

SITE PLAN

ZONING INFORMATION:

264 RIVERLANDS AVENUE IS ZONED R2\*190\*465 UNDER BY-LAW 177-96 AS AMENDED. THE PROPOSED USE OF COACH HOUSE IS PERMITTED UNDER SECTION 7 : EXCEPTIONS.

IN ADDITIONAL PERMITTED USE (7.5.1), ONE ACCESSORY DWELLING UNIT IS PERMITTED ON A LOT PROVIDED THAT

- IT IS ACCESSORY TO SINGLE DETACHED, SEMI DETACHED OR TOWNHOUSE DWELLING UNIT ON THE SAME LOT,
- IT IS LOCATED ABOVE A PRIVATE GARAGE IN EITHER THE MAIN BUILDING OR AN ACCESSORY BUILDING ON THE SAME LOT, EXCEPTING THAT STAIRWAY PROVIDING ACCESS TO THE ACCESSORY DWELLING UNIT MAY EXTEND DOWN TO GRADE; AND,
- THE REQUIRED PARKING SPACE IS INDEPENDENTLY ACCESSIBLE FROM THE PARKING SPACES OF THE MAIN DWELLING UNIT ON THE LOT.

(ALL THE ABOVE CONDITIONS ARE MET IN THE PROPOSAL.)

SITE STATATICS:

LOT AREA	: 283.20 SM
LOT FRONTAGE	: 8.85 M
PRINCIPAL HOUSE (GFA)	
LEVEL 1	: 121.64 SM
LEVEL 2	: 106.77 SM
TOTAL	: 228.41 SM
COACH HOUSE	
LOT AREA	: 283.2 SM
COACH HOUSE	
FOOTPRINT	: 56.052 SM
STAIRCASE AREA	: 3.427 SM
LOT COVERAGE (%)	
PRINCIPAL HOUSE	: 42.95 %
COACH HOUSE	: 18.6 %
TOTAL	: 65.46 %

DESIGN CONSULTANTS	ENGINEERING CONSULTANTS
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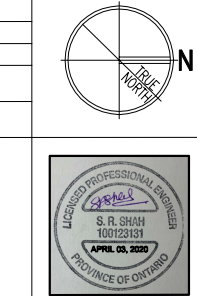
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PROJECT:

