76%)	447.51 m² (26.76%)

LOT MEASUREMENTS

FLOOR AREA CALCULATIONS	IMPERIAL	METRIC
FIRST FLOOR	4710 ft ²	437.62 m ²
SECOND FLOOR	4075 ft ²	378.58 m ²
TOTAL GFA	8786 ft ²	816.21 m ²
BASEMENT (NOT INCLUDING MECHANICAL)	4391 ft ²	407.93 m ²
BASEMENT (INCLUDING MECHANICAL)	4473 ft ²	415.52 m ²
GARAGE	1317 ft ²	122.38 m ²
NUMBER OF PARKING SPACES	4	4

ANDSCAPING STATISTICS	IMPERIAL	METRIC
FRONT YARD		
FRONT YARD AREA	5824ft ²	541.06 m ²
DRIVE WAY AREA	1854 ft ²	172.24 m ²
LANDSCAPING AREA	3970 ft ²	368.82 m ²
STEPS, PORCH & WALKWAY AREA	151 ft ²	14.02 m ²
SOFT LANDSCAPING AREA	3819 ft ²	354.79 m ²
REAR YARD		
REAR YARD AREA	6233 ft ²	579.06m ²
AREA OF WALKOUT & STEPS	443 ft ²	41.15 m ²
SOFT LANDSCAPING AREA	5049 ft ²	469 m ²
SIDE YARDS		
SIDE YARD AREA (SOUTH)	888 ft ²	82.49 m ²
SOFT LANDSCAPING AREA (SOUTH)	679 ft ²	63.08 m ²
SIDE YARD AREA (NORTH)	612 ft ²	56.85 m ²
SOFT LANDSCAPING AREA (NORTH)	600 ft ²	55.74 m ²

