

PART OF LOT 15  
CONCESSION 7  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK

THIS SURVEY INFORMATION IS TAKEN FROM  
ALEX MARTON G.L.S. ON JAN. 18, 2021.

LEGEND

- ×100.56 Denotes existing Grade  
F.F. Finished First Floor  
T.W. Top Of Foundation Wall  
B.S. Top Of Basement Slab  
U/SF Underside Of Footing  
SW Swale Elevation  
← Direction Of Drainage  
▽ Man Door Location  
▼ Drive-In Overhead Door  
R. Riser  
W/OB Walkout Basement  
⊗ Remove ex. tree

SITE DATA

Lot Area	997.57 Sq.m
Existing building area	
Ground floor area	41.83 Sq.m
Conc. porch	5.34 Sq.m
Second floor area	41.83 Sq.m
Propose building area	
Ground floor area	99.85 Sq.m
Garage area	36.62 Sq.m
Conc. porch	3.02 Sq.m
Second floor area	137.52 Sq.m
Net Lot area	805.35 sq.m
Max. Net Floor area Ratio	45%
Total gross floor area	357.65 sq.m
	(44.40 %)
Lot Coverage	181.33 Sq.m
(incl. roof cover porch)	(18.17 %)

GENERAL NOTES:  
This drawing, as an instrument of service, is provided by and is the property of the DESIGNER. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the DESIGNER of any variations from the supplied information. The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriated engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirement of authorities having jurisdiction. This drawing is not to be scaled.