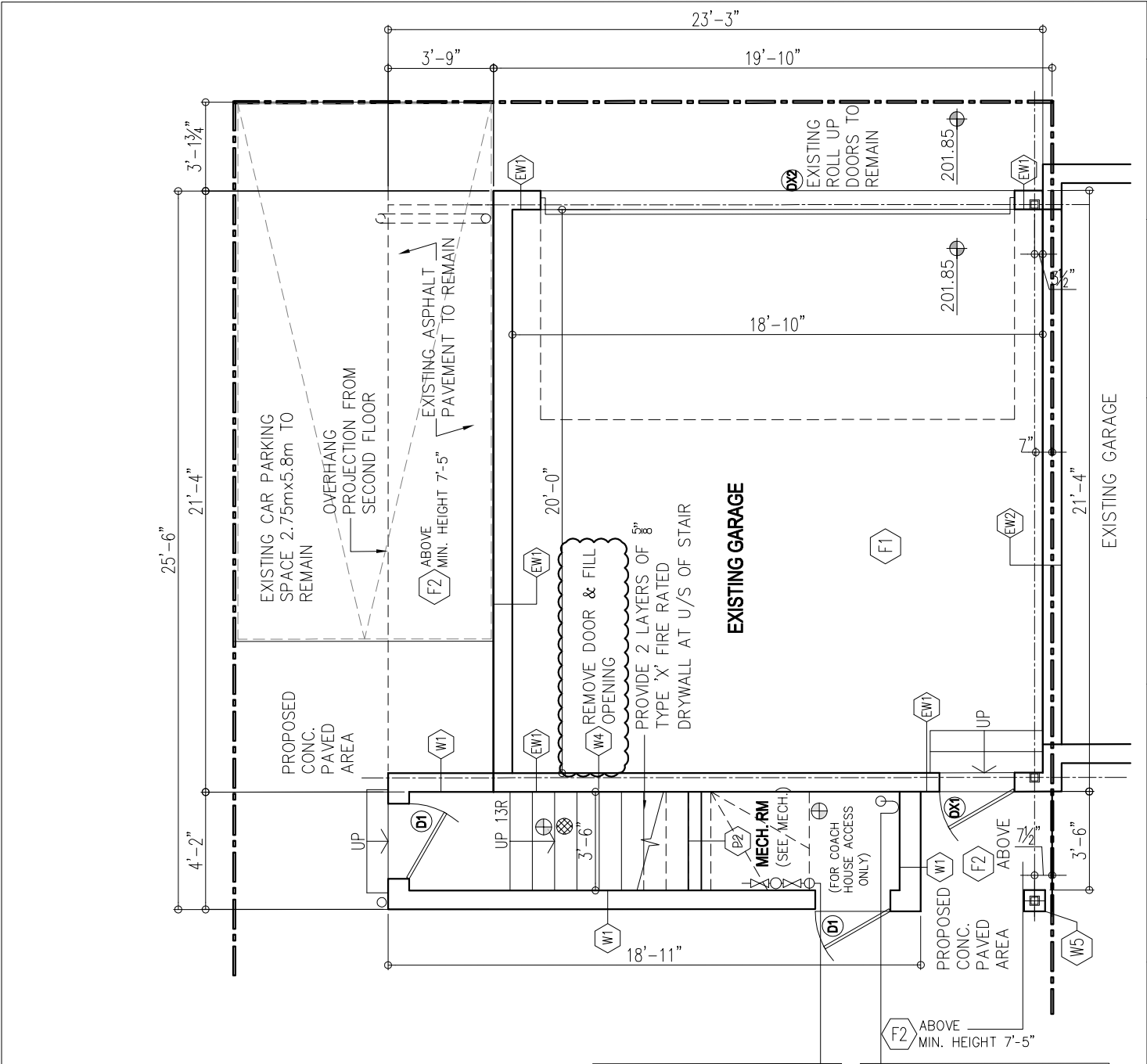
**PROPOSED COACH HOUSE**

264 Riverlands AVE  
MARKHAM ON L6B 0W2

DRAWING TITLE :  
**SITE PLAN**



A-01



- SMOKE ALARM**  
INSTALL SMOKE ALARM IN EVERY DWELLING UNIT AND COMMON AREAS PER OBC 9.10.19. ENSURE THEY ARE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGN

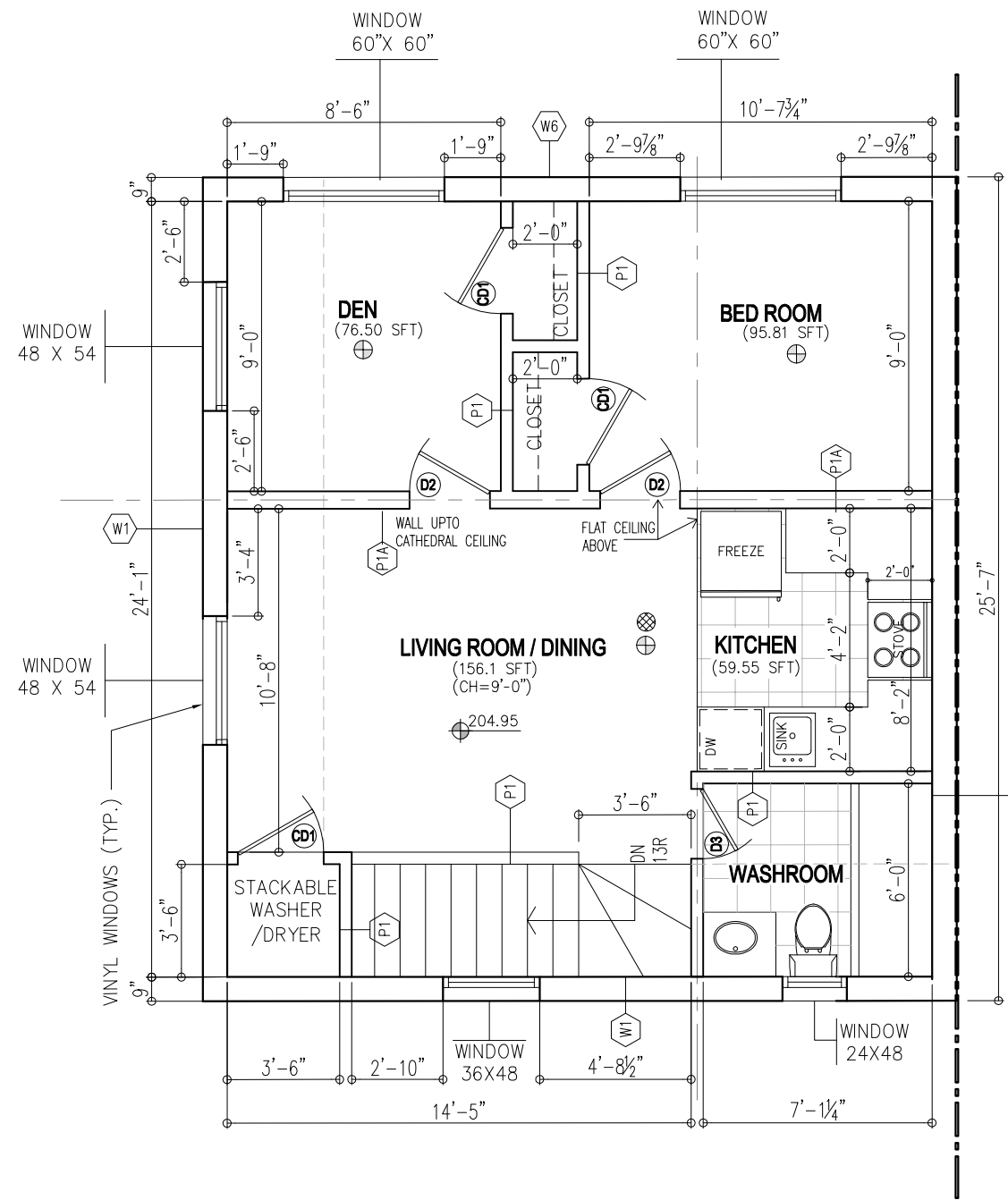
**CARBON MONOXIDE DETECTOR**  
HARD WIRE CONNECTED CARBON MONOXIDE DETECTORAS PER CAN/CSA-6.19
- EXTEND 3/4" DCW PIPE BELOW GRADE (BELOW FROST LEVEL) TO CONNECT TO EXISTING MAIN BUILDING DCW SERVICES ON NORTH SIDE OF THE BUILDING IN THE BASEMENT FLOOR C/W ISOLATION VALVE. VERIFY EXACT LOCATION OF THE EXISTING SERVICES AT SITE.