orking

PROPOSED 2 STOREY DETACHED RESIDENTIAL DEVELOPMENT WITH INTEGRAL GARAGE

26 VALLONCLIFFE ROAD TORONTO, ON L3T 2W8

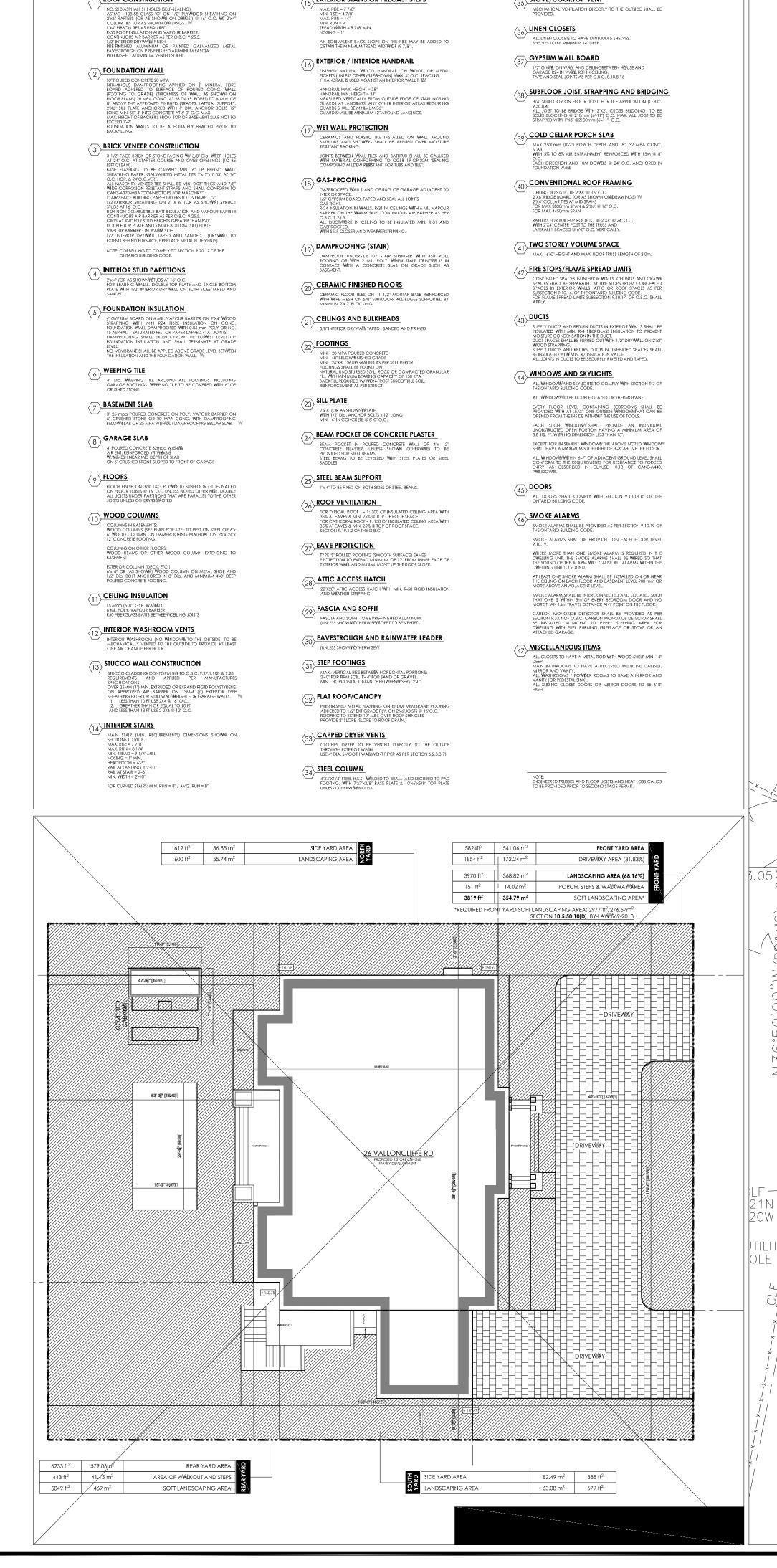
issue date | MAR 13 2020



(647) 290 - 9695 info@arklab.ca

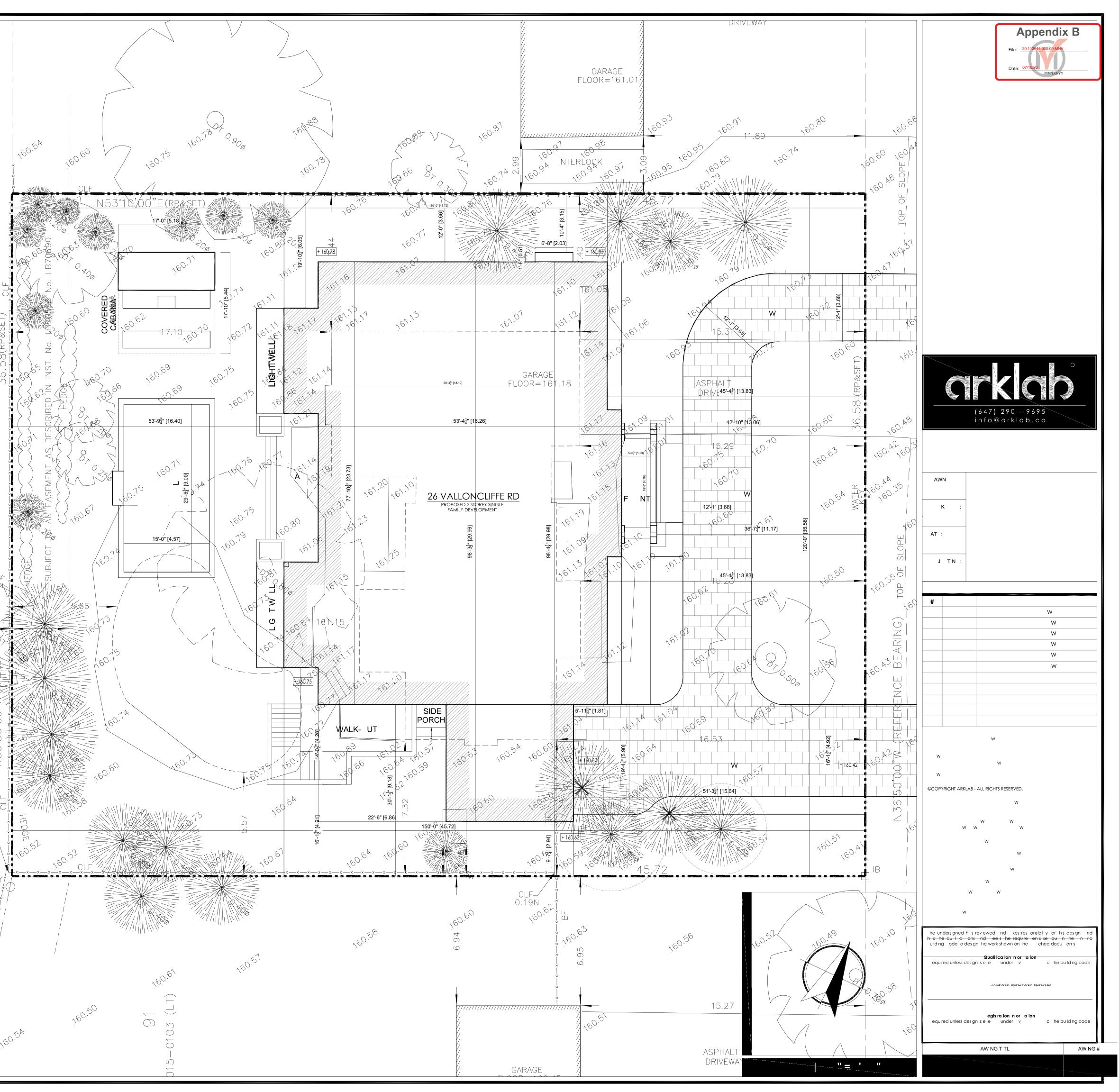
Appendix B

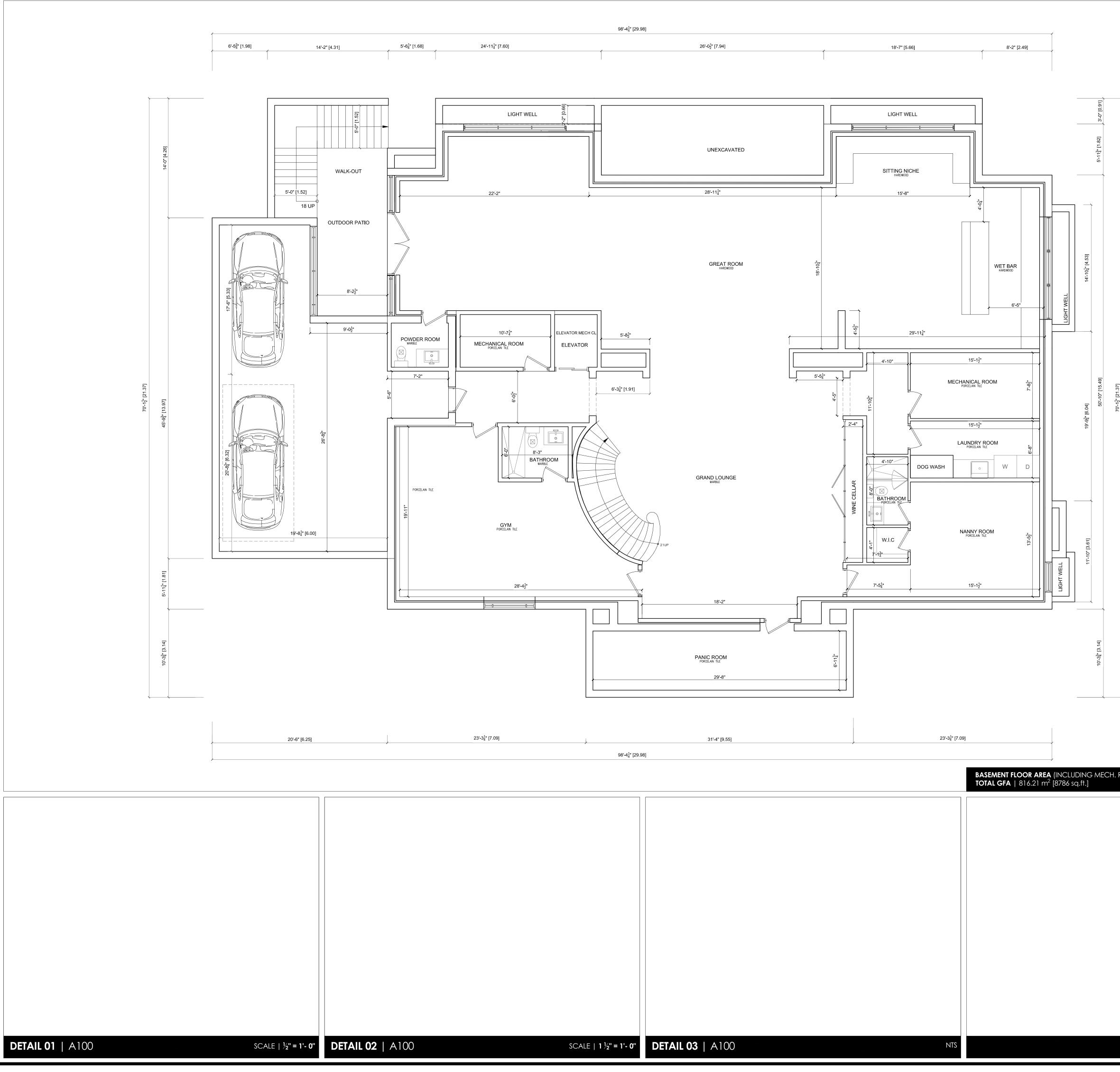
www.arklab.ca



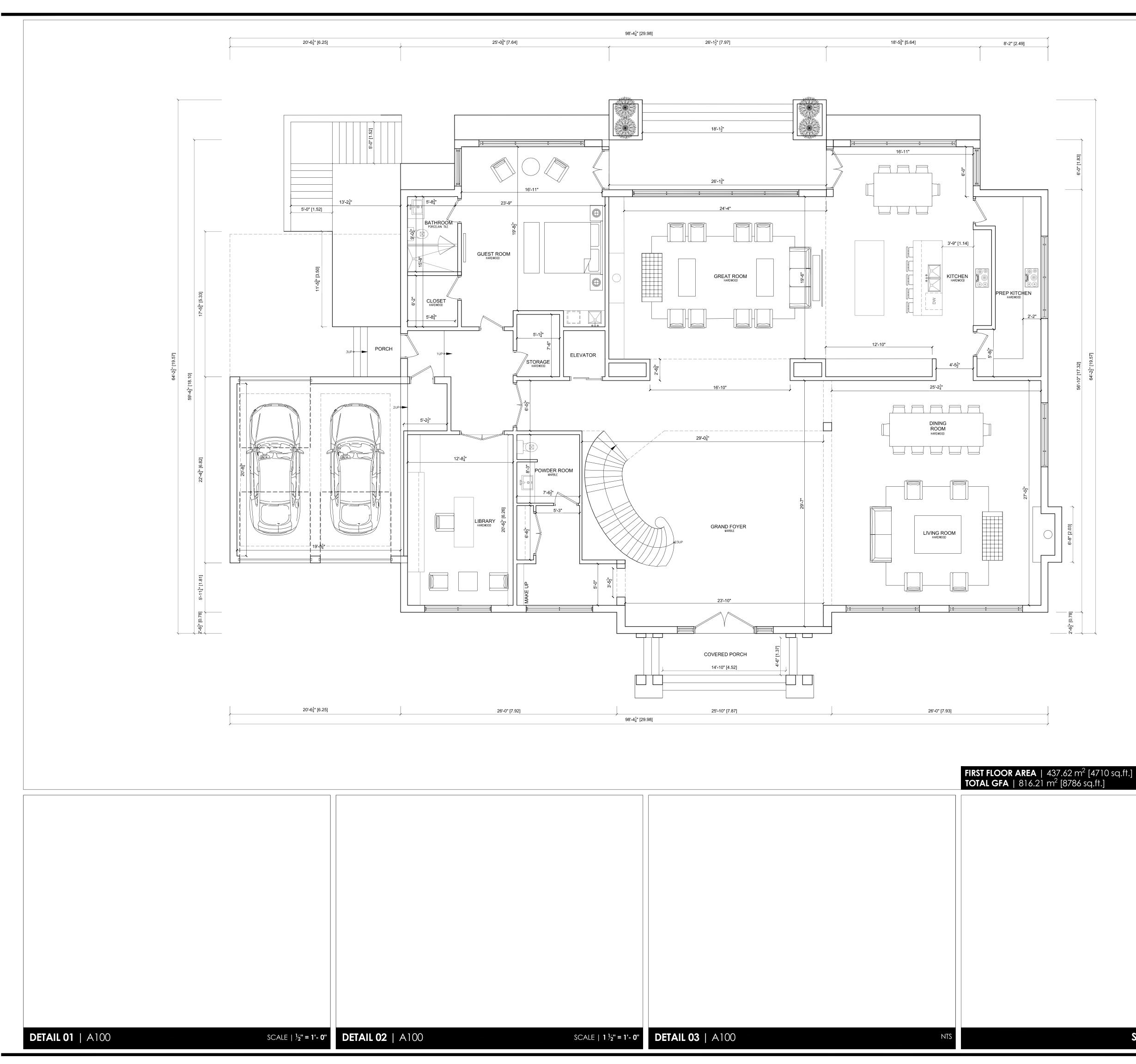
EXTERIOR STAIRS OR PRECAST STEPS

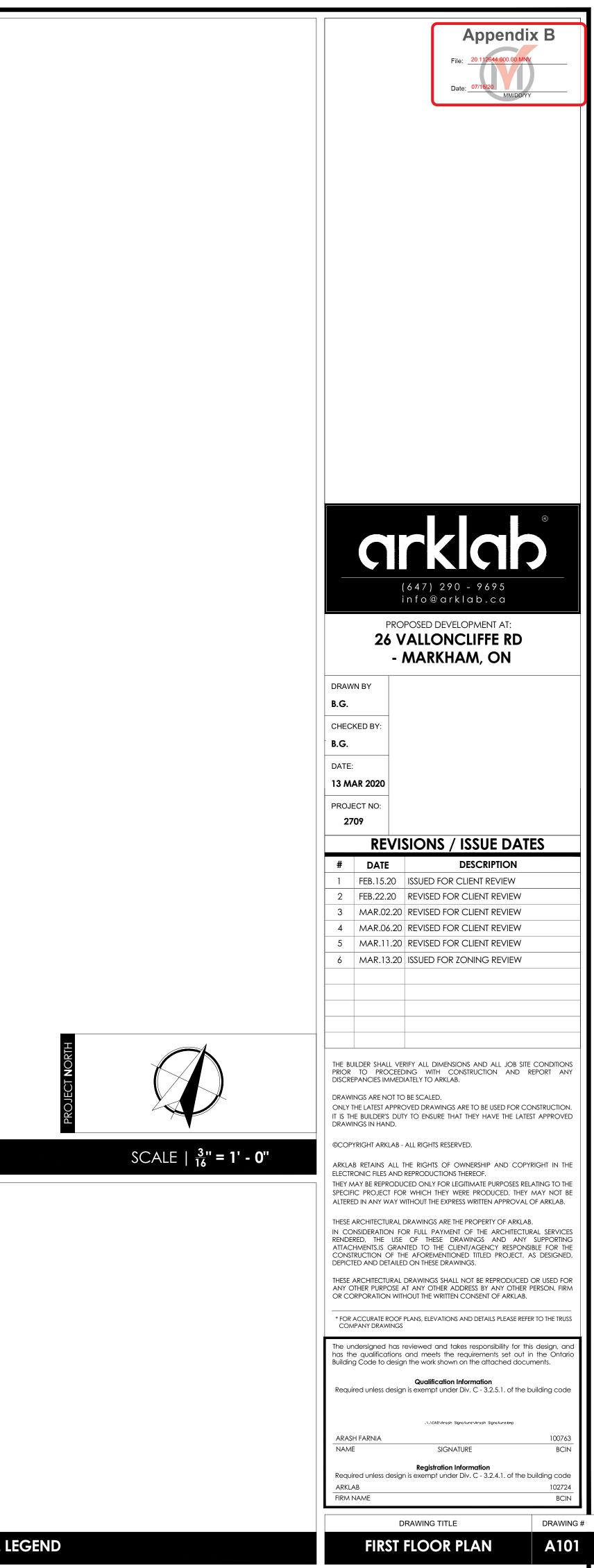
35 STOVE/COOKTOP VENT

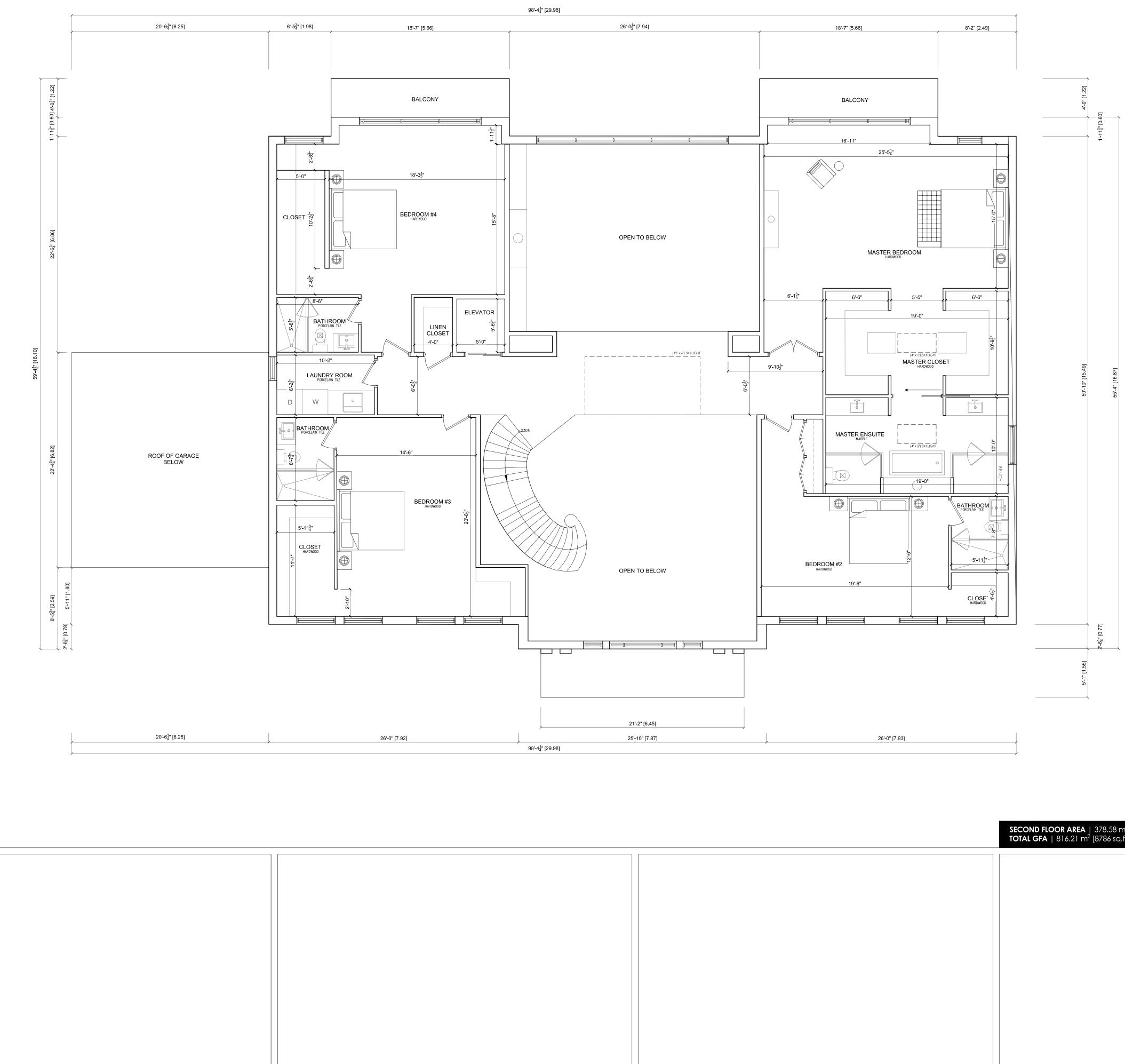




	Appendix B File: 20.112644.000.00.MNV Date: 07/16/20
	(647) 290 - 9695 info@arklab.ca
	26 VALLONCLIFFE RD - MARKHAM, ON
	B.G. CHECKED BY: B.G.
	DATE: 13 MAR 2020 PROJECT NO: 2709
	REVISIONS / ISSUE DATES
	# DATE DESCRIPTION 1 FEB.15.20 ISSUED FOR CLIENT REVIEW
	2FEB.22.20REVISED FOR CLIENT REVIEW3MAR.02.20REVISED FOR CLIENT REVIEW4MAR.06.20REVISED FOR CLIENT REVIEW5MAR.11.20REVISED FOR CLIENT REVIEW6MAR.13.20ISSUED FOR ZONING REVIEW
E	
PROJECT NORTH	THE BUILDER SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO ARKLAB. DRAWINGS ARE NOT TO BE SCALED. ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION. IT IS THE BUILDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.