REVISIONS

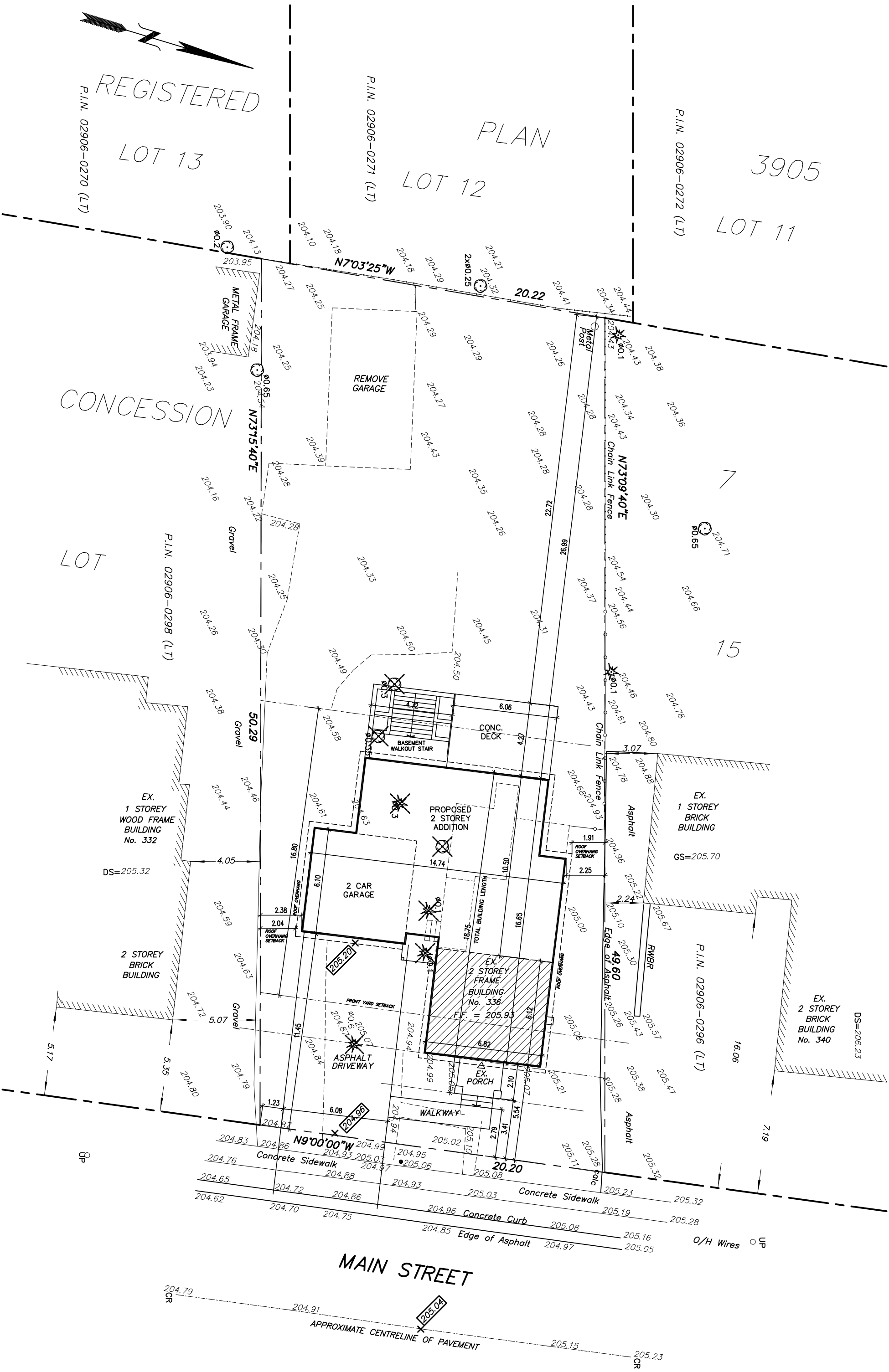
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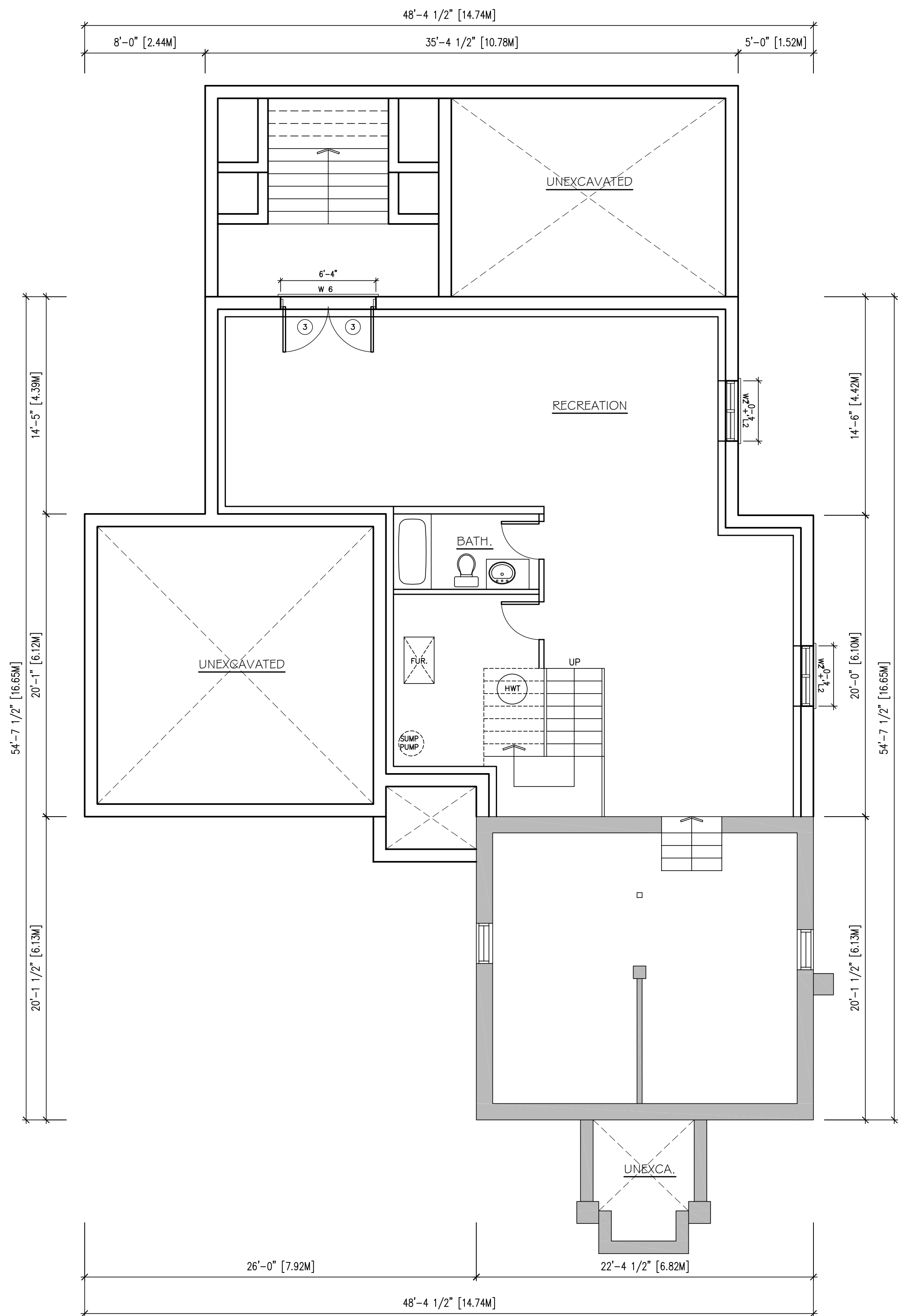
PROJECT  
**PROPOSED DWELLING BUILDING**  
  