EXTEND 4" SANITARY PIPE BELOW GRADE MIN. 4'-0" TO CONNECT TO EXISTING MAIN BUILDING SANITARY PIPING LEAVING THE BUILDING ON FRONT SOUTH SIDE. VERIFY EXACT LOCATION OF THE EXISTING SANITARY PIPE INVERT AT SITE.

NOTES:		DOOR SCHEDULE:	
<div><ul style="list-style-type: none"><li>EXISTING 2 CAR PARKING SPACE 2.75mx5.8m EACH TO REMAIN</li><li>EXISTING SLOPED CONCRETE FLOOR inside THE GARAGE TO REMAIN</li><li>WALL &amp; CEILING ASSEMBLIES SEPARATING GARAGE SPACE SERVING MAIN DWELLING UNIT AND UNIT ABOVE GARAGE SHALL BE MIN. 1 HR FRR AND 50 STC RATING</li><li>CONTRACTOR TO REMOVE ROOF TRUSS, ROOFING, EAVESTROUGH, ETC. UPTO THE PARTY WALL</li></ul></div>		DOOR	SIZE
		DX1	2'-8" x 6'-8"
		DX2	16'-10" x 96"
		D1	2'-8" x 6'-8"
		D2	2'-6" x 6'-8"
		D3	2'-2" x 6'-8"
		CD1	2'-8" x 6'-8"
		TYPE	
		EXISTING DOOR	
		EXISTING GARAGE DOOR	
		EXTERIOR INSULATED DOOR, MIN. R15	
		INTERIOR DOOR	
		INTERIOR DOOR	
		INTERIOR CLOSET DOOR	