OOM) $415.55 \text{ m}^2 [4473 \text{ sq.ft.}]$ SCALE $\frac{3}{16}$ " = 1' - 0"	©COPYRIGHT ARKLAB - ALL RIGHTS RESERVED. ARKLAB RETAINS ALL THE RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ELECTRONIC FILES AND REPRODUCTIONS THEREOF. THEY MAY BE REPRODUCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE SPECIFIC PROJECT FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE ALTERED IN ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF ARKLAB.
	THESE ARCHITECTURAL DRAWINGS ARE THE PROPERTY OF ARKLAB. IN CONSIDERATION FOR FULL PAYMENT OF THE ARCHITECTURAL SERVICES RENDERED, THE USE OF THESE DRAWINGS AND ANY SUPPORTING ATTACHMENTS.IS GRANTED TO THE CLIENT/AGENCY RESPONSIBLE FOR THE CONSTRUCTION OF THE AFOREMENTIONED TITLED PROJECT, AS DESIGNED, DEPICTED AND DETAILED ON THESE DRAWINGS.
	THESE ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE AT ANY OTHER ADDRESS BY ANY OTHER PERSON, FIRM OR CORPORATION WITHOUT THE WRITTEN CONSENT OF ARKLAB. FOR ACCURATE ROOF PLANS, ELEVATIONS AND DETAILS PLEASE REFER TO THE TRUSS COMPANY DRAWINGS
	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.
	Qualification Information Required unless design is exempt under Div. C - 3.2.5.1. of the building code
	ARASH FARNIA 100763 NAME SIGNATURE BCIN Registration Information
	Required unless design is exempt under Div. C - 3.2.4.1. of the building code ARKLAB 102724 FIRM NAME BCIN
STRUCTURAL LEGEND	DRAWING TITLE DRAWING # BASEMENT FLOOR PLAN A100