336 MAIN STREET  
MARKHAM, ON

DRAWING TITLE  
**SITE PLAN**

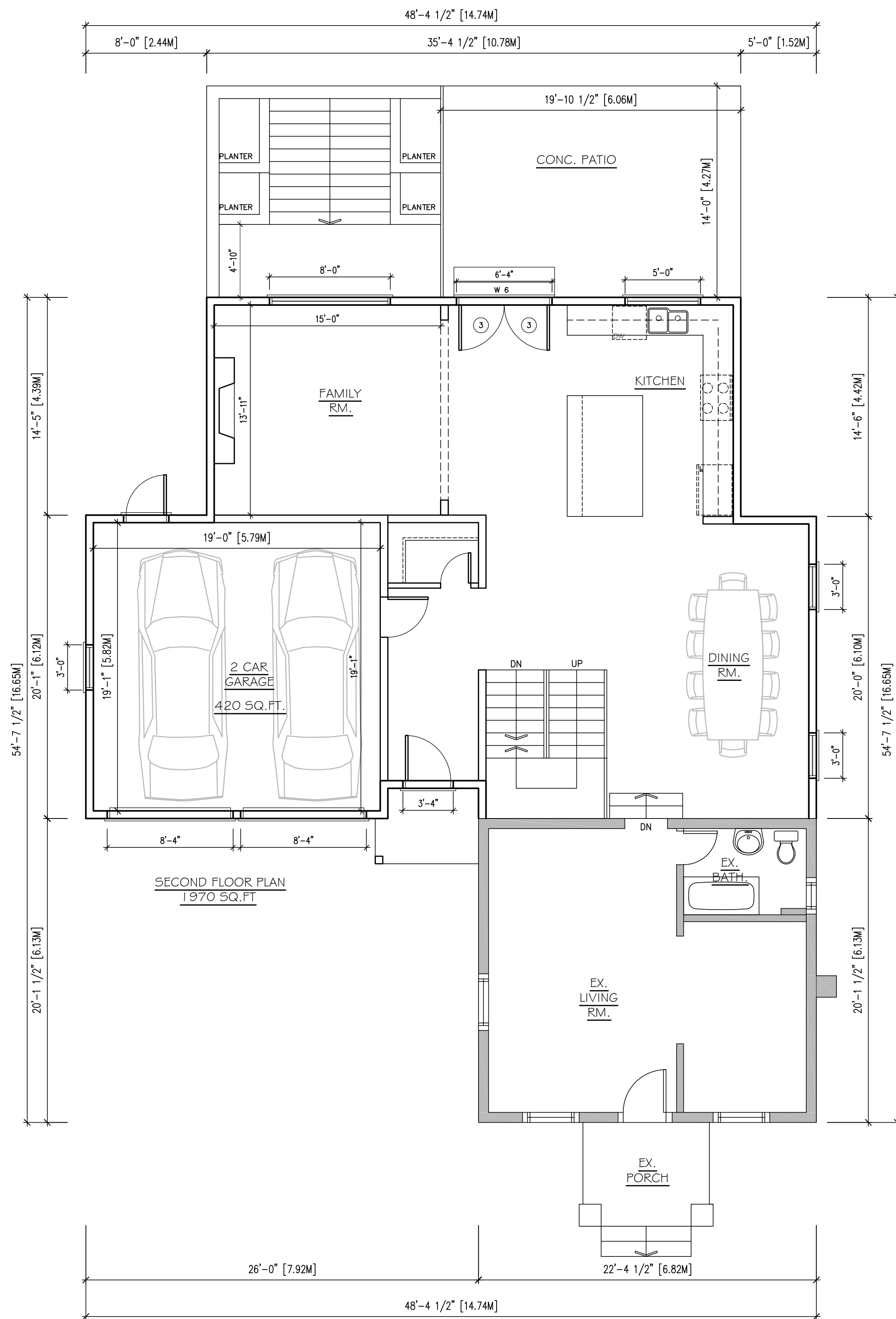
DRAWN BY R.K.
CHECKED BY R.K.
SCALE 1:200
DATE JAN., 2021
PROJECT NUMBER

DRAWING NUMBER  
**AO.1**





1 BASEMENT FLOOR PLAN  
A1.1 SCALE: 3/16"=1'-0"



2 GROUND FLOOR PLAN  
A1.1 SCALE: 3/16"=1'-0"

PARTITION LEGEND	
	DENOTES PARTITION OR WALL TO BE REMOVED
	DENOTES EXISTING PARTITION OR WALL TO REMAIN
	DENOTES PROPOSED INTERIOR PARTITION

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No.	ISSUED FOR	DATE
No.	REVISIONS	DATE