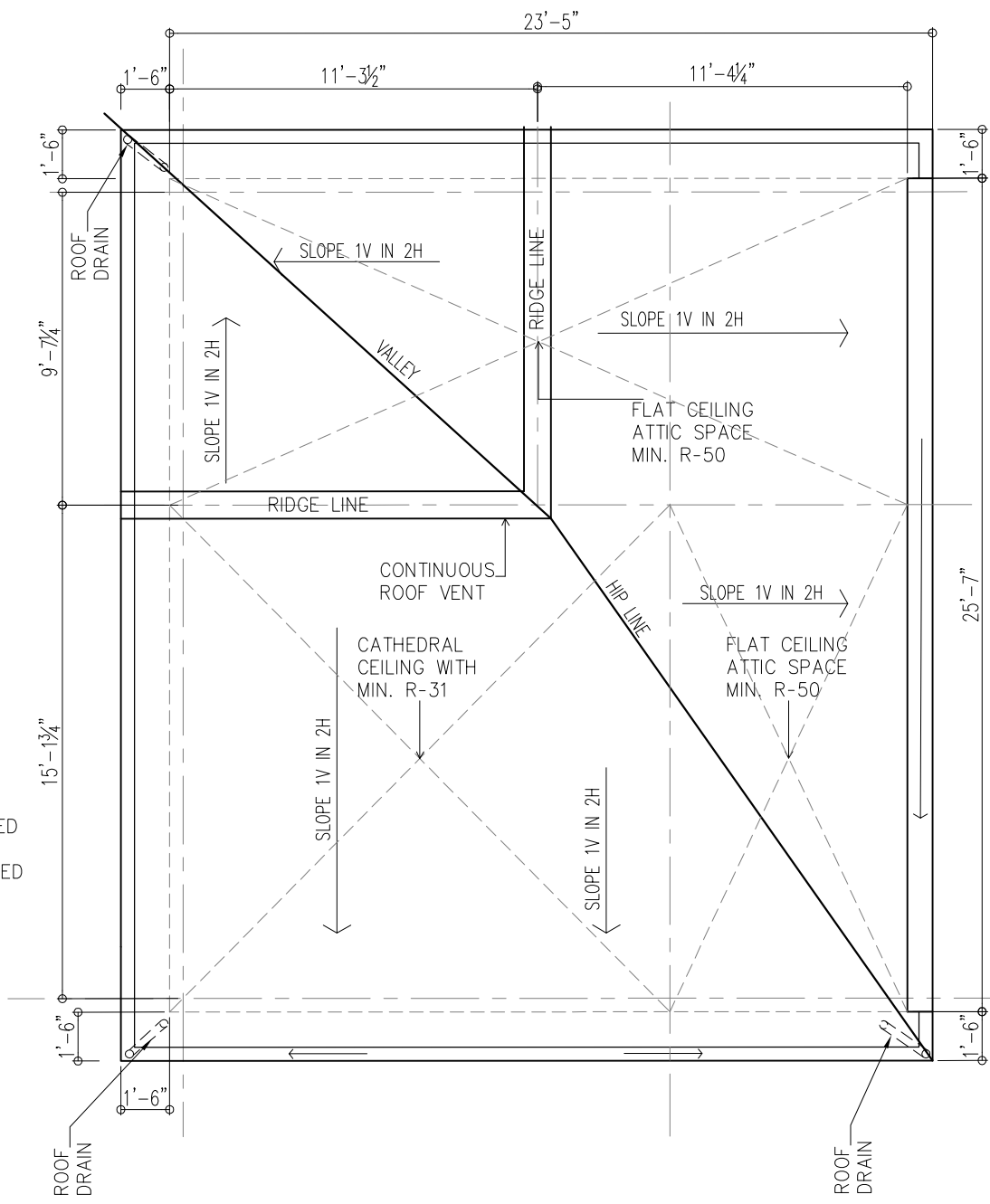
WALL AND FLOOR SCHEDULE:	
<div><div>EW1</div><div></div><div>EXISTING EXTERIOR WALL - EXISTING BRICK VENEER, AIRSPACE, A/V BARRIER, 13MM PLYWOOD, 2x4 WOOD STUD @ 16" O.C. - NEW 2x4 @ 16" O/C TO FORM 2 PLY - 1/2" GYPSUM WALL BOARD</div></div>	<div><div>W5</div><div></div><div>(FRR 45 MIN.)  - STRUCTURAL COLUMN (REFER TO STUCTURAL DWGS) - STUD WELDED TO STEEL COLUMN - 5/8" TYPE 'X' GYPSUM WALL BOARD - DENSGLASS FIREGUARD SHEATHING - COLUMN WRAP WITH PAINTED METAL FINISH</div></div>
<div><div>EW2</div><div></div><div>EXISTING PARTY WALL (WALL ASSEMBLY W1d FROM TABLE 2, SB-3:FRR 1 HR AND 32 STC) - 5/8" TYPE 'X' GYPSUM WALL BOARD - 2x6 WOOD STUDS @ 16" O.C. C/W R22/23 ROXUL - 5/8" TYPE 'X' GYPSUM WALL BOARD</div></div>	<div><div>W6</div><div></div><div>- JAMES HARDLE PLANK FIBRE CEMENT SIDING (MAKE AND COLOUR TBD) - 1" THICK WOOD STRAPPING - DRAINAGE LAYER, ADHESIVE - CONTINUOUS TROWEL BASED AIR BARRIER - 13MM DENSGLASS GOLD SHEATHING - 2x6 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION - 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED - 5/8" GYPSUM WALL BOARD</div></div>
<div><div>W1</div><div></div><div>- JAMES HARDLE PLANK FIBRE CEMENT SIDING (MAKE AND COLOUR TBD) - 1" THICK WOOD STRAPPING - 1" POLYISO-CYANURATE INSULATION(R=5.6) - DRAINAGE LAYER, ADHESIVE - CONTINUOUS TROWEL BASED AIR BARRIER - 13MM DENSGLASS GOLD SHEATHING - 2x6 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION - 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED - 1/2" GYPSUM WALL BOARD</div></div>	<div><div>P1</div><div></div><div>- 1/2" GYPSUM WALL BOARD - 2x4 WOOD STUDS @ 16" O.C - 1/2" GYPSUM WALL BOARD / 13MM DENSSHIELD TILE BACKER ON WASHROOM/KITCHEN SIDE</div></div>
<div><div>W2</div><div></div><div>- JAMES HARDLE PLANK FIBRE CEMENT SIDING (MAKE AND COLOUR TBD) - 1" THICK WOOD STRAPPING - DRAINAGE LAYER, ADHESIVE - CONTINUOUS TROWEL BASED AIR BARRIER - 16MM DENSGLASS GOLD SHEATHING - 2x6 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION - 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED - RESILIENT METAL CHANNEL @ 16" O.C. - 5/8" TYPE 'X' GYPSUM WALL BOARD</div></div>	<div><div>P1A</div><div></div><div>P1 BUT WITH 2x6 WOOD STUDS @ 16" O.C.