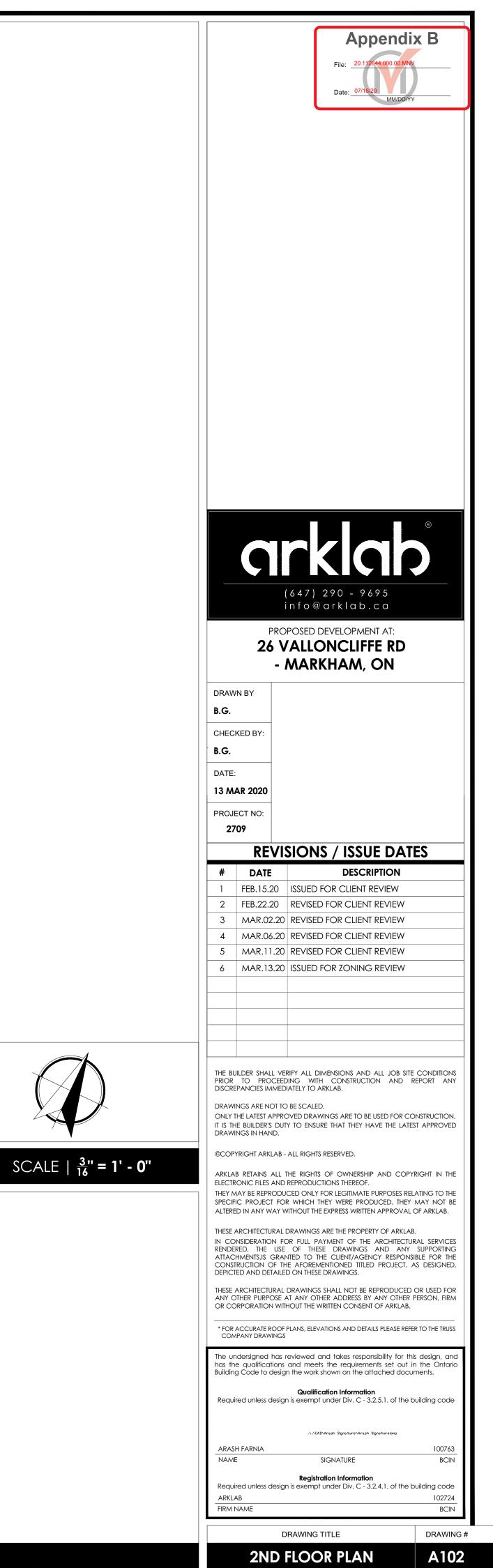


DETAIL 01 | A100

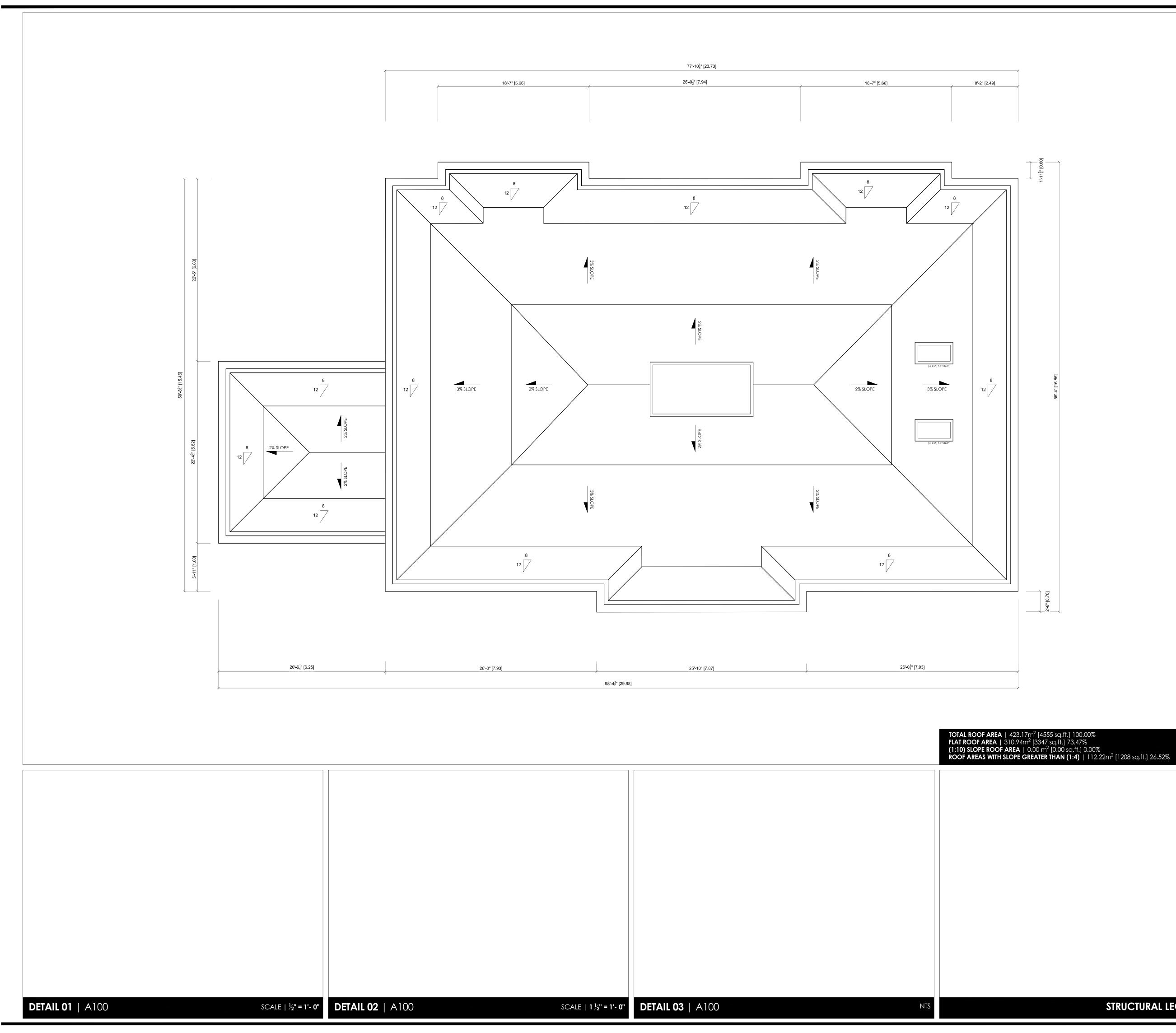
SCALE | ¹/₂" = 1'- 0" **DETAIL 02** | A100

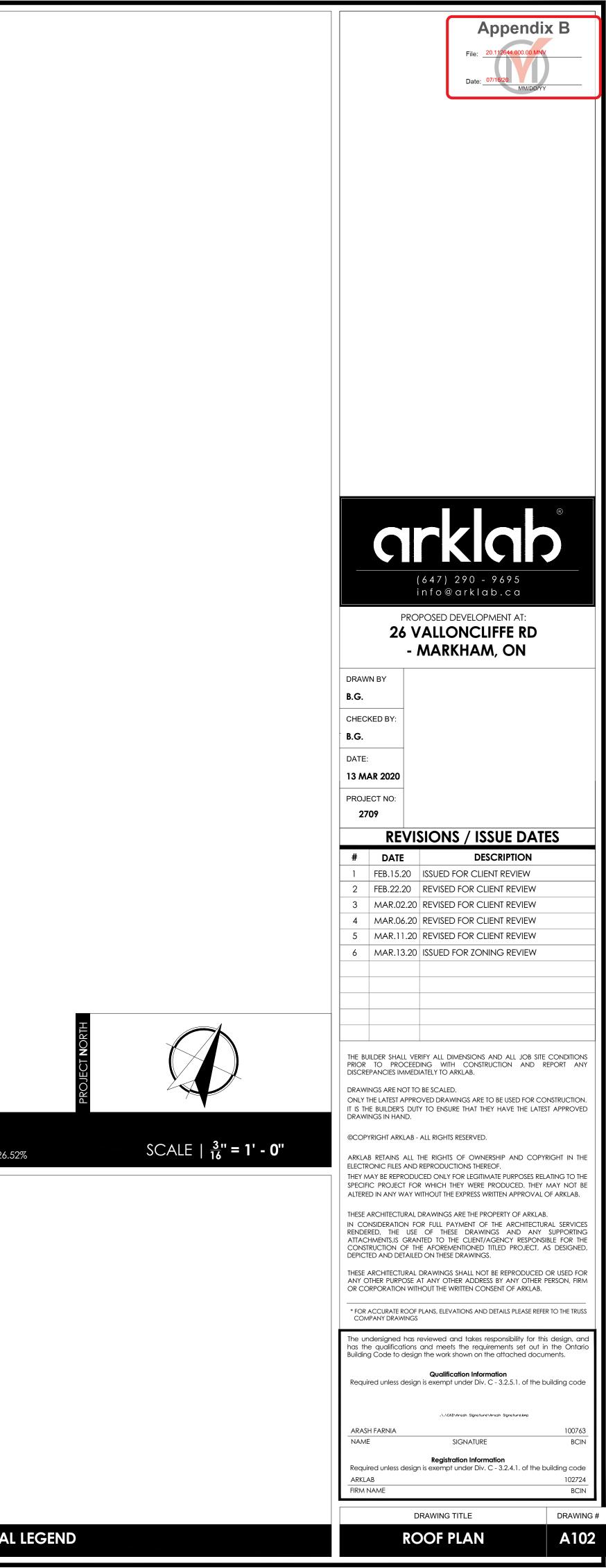
SECOND FLOOR AREA | 378.58 m² [4075 sq.ft.] **TOTAL GFA** | 816.21 m² [8786 sq.ft.] NTS