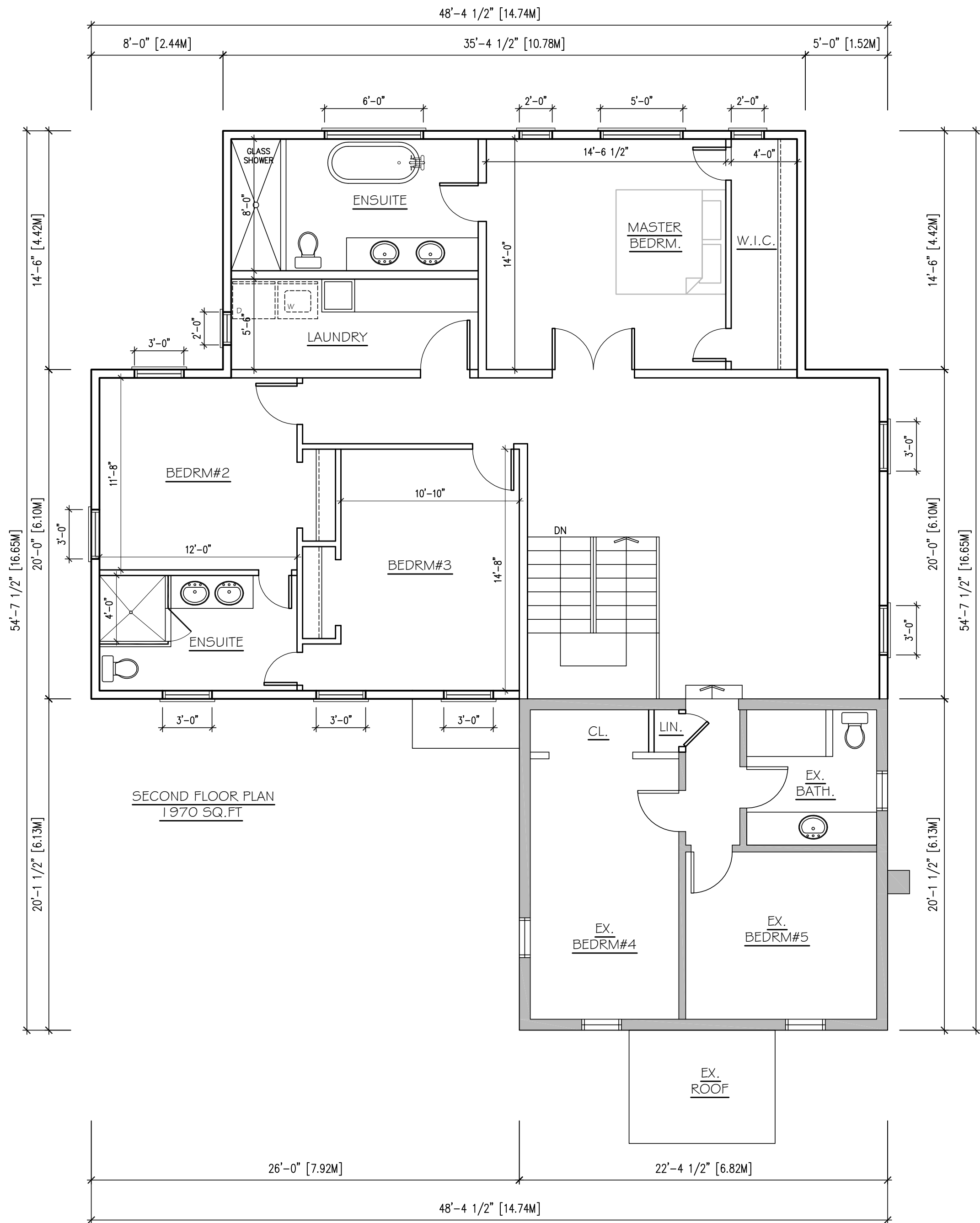
DRAWING TITLE:  
**FLOOR PLANS**

PROJECT:  
**PROPOSED RESIDENCE**  
  
336 MAIN STREET  
MARKHAM, ON

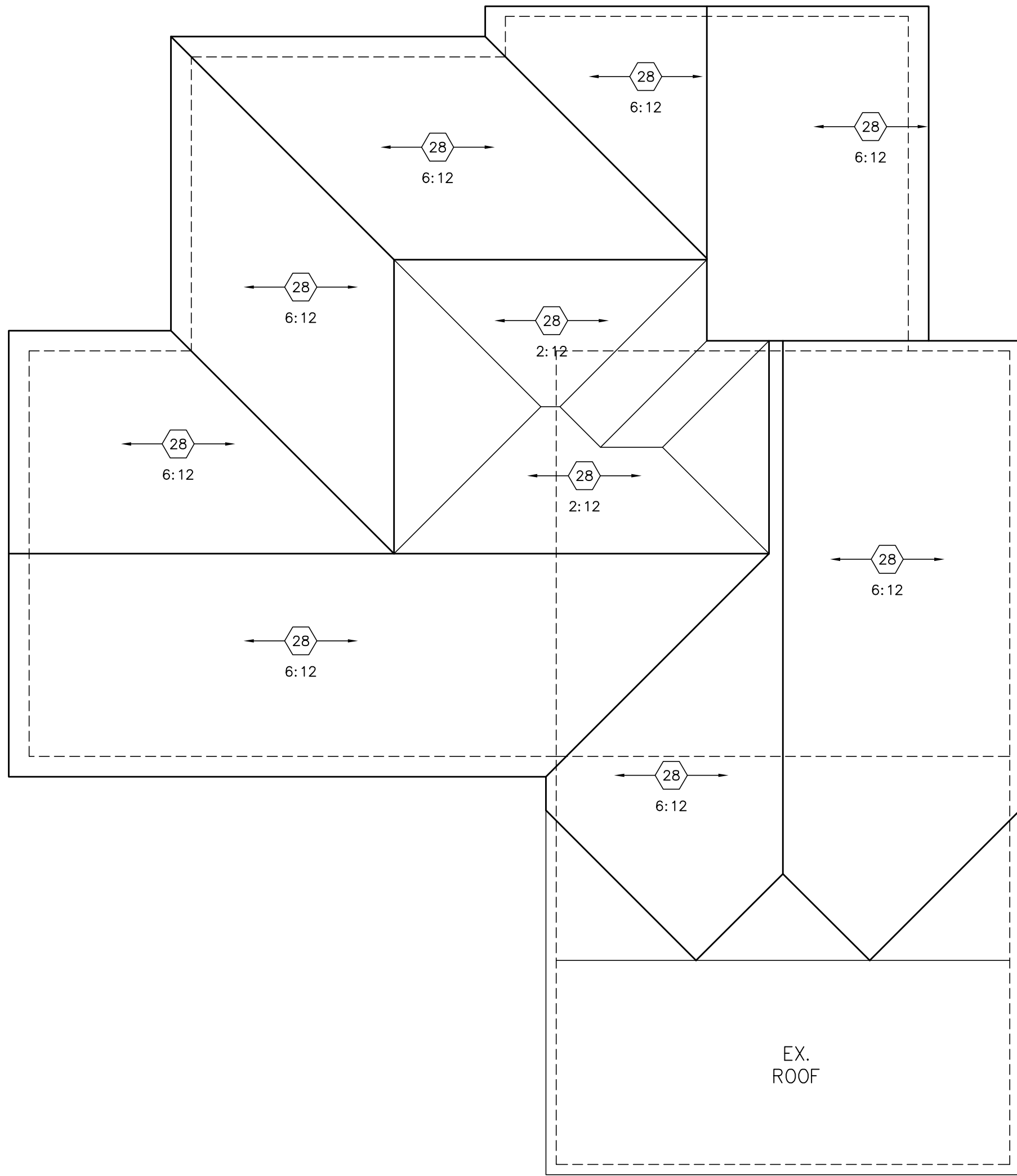
**RockKIM DESIGN INC.**  
ARCHITECTURAL PARTNER  
TEL 647-466-2767 rockkim22@gmail.com

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
Required unless design is exempt under 3.2.1 of the building code	QUALIFICATION INFORMATION
ROCK KIM	36340
Signature	DATE
Required unless design is exempt under 3.2.1 of the building code	ROCK KIM DESIGN INC.
45379	45379
rockkim22@gmail.com	647-466-2767

	DRAWING No.
SCALE: AS NOTED	<b>A1.1</b>
DRAWN: R.K.	
CHECKED BY:	
FILE NO:	
DATE: APR., 2021	



1 SECOND FLOOR PLAN  
SCALE: 3/16"=1'-0"



2 ROOF PLAN  
SCALE: 3/16"=1'-0"

PARTITION LEGEND	
	DENOTES PARTITION OR WALL TO BE REMOVED
	DENOTES EXISTING PARTITION OR WALL TO REMAIN
	DENOTES PROPOSED INTERIOR PARTITION

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No.	ISSUED FOR	DATE
No.	REVISIONS	DATE