</div></div> <div><div>P2</div><div></div><div>(90 MIN. FIRE RATED WALL AS PER TABLE 2.3.4.A. AND 2.3.4.C OF SB-2 OF OBC)  - VOID - 2x4 WOOD STUDS @ 16" O.C - 2 LAYERS 1/2" TYPE 'X' GYPSUM WALL BOARD</div></div>
<div><div>W3</div><div></div><div>(WALL ASSEMBLY W5a FROM TABLE 2, SB-3:FRR 1HR AND 51 STC) - 2 LAYERS OF 5/8" TYPE 'X' GYPSUM WALL BOARD - 2x6 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION - 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED - RESILIENT METAL CHANNEL @ 16" O.C. - 5/8" TYPE 'X' GYPSUM WALL BOAR</div></div>	<div><div>F1</div><div></div><div>(FLOOR ASSEMBLY F9h FROM TABLE 2, SB-3:FRR 1 HR AND 55 STC) - ONE SUBFLOOR LAYER OF 15.5MM PLYWOOD - WOOD JOISTS/LVL AS PER STRUCTURAL DRAWINGS - MINIMUM R31 ROCK OR SLAG INSULATION - 6 MIL. CONT. AIR &amp; VAPOUR BAREER ON THE WARM SIDE AS PER O.B.C. 9.10.9.16 - (1 1/2"x3 1/2" WOOD FRAMING HUNG FROM JOIST/LVL BY 1 1/2"x1 1/2" HANGERS - AT DUCTS &amp; STRUCTURAL BEAMS) - RESILIENT METAL CHANNELS @ 600 O.C. - TWO LAYERS OF 12.7 TYPE 'X' GYPSUM WALL BOARD, PAINT FINISH</div></div>
<div><div>W4</div><div></div><div>(WALL ASSEMBLY W8A FROM TABLE 2, SB-3:FRR 1.5HR AND 52 STC) - 5/8" TYPE 'X' GYPSUM WALL BOARD - 2x4 WOOD STUD @ 600MM C/W R22/23 ROXUL COMFORT BAT INSULATION (STUD ON THE ENDS FASTENED TO THE EXISTING WALL) - 1" CAVITY - 2x4 WOOD STUD @ 600MM (STUD ON THE ENDS FASTENED TO THE EXISTING WALL) - 2 LAYERS 5/8" TYPE 'X' GYPSUM WALL BOARD ON STAIR SIDE (WALL THICKNESS TO MATCH EXISTING ADJACENT)</div></div>	<div><div>F2</div><div></div><div>(FLOOR ASSEMBLY F9h FROM TABLE 2, SB-3:FRR 1 HR AND 55 STC) - ONE SUBFLOOR LAYER OF 15.5MM PLYWOOD - WOOD JOISTS/LVL AS PER STRUCTURAL DRAWINGS - MINIMUM R31 ROCK AND SLAG INSULATION - 6 MIL. CONT. AIR &amp; VAPOUR BAREER ON THE WARM SIDE AS PER O.B.C. 9.10.9.16 - RESILIENT METAL CHANNELS @ 600 O.C. - TWO LAYERS OF 12.7 TYPE 'X' GYPSUM WALL BOARD, PAINT FINISH - PAINTED METAL SOFFIT</div></div>