SCALE | 1¹/₂" = 1'- 0" **DETAIL 03** | A100

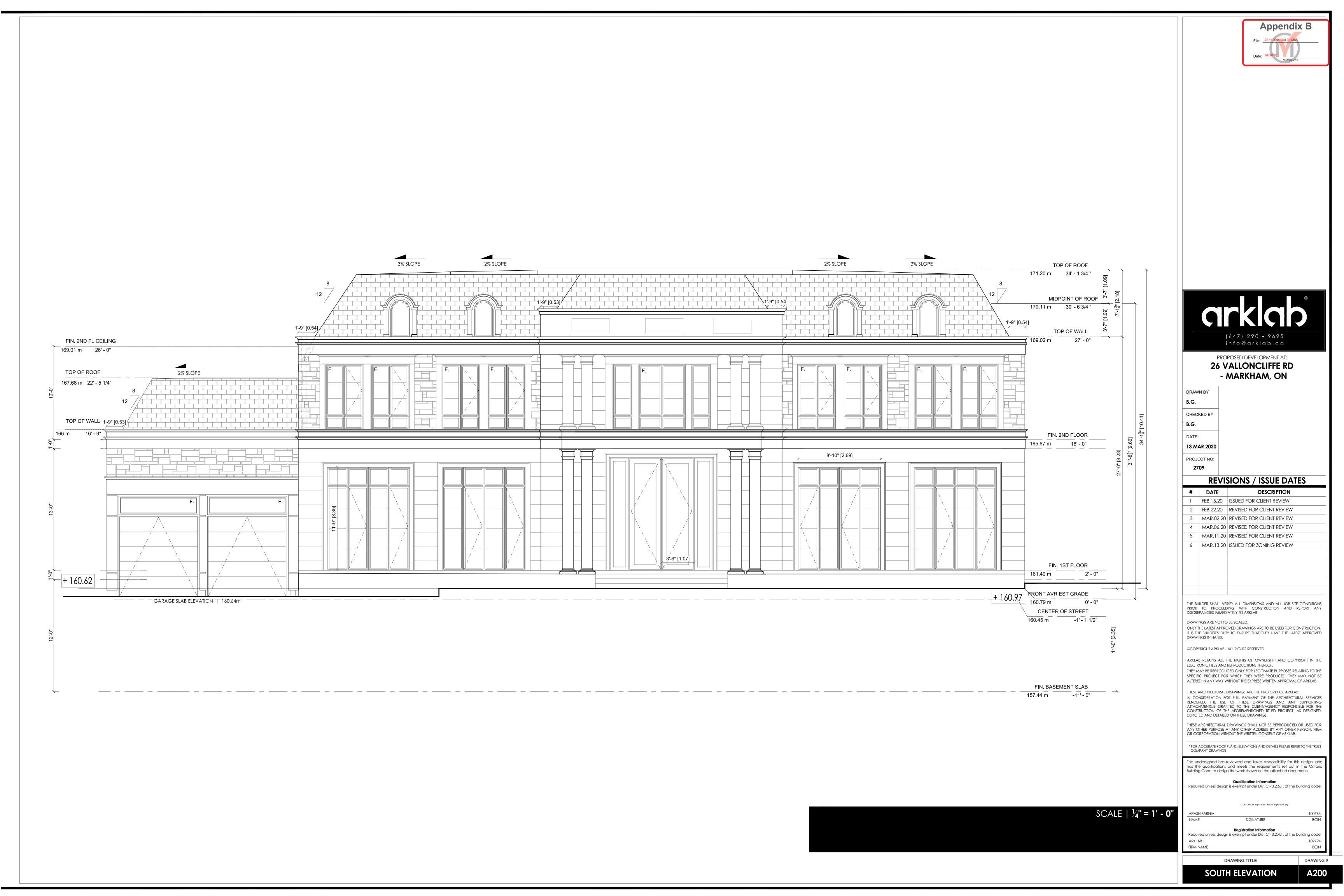






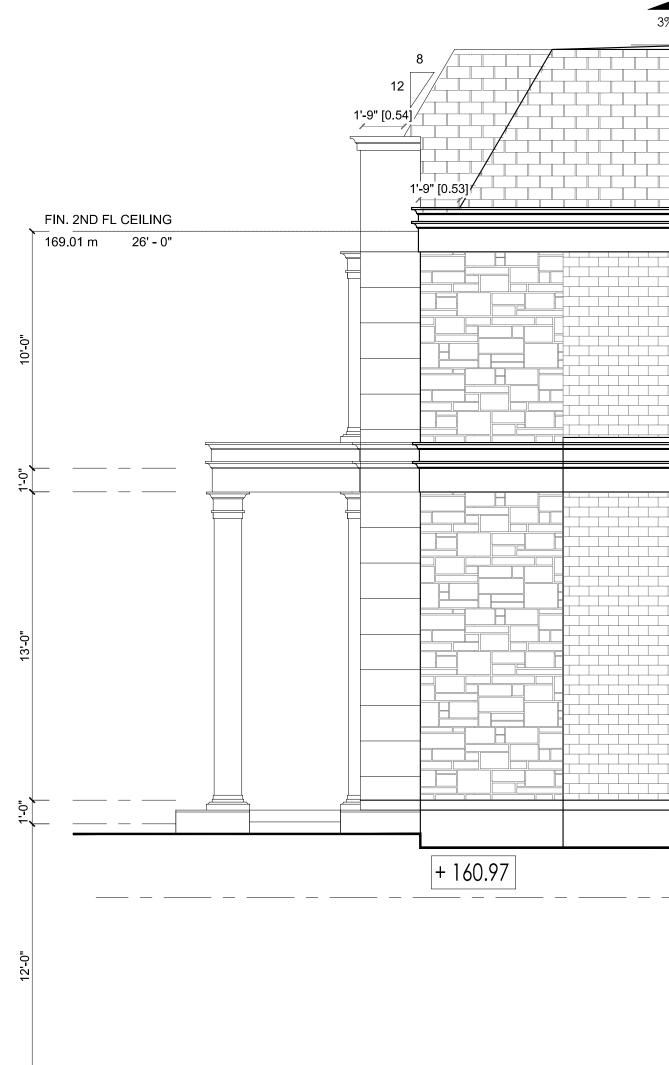


STRUCTURAL LEGEND





			Appendix B File: 20.112644.000.00.MNV Date: 07/16/20 MM/DD/YY
		C	647) 290 - 9695
	2ND FL CEILING 6' - 0" 169.01 m		info@arklab.ca ROPOSED DEVELOPMENT AT: VALLONCLIFFE RD
2% SLOPE 22'-	TOP OF ROOF 5 1/4" 167.68 m		- MARKHAM, ON
1'-9" [0.53]	TOP OF WALL 6' - 9" 166 m	B.G. DATE: 13 MAR 2020	
	 	PROJECT NO: 2709	
F.	13'-0"	# DATE 1 FEB.15.20 2 FEB.22.20 3 MAR.02.1	0 REVISED FOR CLIENT REVIEW 20 REVISED FOR CLIENT REVIEW
		5 MAR.11.	20 REVISED FOR CLIENT REVIEW 20 REVISED FOR CLIENT REVIEW 20 ISSUED FOR ZONING REVIEW
			VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS DEEDING WITH CONSTRUCTION AND REPORT ANY
28]	2'-0"	DISCREPANCIES IMM DRAWINGS ARE NO ONLY THE LATEST AP	AEDIATELY TO ARKLAB. T TO BE SCALED. PROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION. DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED
10-9" [3.28]	12	ARKLAB RETAINS A ELECTRONIC FILES A THEY MAY BE REPRO SPECIFIC PROJECT	AB - ALL RIGHTS RESERVED. LL THE RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ND REPRODUCTIONS THEREOF. DDUCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE Y WITHOUT THE EXPRESS WRITTEN APPROVAL OF ARKLAB.
		IN CONSIDERATION RENDERED, THE L ATTACHMENTS,IS G CONSTRUCTION OF	AL DRAWINGS ARE THE PROPERTY OF ARKLAB. I FOR FULL PAYMENT OF THE ARCHITECTURAL SERVICES JSE OF THESE DRAWINGS AND ANY SUPPORTING RANTED TO THE CLIENT/AGENCY RESPONSIBLE FOR THE THE AFOREMENTIONED TITLED PROJECT, AS DESIGNED, AULED ON THESE DRAWINGS.
		ANY OTHER PURPOS OR CORPORATION	AL DRAWINGS SHALL NOT BE REPRODUCED OR USED FOR SE AT ANY OTHER ADDRESS BY ANY OTHER PERSON, FIRM WITHOUT THE WRITTEN CONSENT OF ARKLAB.
		The undersigned h has the qualification Building Code to de	as reviewed and takes responsibility for this design, and ons and meets the requirements set out in the Ontario asign the work shown on the attached documents. Qualification Information asign is exempt under Div. C - 3.2.5.1. of the building code
	SCALE ½" = 1	ARASH FARNIA	-\-\CAD\Arash Signature\Arash Signaturekop 100763 SIGNATURE BCIN Registration Information
		Required unless de ARKLAB FIRM NAME	Registration Information ssign is exempt under Div. C - 3.2.4.1. of the building code 102724 BCIN DRAWING TITLE DRAWING #
		NOR	TH ELEVATION A201