DRAWING TITLE:  
**FLOOR PLAN  
/ROOF PLAN**

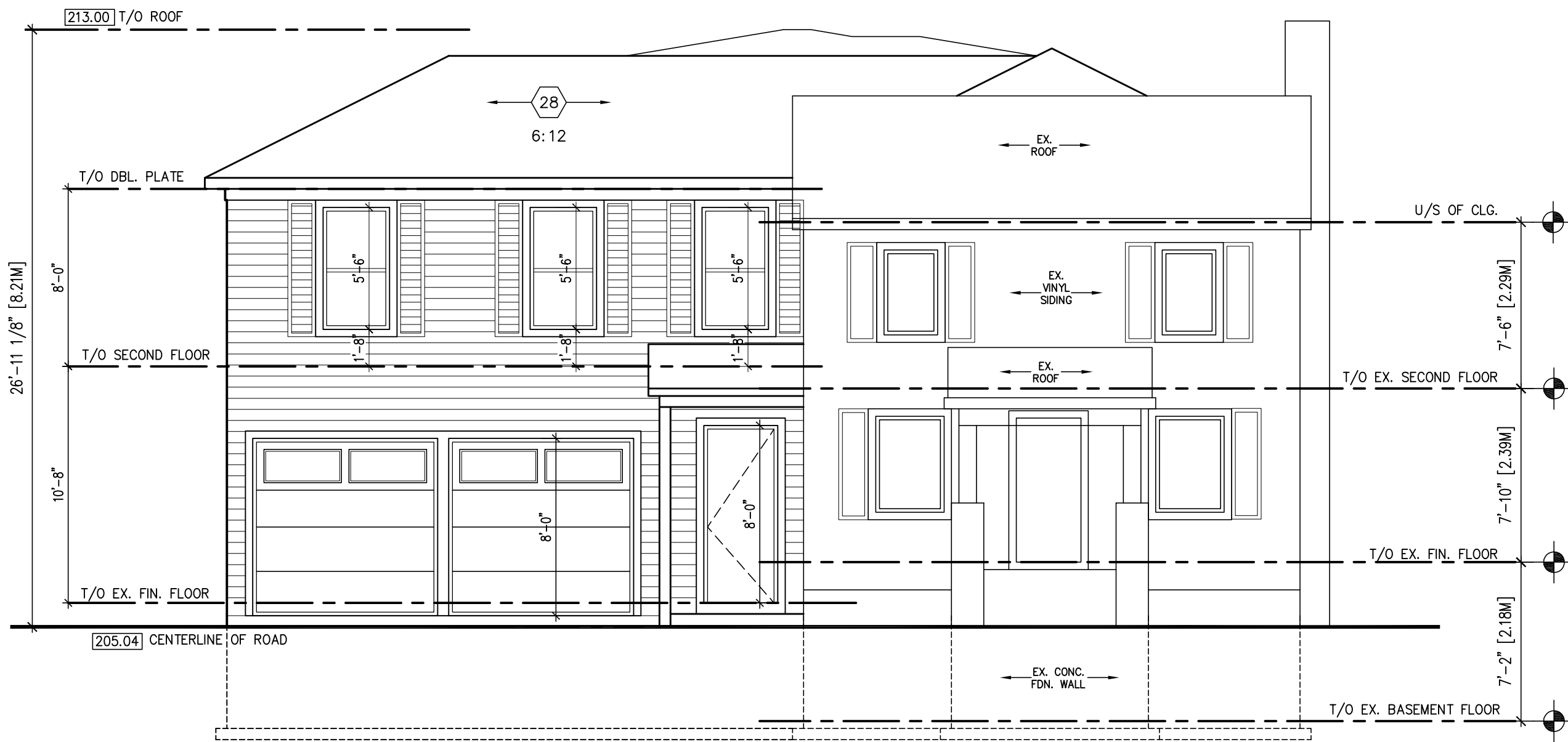
PROJECT:  
**PROPOSED  
RESIDENCE**  
  
336 MAIN STREET  
MARKHAM, ON

**RockKIM  
DESIGN INC.**  
ARCHITECTURAL PARTNER  
TEL 647-466-2767 rockkim22@gmail.com

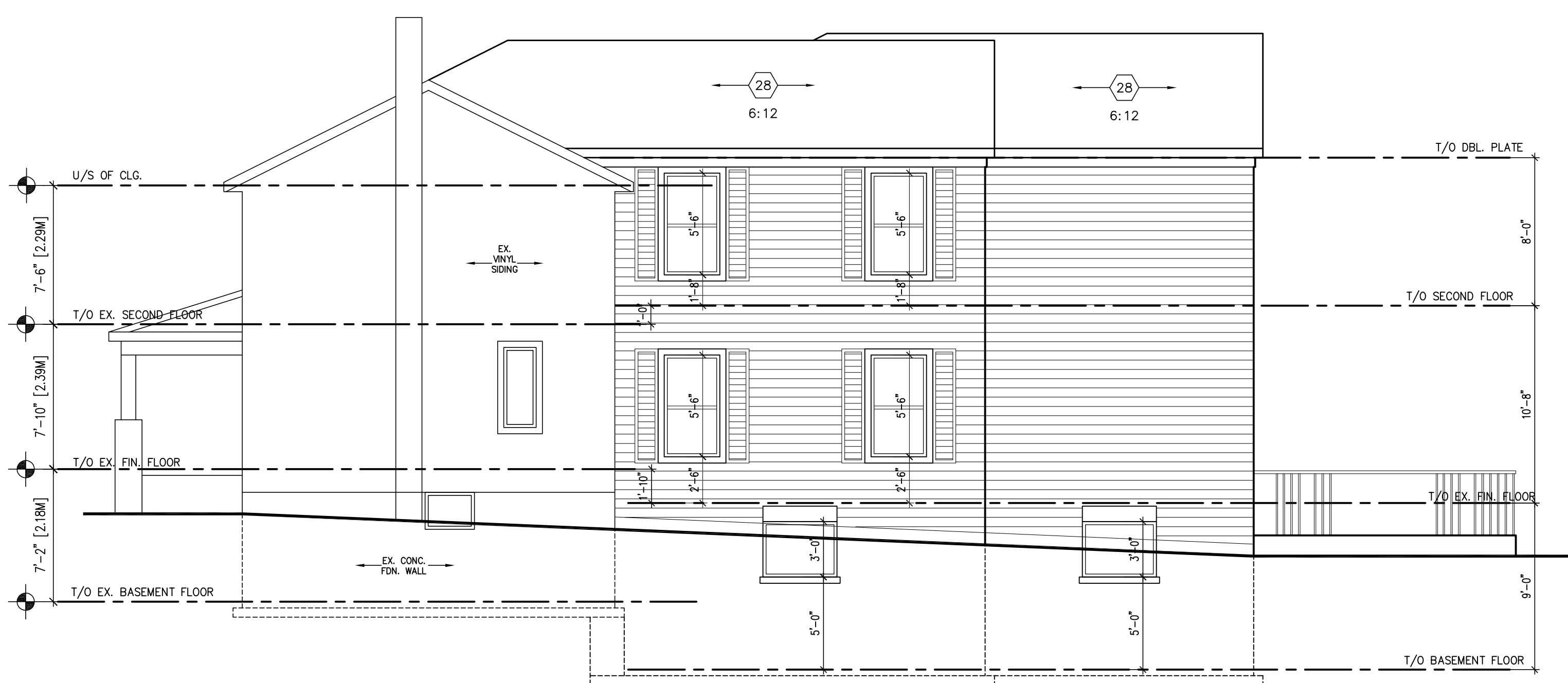
The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
Required unless design is exempt under 3.2.3.1 of the building code  