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1 APRIL 03, 2020 ISSUED FOR BUILDING PERMIT			
No Date Revisions			
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PROJECT:			
PROPOSED COACH HOUSE 264 Riverlands AVE MARKHAM ON L6B 0W2			
DRAWING TITLE :			
FIRST FLOOR PLAN		A-03	



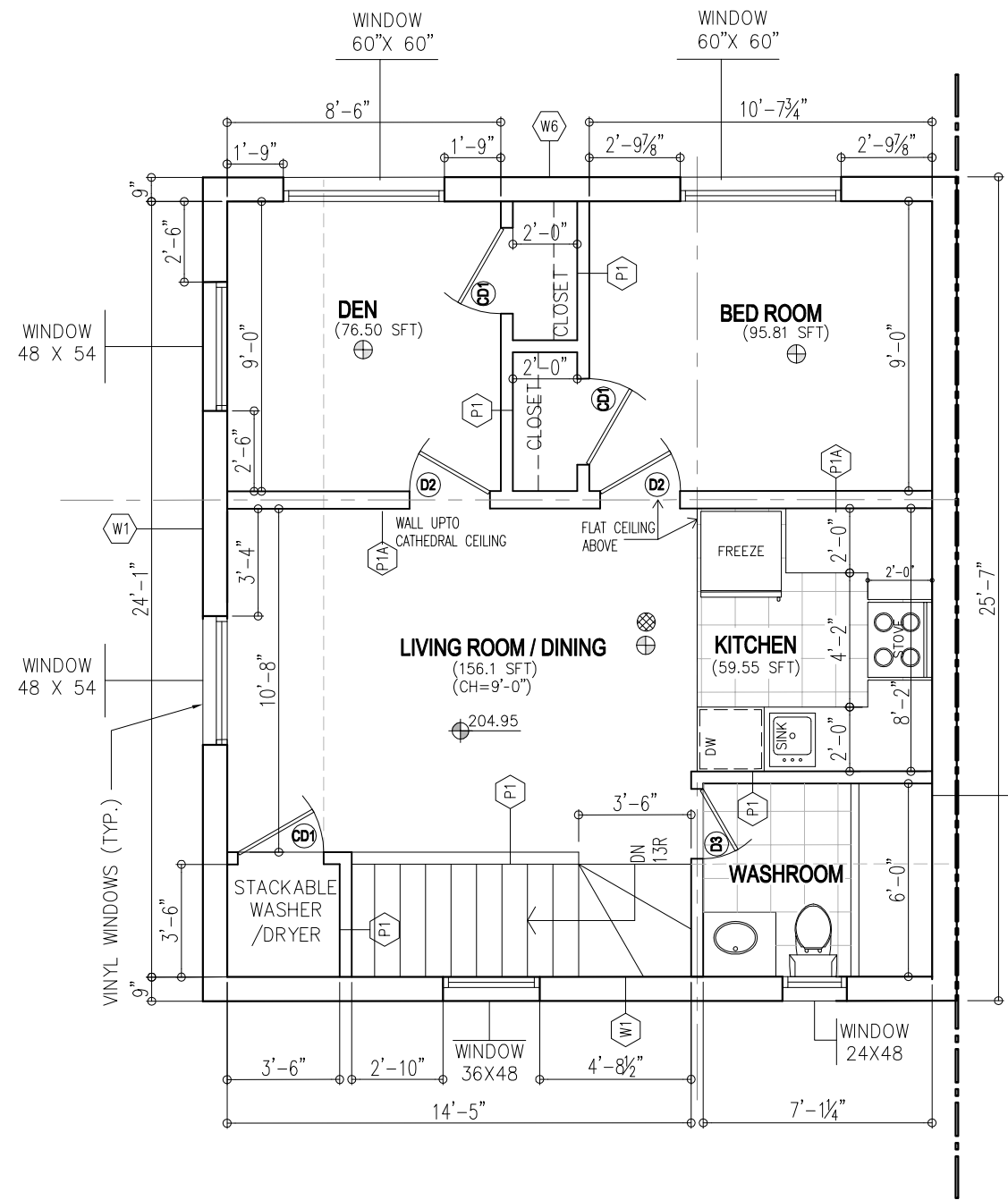
SECOND FLOOR PLAN

- ⊕ SMOKE ALARM  
INSTALL SMOKE ALARM IN EVERY DWELLING UNIT AND COMMON AREAS PER OBC 9.10.19. ENSURE THEY ARE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGN
- ⊗ CARBON MONOXIDE DETECTOR  
HARD WIRE CONNECTED CARBON MONOXIDE DETECTORAS PER CAN/CSA-6.19