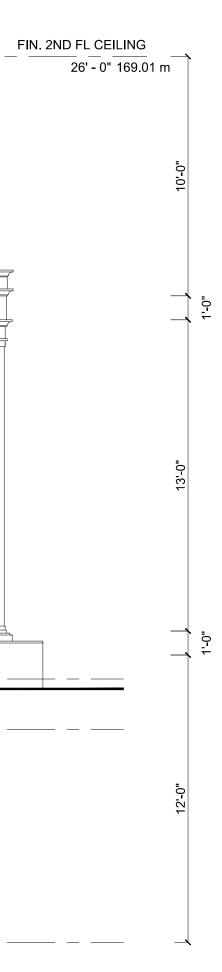


3% SLOPE 2% SLOPE	2% SLOPE 3% SLOPE	
		170 1'-9" [0.54] 1'-9" [0.53]
		+ 160.78

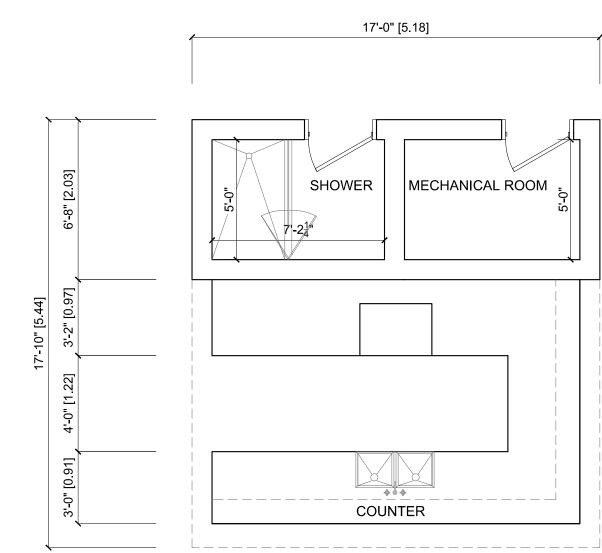
	Date: 07/16/20
3% SLOPE 2% SLOPE 3% SLOPE 3% SLOPE 2% SLOPE 3% SLOPE 171.20 m 3% SLOPE 12	sinklab
1'-9" [0.53] 1'-9" [0.53] 1'-9" [0.53] 169.02 m 27'-0"	(647) 290 - 9695 info@arklab.ca PROPOSED DEVELOPMENT AT: 26 VALLONCLIFFE RD
DRAWN BY B.G. DRAWN BY B.B. DRAWN BY B.B. DR	
FIN. 2ND FLOOR 165.67 m	
	3.22.20 REVISED FOR CLIENT REVIEW AR.02.20 REVISED FOR CLIENT REVIEW AR.06.20 REVISED FOR CLIENT REVIEW AR.11.20 REVISED FOR CLIENT REVIEW AR.13.20 ISSUED FOR ZONING REVIEW
1 1 00.7 0 PRIOR TO	R SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PROCEEDING WITH CONSTRUCTION AND REPORT ANY CIES IMMEDIATELY TO ARKLAB.
160.45 m -1' - 1 1/2" 160.45 m -1' - 1 1/2" DRAWINGS AN COLUMN THE LAT IT IS THE BUILD DRAWINGS IN COLUMN THE LAT IT IS THE BUILD DRAWINGS IN COLUMN THE LAT IT IS THE BUILD DRAWINGS AN COLUMN THE LAT IT IS THE BUILD DRAWINGS AN COLUMN THE LAT IT IS THE BUILD DRAWINGS AN COLUMN THE LAT TO ALL ALL ALL ALL ALL ALL ALL ALL ALL AL	ARE NOT TO BE SCALED. ATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION. LDER'S DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED IN HAND. AT ARKLAB - ALL RIGHTS RESERVED.
FIN. BASEMENT SLAB	CFILES AND REPRODUCTIONS THEREOF. E REPRODUCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE ROJECT FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF ARKLAB. HIECTURAL DRAWINGS ARE THE PROPERTY OF ARKLAB. ERATION FOR FULL PAYMENT OF THE ARCHITECTURAL SERVICES THE USE OF THESE DRAWINGS AND ANY SUPPORTING HIS, IS GRANTED TO THE CLIENT/AGENCY RESPONSIBLE FOR THE ION OF THE AFOREMENTIONED TITLED PROJECT, AS DESIGNED,
DEPICIED AND THESE ARCHIT ANY OTHER OF COMPANY D	ITECTURAL DRAWINGS SHALL NOT BE REPRODUCED OR USED FOR PURPOSE AT ANY OTHER ADDRESS BY ANY OTHER PERSON, FIRM RATION WITHOUT THE WRITTEN CONSENT OF ARKLAB.
has the qual Building Code Required uni	alifications and meets the requirements set out in the Ontario de to design the work shown on the attached documents. Qualification Information nless design is exempt under Div. C - 3.2.5.1, of the building code
SCALE ¹ / ₄ " = 1' - 0" Required uni ARASH FARN Required uni ARKLAB FIRM NAME	SIGNATURE BCIN Registration Information nless design is exempt under Div. C - 3.2.4.1. of the building code 102724