ROCK KIM 36340  
Signature: [Signature] Date: JAN. 21, 2021  
Registration Information: 45379  
Firm Name: ROCKKIM DESIGN INC.  
rockkim22@gmail.com 647-466-2767

SCALE: AS NOTED  
DRAWN: R.K.  
CHECKED BY:  
FILE NO:  
DATE: APR., 2021

DRAWING No.  
**A1.2**



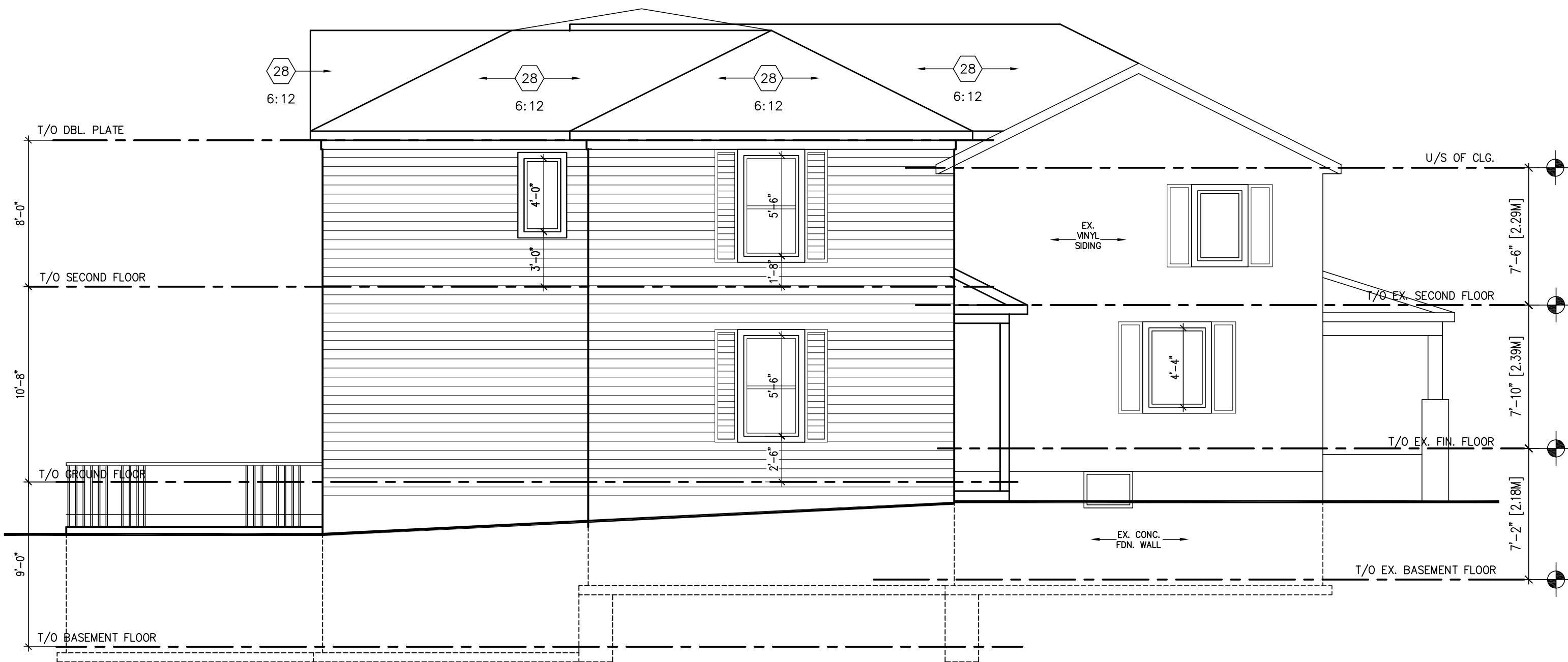
1 EAST SIDE ELEVATION  
SCALE: 3/16"=1'-0"