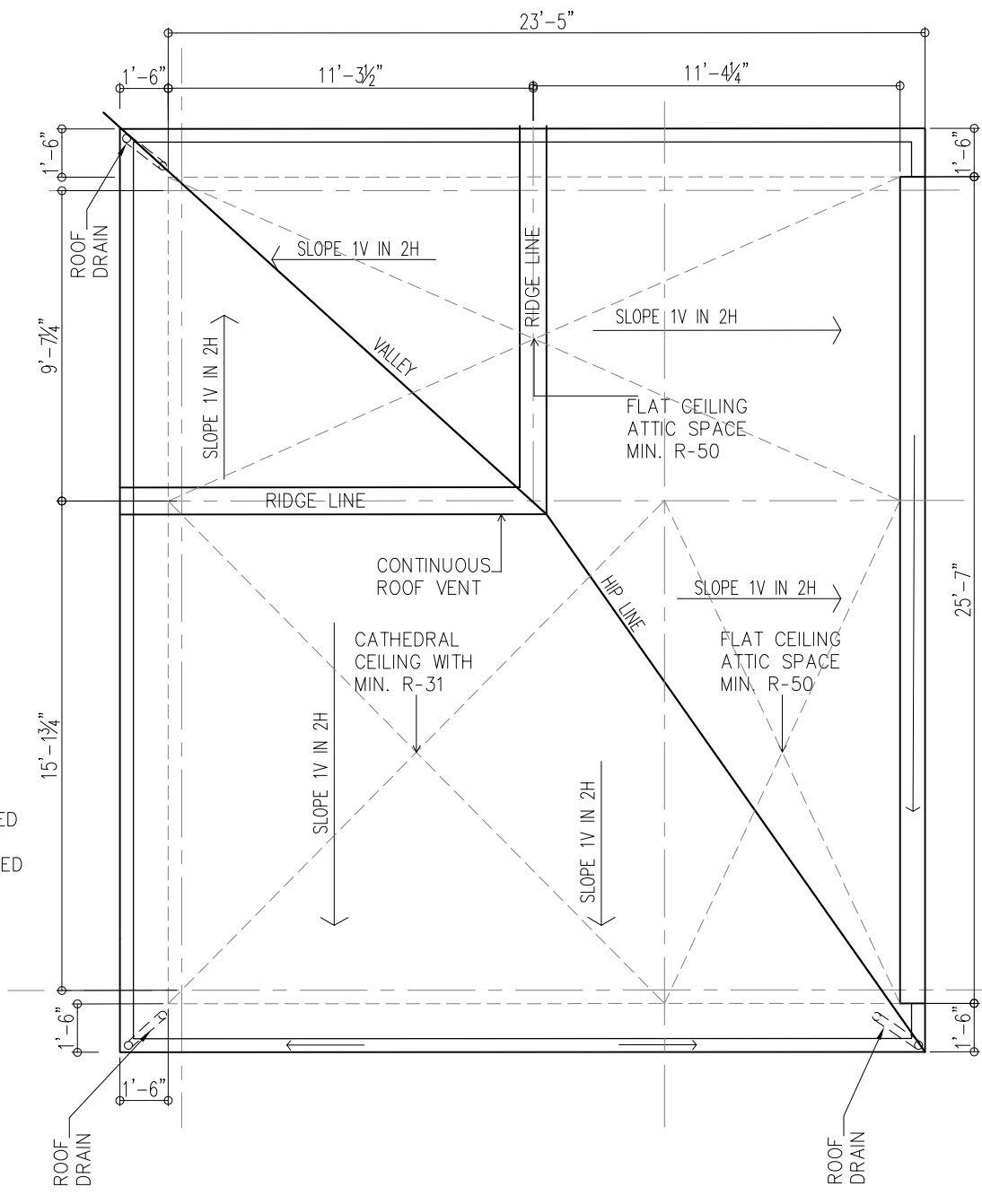


ROOF PLAN

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DRAWING TITLE :			
SECOND FLOOR PLAN		A-04	