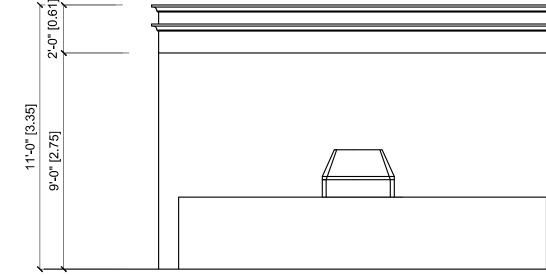
		Appendix B File: 20.112644.000.00.MNV Date: 07/16/20
		®
		rzah
		(647) 290 - 9695 info@arklab.ca
	-	VALLONCLIFFE RD - MARKHAM, ON
DRAW	'N BY	
B.G.	KED BY:	
B.G.	ALD DT.	
DATE:	AR 2020	
	ECT NO:	
27	09	
	סרו	
#		VISIONS / ISSUE DATES DESCRIPTION
1	DATE FEB.15.20	DESCRIPTION DISSUED FOR CLIENT REVIEW
1 2 3	DATE FEB.15.20 FEB.22.20 MAR.02.2	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 REVISED FOR CLIENT REVIEW
1	DATE FEB.15.20 FEB.22.20	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 REVISED FOR CLIENT REVIEW 20 REVISED FOR CLIENT REVIEW
1 2 3 4	DATE FEB.15.20 FEB.22.20 MAR.02.1 MAR.06.1	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 REVISED FOR CLIENT REVIEW 20 REVISED FOR CLIENT REVIEW
1 2 3 4 5	DATE FEB.15.20 FEB.22.20 MAR.02.1 MAR.06.1	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 REVISED FOR CLIENT REVIEW
1 2 3 4 5	DATE FEB.15.20 FEB.22.20 MAR.02.1 MAR.06.1	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 REVISED FOR CLIENT REVIEW
1 2 3 4 5 6	DATE FEB.15.20 FEB.22.20 MAR.02.2 MAR.06.2 MAR.11.2 MAR.11.2	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 REVISED FOR CLIENT REVIEW
1 2 3 4 5 6 7 7 6	DATE FEB.15.20 FEB.22.20 MAR.06.2 MAR.06.2 MAR.11.2 MAR.13.2 MAR.13.2 ILDER SHALL TO PROC PANCIES IMM NGS ARE NOT HE LATEST AP IE BUILDER'S I	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 ISSUED FOR CLIENT REVIEW 20 ISSUED FOR ZONING REVIEW 21 ISSUED FOR ZONING REVIEW 22 ISSUED FOR ZONING REVIEW 23 ISSUED FOR ZONING REVIEW 24 ISSUE FOR ZONING REVIEW 25 ISSUE FOR ZONING REVIEW 26 ISSUE FOR ZONING REVIEW </td
1 2 3 4 5 6 7 7 6	DATE FEB.15.20 FEB.22.20 MAR.02.1 MAR.06.1 MAR.11.1 MAR.13.1 MAR.13.1	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 ISSUED FOR CLIENT REVIEW 20 ISSUED FOR ZONING REVIEW 21 ISSUED FOR ZONING REVIEW 22 ISSUED FOR ZONING REVIEW 23 ISSUED FOR ZONING REVIEW 24 ISSUE FOR ZONING REVIEW 25 ISSUE FOR ZONING REVIEW 26 ISSUE FOR ZONING REVIEW </td
1 2 3 4 5 6 7 7 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	DATE FEB.15.20 FEB.22.20 MAR.02.1 MAR.06.1 MAR.06.1 MAR.11.1 MAR.13.1 MAR.1	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 ISSUED FOR ZONING REVIEW 21 ISSUED FOR ZONING REVIEW 22 ISSUED FOR ZONING REVIEW 23 ISSUED FOR ZONING REVIEW 24 ISSUE PORT AND ALL JOB SITE CONDITIONS AND ALL JOB SITE C
1 2 3 4 5 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	DATE FEB.15.20 FEB.22.20 MAR.02.2 MAR.06.2 MAR.06.2 MAR.06.2 MAR.06.2 MAR.05 MAR.11.2 MAR.11.	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 REVISED FOR ZONING REVIEW 20 ISSUED FOR ZONING REVIEW 20 ISSUED FOR SONING REVIEW 20 ISSUED FOR SONING REVIEW 20 ISSUED FOR TONING REVIEW 20 ISSUED FOR SONING REVIEW 20 ISSUED FOR CONSTRUCTION SONG REVIEW 21 ISSUED FOR TONING REVIEW 22 ISSUED FOR TONING REVIEW 23 ISSUED FOR TONING REVIEW 24 ISSUED FOR TONING REVIEW 25 ISSUED FOR TON TONE REVIEW 26 ISSUED FOR TONE REVIEW 27 ISSUED FOR TONE REVIEW 28 ALL RIGHTS RESERVED. 21 THE RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE NO REPRODUCTIONS THEREOF. 29 ONLOCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE
1 2 3 4 5 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	DATE FEB.15.20 FEB.22.20 MAR.02.1 MAR.06.1 MAR.06.1 MAR.11.1 MAR.11.1 MAR.11.1 MAR.13.1 MAR.14.1 MAR.1	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 REVISED FOR ZONING REVIEW 20 ISSUED FOR REVIEW 20 ISSUED FOR ZONING REVIEW 21 ISSUED FOR ZONING REVIEW 22 ISSUED FOR ZONING REVIEW 23 ISSUED FOR ZONING REVIEW 24 ISSUED FOR ZONING REVIEW 25 ITH CONSTRUCTION AND REPORT OF THE ARCHITECTURAL SERVICES JZE OR THESE DRAWINGS AND ANY SUPPORTING RANTED TO THE CLIENT/AGENCY RESPONSIBLE FOR THE
1 2 3 4 5 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	DATE FEB.15.20 FEB.22.20 MAR.02.1 MAR.06.1 MAR.06.1 MAR.06.1 MAR.11.1 MAR.13.1 MAR.1	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW Q ISSUED FOR ZONING REVIEW VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS EEDING WITH CONSTRUCTION AND REPORT ANY AEDIATELY TO ARKLAB. TO BE SCALED. Reviewings ARE TO BE USED FOR CONSTRUCTION. DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED D. DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED D. AL R
1 2 3 4 5 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	DATE FEB.15.20 FEB.22.20 MAR.02.2 MAR.02.2 MAR.06.2 MAR.06.2 MAR.06.2 MAR.11.2	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW Q ISSUED FOR ZONING REVIEW VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS EEDING WITH CONSTRUCTION AND REPORT ANY AEDIATELY TO ARKLAB. TO BE SCALED. Reviewings ARE TO BE USED FOR CONSTRUCTION. DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED D. DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED D. AL R
1 2 3 4 5 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	DATE FEB.15.20 FEB.22.20 MAR.02.2 MAR.02.2 MAR.06.2 MAR.06.2 MAR.11.2 MAR.11.2 MAR.13.2	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 ISSUED FOR ZONING REVIEW 20 ISSUED FOR ZONING REVIEW 20 ISSUED FOR ZONING REVIEW 21 ISSUED FOR ZONING REVIEW 22 ISSUED FOR ZONING REVIEW 23 ISSUED FOR ZONING REVIEW 24 ISSUED FOR ZONING REVIEW 25 ISSUED FOR ZONING REVIEW 26 ISSUED FOR ZONING REVIEW 27 ISSUED FOR ZONING REVIEW 28 ISSUED FOR ZONSTRUCTION AND REPORT ANY REDITIONS REPORT ANY REDITIONS TO ARKLAB. 29 ISSUED FOR CLIENT HEY HAVE THE LATEST APPROVED IN THE ND REPRODUCTIONS THEREOF. 200 ISSUED FOR LEGITIMATE PURPOSES RELATING TO THE FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE Y WITHOUT THE EXPRESS WRITTEN APPROVAL OF ARKLAB. 20 FOR FULL PAYMENT OF
1 2 3 4 5 6 7 7 7 8 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	DATE FEB.15.20 FEB.22.20 MAR.02.2 MAR.06 MAR.06 MAR.	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 ISSUED FOR ZONING REVIEW 21 ISSUED FOR ZONING REVIEW 22 ISSUED FOR ZONING REVIEW 23 ISSUED FOR ZONING REVIEW 24 ISSUED FOR ZONING REVIEW 25 ISSUED FOR CONSTRUCTION AND REPORT ANY ADVENT ANY ADVENT ANY ANY ANY ANY ADVENT AN
1 2 3 4 5 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	DATE FEB.15.20 FEB.22.20 MAR.02.2 MAR.02.2 MAR.06.2 MAR.06.2 MAR.06.2 MAR.11.2 MAR.12 MAR.11.2	DESCRIPTION DISUED FOR CLIENT REVIEW DISUED FOR CLIENT REVIEW DIREVISED FOR ZONING REVIEW DIREVISED FOR CONSTRUCTION AND REPORT ANY REDURTED WITH CONSTRUCTION AND REPORT ANY REDURTED ARWINGS ARE TO BE USED FOR CONSTRUCTION. DUIT TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION. DUIT TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS ARE TO PUPOSES RELATING TO THE FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE YOUTHOR THEY PROVAL OF ARKLAB. LIL THE RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE NO REPRODUCTIONS THEREOF. DUICED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE FOR WHICH THEY WREEN PRODUCED. THEY MAY NOT BE YOUTHER PRODUCED ONLY FOR LEGITIMATE PURPOSES RELATING THEY AND NOT BE YOUTHER APPROVAL OF ARKLAB. IF OR FULL PAYMENT OF THE ARCHITECTURAL SERVICES ISE OF THESE DRAWINGS AND ANY SUPPORTING RANTED TO THE EXPRESIONSIBLE FOR THEY MAY DET ADDRESS BY ANY OTHER PROSON, FIRM WITHO
1 2 3 4 5 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	DATE FEB.15.20 FEB.22.20 MAR.02.2 MAR.02.2 MAR.06.2 MAR.06.2 MAR.06.2 MAR.11.2 MAR.12 MAR.11.2	DESCRIPTION D ISSUED FOR CLIENT REVIEW D REVISED FOR CLIENT REVIEW 20 ISSUED FOR ZONING REVIEW 21 ISSUED FOR ZONING REVIEW 22 ISSUED FOR ZONING REVIEW 23 ISSUED FOR ZONING REVIEW 24 ISSUED FOR ZONING REVIEW 25 ISSUED FOR ZONING REVIEW 26 ISSUED FOR ZONING REVIEW 27 ISSUED AND ALL JOB SITE CONDITIONS REPORT ANY AND REPORT ANY NOT BE TO AWINGS ARE THE PROPERTY OF ARKLAB. 28 - ALL RIGHTS RESERVED. 29 VITHOUT THE EXPRESS WRITTEN APPROVAL OF ARKLAB. 20 FOR FULL PAYMENT OF THE ARCHITECTURAL SERVICES ISE OF THESE DRAWINGS. AND ANY SUPPORTING RAWINGS SHALL NOT BE REPRODUCED OR USED FOR SET ANY OTHER DERSENSIBLE AND OTHER PERSON, FIRM WITHOUT THE WRITTEN CONSENT OF ARKLAB.