2 NORTH SIDE ELEVATION  
SCALE: 3/16"=1'-0"



3 WEST SIDE ELEVATION  
SCALE: 3/16"=1'-0"



4 SOUTH SIDE ELEVATION  
SCALE: 3/16"=1'-0"

PARTITION LEGEND	
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	DENOTES PROPOSED INTERIOR PARTITION

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No.	ISSUED FOR	DATE
No.	REVISIONS	DATE

DRAWING TITLE:  
ELEVATIONS

PROJECT:  
PROPOSED  
RESIDENCE  
  
336 MAIN STREET  
MARKHAM, ON

**RockIM**  
DESIGN INC.  
ARCHITECTURAL PARTNER  
TEL 647-466-2767      rockkim22@gmail.com

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
Required unless design is exempt under 3.2.4.1 of the building code  
ROCK KIM      36340      JAN. 21, 2021  
Signature      Registration Information      Date  
Required unless design is exempt under 3.2.4.1 of the building code  
ROCKIM DESIGN INC.      45379  
Firm Name      rockkim22@gmail.com      647-466-2767

	DRAWING No.
SCALE: AS NOTED	A2.1
DRAWN: R.K.	
CHECKED BY:	
FILE NO:	
DATE: APR., 2021	

TOPOGRAPHIC SURVEY OF  
PART OF LOT 15  
CONCESSION 7  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 200



ALEX MARTON LTD.  
ONTARIO LAND SURVEYORS

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METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED  
TO THE CITY OF MARKHAM BENCHMARK No.177.  
HAVING AN ELEVATION OF 200.878 METRES.

LEGEND

	NOTES	
MH	MANHOLE	
GS	GARAGE SILL	
WV	WATER VALVE	
GM	GAS METER	
AC	AIR CONDITIONER	
UP	UTILITY POLE	
DS	DOOR SILL	
CR	CENTERLINE	
HM	HYDRO METER	
O/H	OVERHEAD	
PIN	PROPERTY IDENTIFIER NUMBER	
RWBR	BRICK RETAINING WALL	
☉	DECIDUOUS TREE	
✱	CONIFEROUS TREE	

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
THE FIELD OBSERVATIONS REPRESENTED ON THIS PLAN  
WERE COMPLETED ON THE 5<sup>TH</sup> DAY OF JANUARY, 2021.

JANUARY 18, 2021  
DATE

ALEX MARTON  
ONTARIO LAND SURVEYOR



ALEX MARTON LIMITED  
ONTARIO LAND SURVEYORS  
160 APPLEWOOD CRESCENT, UNIT 8,  
CONCORD, ONTARIO, L4K 4H2  
PHONE: 905-879-9889 FAX: 905-879-0770  
E-MAIL: alex@amsurveying.ca  
WEBSITE: www.amsurveying.ca

PARTY CHIEF: P.C.	FILE NAME: 2021-002.DWG
DRAWN : A.K.	PLOT SCALE: 1:200
CHECKED : A.M.	PROJECT No. 2021-002

CAUTION

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE  
USED FOR MORTGAGE OR TRANSACTION PURPOSES.