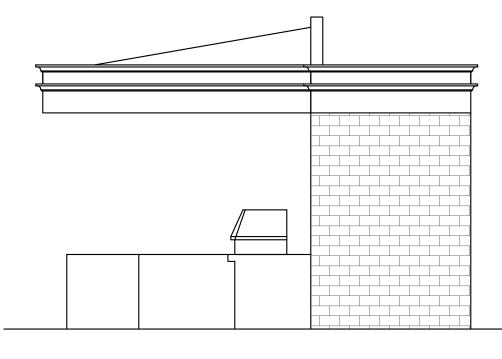
SCA	LE	¹ ⁄4"	l' _ (
		∕ 4	- (



FRONT ELEVATION

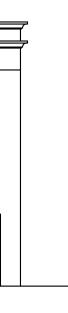


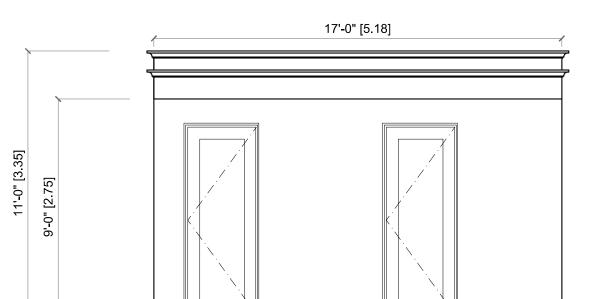
NORTH ELEVATION



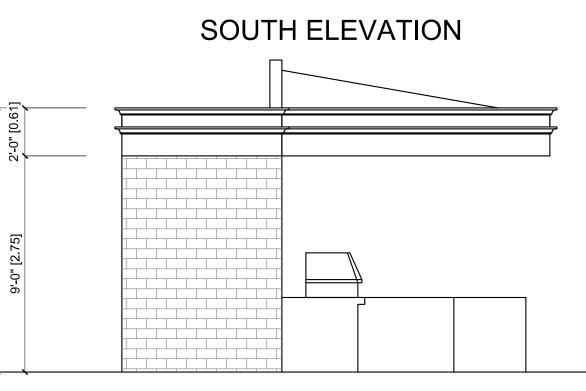


- LINE OF CANOPY ABOVE





REAR ELEVATION



2

		Appendix B File: 20.112644.000.00.MNV Date: 07/16/20
		®
	9	irkiab
		(647) 290 - 9695 info@arklab.ca
		ROPOSED DEVELOPMENT AT: VALLONCLIFFE RD
	-	- MARKHAM, ON
DRAW B.G.	'N BY	
CHECI B.G.	KED BY:	
DATE:		
	AR 2020 ECT NO:	
27	00	
21		VISIONS / ISSUE DATES
2 7 # 1		VISIONS / ISSUE DATES DESCRIPTION O ISSUED FOR CLIENT REVIEW
#	RE\ DATE	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW
# 1 2	RE\ DATE FEB.15.20 FEB.22.20 MAR.02. MAR.06.	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW .20 REVISED FOR CLIENT REVIEW
# 1 2 3 4	RE DATE FEB.15.20 FEB.22.20 MAR.02. MAR.06. MAR.11.	DESCRIPTION0ISSUED FOR CLIENT REVIEW0REVISED FOR CLIENT REVIEW.20REVISED FOR CLIENT REVIEW.20REVISED FOR CLIENT REVIEW
# 1 2 3 4 5	RE DATE FEB.15.20 FEB.22.20 MAR.02. MAR.06. MAR.11.	DESCRIPTION0ISSUED FOR CLIENT REVIEW0REVISED FOR CLIENT REVIEW.20REVISED FOR CLIENT REVIEW.20REVISED FOR CLIENT REVIEW.20REVISED FOR CLIENT REVIEW
# 1 2 3 4 5 6	RE DATE FEB.15.24 FEB.22.24 MAR.02. MAR.06. MAR.11. MAR.13.	DESCRIPTION0ISSUED FOR CLIENT REVIEW0REVISED FOR CLIENT REVIEW.20REVISED FOR CLIENT REVIEW.20REVISED FOR CLIENT REVIEW.20REVISED FOR CLIENT REVIEW
# 1 2 3 4 5 6 THE BU PRIOR DISCRE	REN DATE FEB.15.20 FEB.22.20 MAR.02. MAR.06. MAR.11. MAR.13.	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW 20 ISSUED FOR CLIENT REVIEW 20 ISSUED FOR ZONING REVIEW 20 ISSUED FOR ZONING REVIEW
# 1 2 3 4 5 6 THE BU PRIOR DISCRE DRAWI ONLY T IT IS TH	REN DATE FEB.15.20 FEB.22.20 MAR.02. MAR.06. MAR.11. MAR.13.	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW .20 ISSUED FOR ZONING AND ALL JOB SITE CONDITIONS CEEDING WITH CONSTRUCTION AND REPORT ANY MEDIATELY TO ARKLAB. .21 IO BE SCALED. .22 PROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION. .23 DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED
# 1 2 3 4 5 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	REN DATE FEB.15.20 FEB.22.20 MAR.02. MAR.06. MAR.11. MAR.13. MAR.13.	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW 20 ISSUED FOR ZONING AND ALL JOB SITE CONDITIONS DEEDING WITH CONSTRUCTION AND REPORT ANY WEDIATELY TO ARKLAB. 20 IT TO BE SCALED. 20 PROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION. DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED D. AB - ALL RIGHTS RESERVED. ALL THE RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE
# 1 2 3 4 5 6 7 7 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	REN DATE FEB.15.20 FEB.22.20 MAR.02. MAR.06. MAR.11. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.14. MAR.13. MAR.14. M	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW 20 ISSUED FOR ZONING AND ALL JOB SITE CONDITIONS CEEDING WITH CONSTRUCTION AND REPORT ANY WEDIATELY TO ARKLAB. 20 IT TO BE SCALED. 20 PPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION. DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED D. AB - ALL RIGHTS RESERVED. AB - ALL RIGHTS RESERVED.
# 1 2 3 4 5 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	REN DATE FEB.15.24 FEB.22.24 MAR.02. MAR.06. MAR.06. MAR.11. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.14. M	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW .20 ISSUED FOR ZONING AND ALL JOB SITE CONDITIONS CEEDING WITH CONSTRUCTION AND REPORT ANY MEDIATELY TO ARKLAB. .21 ID OB SCALED. .22 PROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION. DUTY TO ENSURE THAT THEY HAVE THE LATEST APPROVED D. .24 AB - ALL RIGHTS RESERVED. .24 <t< td=""></t<>
# 1 2 3 4 5 6 THE BU PRIOR DISCRE DRAWI ONLY T IT IS TH DRAWI ONLY T IT IS TH DRAWI ©COP ¹⁰ ARKLAI ELECTR THEY M SPECIFI ALTERE THESE A IN CO RENDEI ATTACL CONST DEPICT	REN DATE FEB.15.20 FEB.22.20 MAR.02. MAR.02. MAR.03. MAR.03. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.14. MAR.14. MAR.14. MAR.13. MAR.14. M	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW 20 ISSUED FOR ZONING REVIEW 21 ISSUED FOR ZONING REVIEW 22 ISSUED FOR ZONING REVIEW 23 ISSUED FOR ZONING REVIEW 24 IDMENSIONS AND ALL JOB SITE CONDITIONS THEROP 25 IDAWINGS ARE TO BE USED FOR CONSTRUCTION. DUTY TO ARKLAB. 26 INTHOUT THE EXPRESS WRITTEN APPROVA
# 1 2 3 4 5 6 THE BU PRIOR DISCRE DRAWI ONLY T IT IS TH DRAWI ONLY T IT IS TH DRAWI ONLY T IT IS TH DRAWI ONLY T THESE / ANTACL CONST DEPICT THESE / ANY O	REN DATE FEB.15.24 FEB.22.24 MAR.02. MAR.02. MAR.06. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.14. MAR.13. MAR.14. MAR.13. MAR.14. MAR.13. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.14. MAR.15. MAR.14. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.14. MAR.15. MAR.14. MAR.14. MAR.14. MAR.15. MAR.14. M	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW 20 REVISED FOR ZONING REVIEW 20 ISSUED FOR ZONING REVIEW 21 ISSUED FOR ZONING REVIEW 22 ISSUED FOR ZONING REVIEW 23 ISSUED FOR ZONING REVIEW 24 ISSUED FOR ZONING REVIEW 25 ISSUED FOR ZONING REVIEW 26 ISSUED FOR SULPORTING REVIEW 27 ISS
# 1 2 3 4 5 6 THE BU PRIOR DISCRE DRAWI ONLY T IT IS TH DRAWI ©COP ¹ ARKLAI ELECTR THEY M SPECIFI ALTERE THESE / ANY O OR CO THESE / ANY O OR CO * FOR / COM	REN DATE FEB.15.24 FEB.22.24 MAR.02. MAR.02. MAR.06. MAR.06. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.14. MAR.13. MAR.13. MAR.13. MAR.14. MAR.14. MAR.13. MAR.14. MAR.14. MAR.15. MAR.14. M	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW .20 ISSUED FOR ZONING REVIEW .21 ISSUED FOR ZONING REVIEW .22 ISSUED FOR ZONING REVIEW .22 ISSUED FOR ZONING REVIEW .23 ICT ARLAB. .24 IT O ARKLAB. .25 ICT ANVINGS
# 1 2 3 4 5 6 THE BU PRIOR DRAWI ONLY T IT IS THE BU PRIOR DRAWI ©COP* ARKLAN ELECTR THESE / ALTERE THESE / ANY O OR CC * FOR. The ur has the	REN DATE FEB.15.24 FEB.22.24 MAR.02. MAR.02. MAR.03. MAR.04. MAR.03. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.14. MAR.14. MAR.13. MAR.14. MAR.14. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.14. MAR.14. MAR.15. MAR.14. M	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW 20 REVISED FOR ZONING REVIEW 20 ISSUED FOR ZONING REVIEW 21 Image: State
# 1 2 3 4 5 6 THE BU PRIOR DISCRE DRAWI ONLY T IT IS TH DRAWI ONLY T THESE / ARKLAU ELECTR THESE / ANY OC COMST THESE / ANY OC COMST THESE / ANY OC COMST THESE / ANY OC COMST THESE / ANY OC COMST THE UT	REN DATE FEB.15.24 FEB.22.24 MAR.02. MAR.02. MAR.04. MAR.03. MAR.04. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.14. MAR.14. MAR.14. MAR.13. MAR.14. M	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW .20 REVISED FOR ZONING REVIEW .20 ISSUED FOR ZONING REVIEW .21 .22 .22 ISSUED FOR ZONING REVIEW .20 ISSUED FOR ZONING REVIEW .20 ISSUED FOR ZONING REVIEW .21 .22 .22 ISSUED FOR CLIENT REVIEW .20 ISSUED FOR ZONING REVIEW .20 .23 .21 .24 .22 .25 .23 .24
# 1 2 3 4 5 6 THE BU PRIOR DRAWI ONLY T IT IS THE DRAWI ONLY T THE SU PRIOR DRAWI ONLY T THE SU PROR DRAWI ©COP* ARKLAH ELECTR THESE / ANY CO CONST THESE / ANY CO * FOR, COM The ur Building Requit	REN DATE FEB.15.24 FEB.22.24 MAR.02. MAR.02. MAR.03. MAR.03. MAR.04. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.14. MAR.14. MAR.14. MAR.14. MAR.15. MAR.14. MAR.14. MAR.15. MAR.14. MAR.14. MAR.15. MAR.14. MAR.14. MAR.14. MAR.15. MAR.14. M	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW 20 REVISED FOR ZONING REVIEW 20 ISSUED FOR ZONING REVIEW 21 Integration and the construction and report any weblately to arkuas. 22 VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS CEEDING WITH CONSTRUCTION AND REPORT ANY WEBLATELY TO ARKLAS. 23 TO BE SCALED. 24 PROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION. 25 AT ANY OFE LEGTIMARE PURP
# 1 2 3 4 5 6 THE BU PRIOR DRAWI ONLY T IT IS TH DRAWI ONCOP ARKLAU ELECTR THESE / ANTACC CONST THESE / ANY CC OR CC * FOR / COM Requit ARASI NAME ARASI NAME	REN DATE FEB.15.24 FEB.22.24 MAR.02. MAR.02. MAR.06. MAR.06. MAR.11. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.13. MAR.14. MAR.14. MAR.13. MAR.14. MAR.13. MAR.15. MAR.11. MAR.13. MAR.14. MAR.13. MAR.14. MAR.14. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.15. MAR.14. MAR.14. MAR.15. MAR.14. MAR.14. MAR.15. MAR.14. MAR.14. MAR.15. MAR.14. M	DESCRIPTION 0 ISSUED FOR CLIENT REVIEW 0 REVISED FOR CLIENT REVIEW .20 REVISED FOR ZONING REVIEW .20 ISSUED FOR CLIENT REVIEW .20 ISSUED FOR CONSTRUCTION AND REPORT ANY WEDIATELY TO ARKLAB. .20 ITO BE SCALED. .20 ITHE RIGHTS OF OWNERSHIP AND COPYRIGHT IN