SECOND FLOOR PLAN



ROOF PLAN

- ⊕ SMOKE ALARM  
INSTALL SMOKE ALARM IN EVERY DWELLING UNIT AND COMMON AREAS PER OBC 9.10.19. ENSURE THEY ARE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGN
- ⊗ CARBON MONOXIDE DETECTOR  
HARD WIRE CONNECTED CARBON MONOXIDE DETECTORAS PER CAN/CSA-6.19

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SECOND FLOOR PLAN		

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PROFESSIONAL ENGINEER

S. R. SHAH

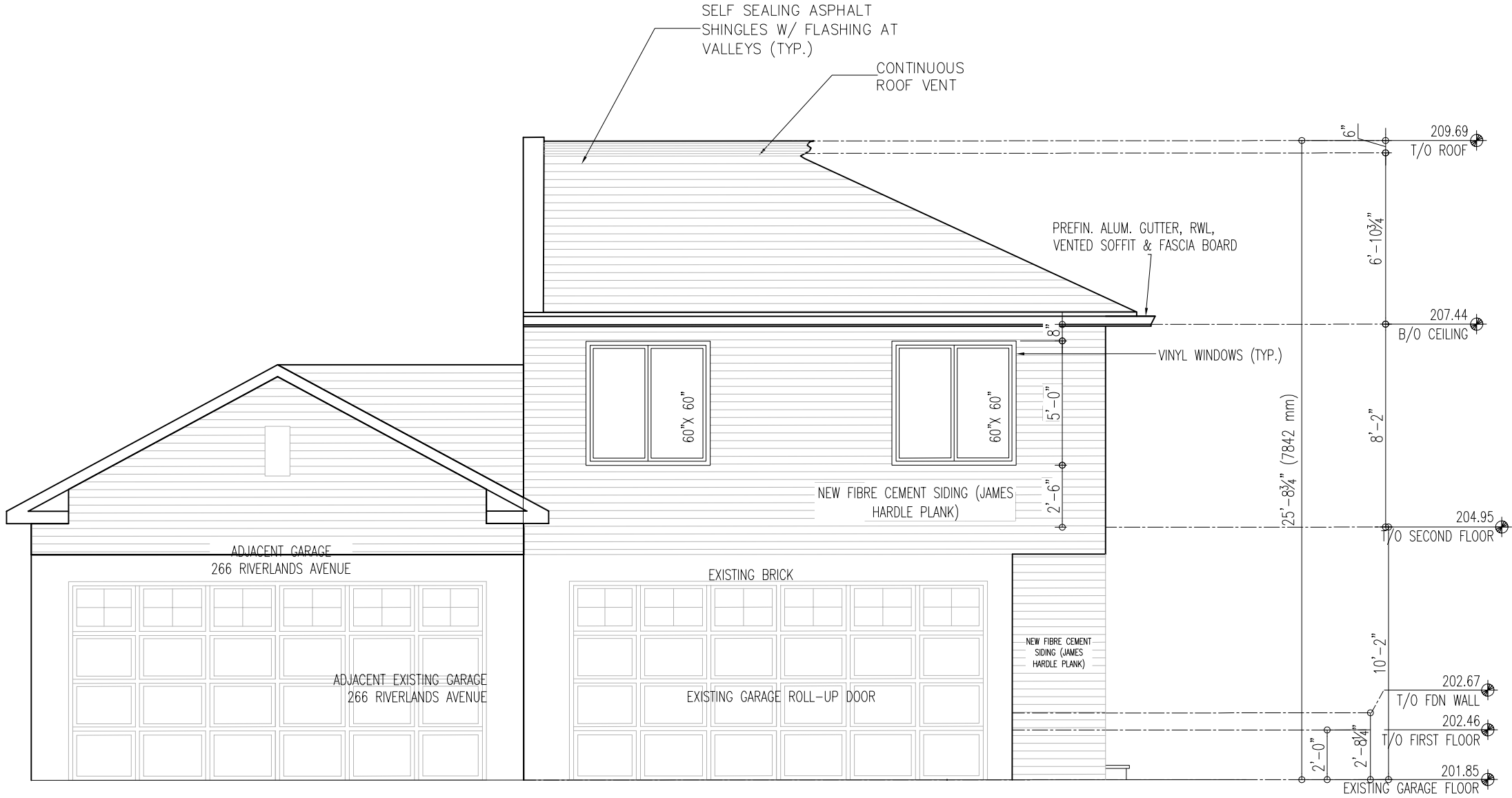
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PROVINCE OF ONTARIO

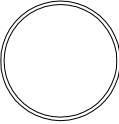
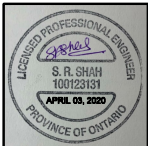
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TRUE NORTH



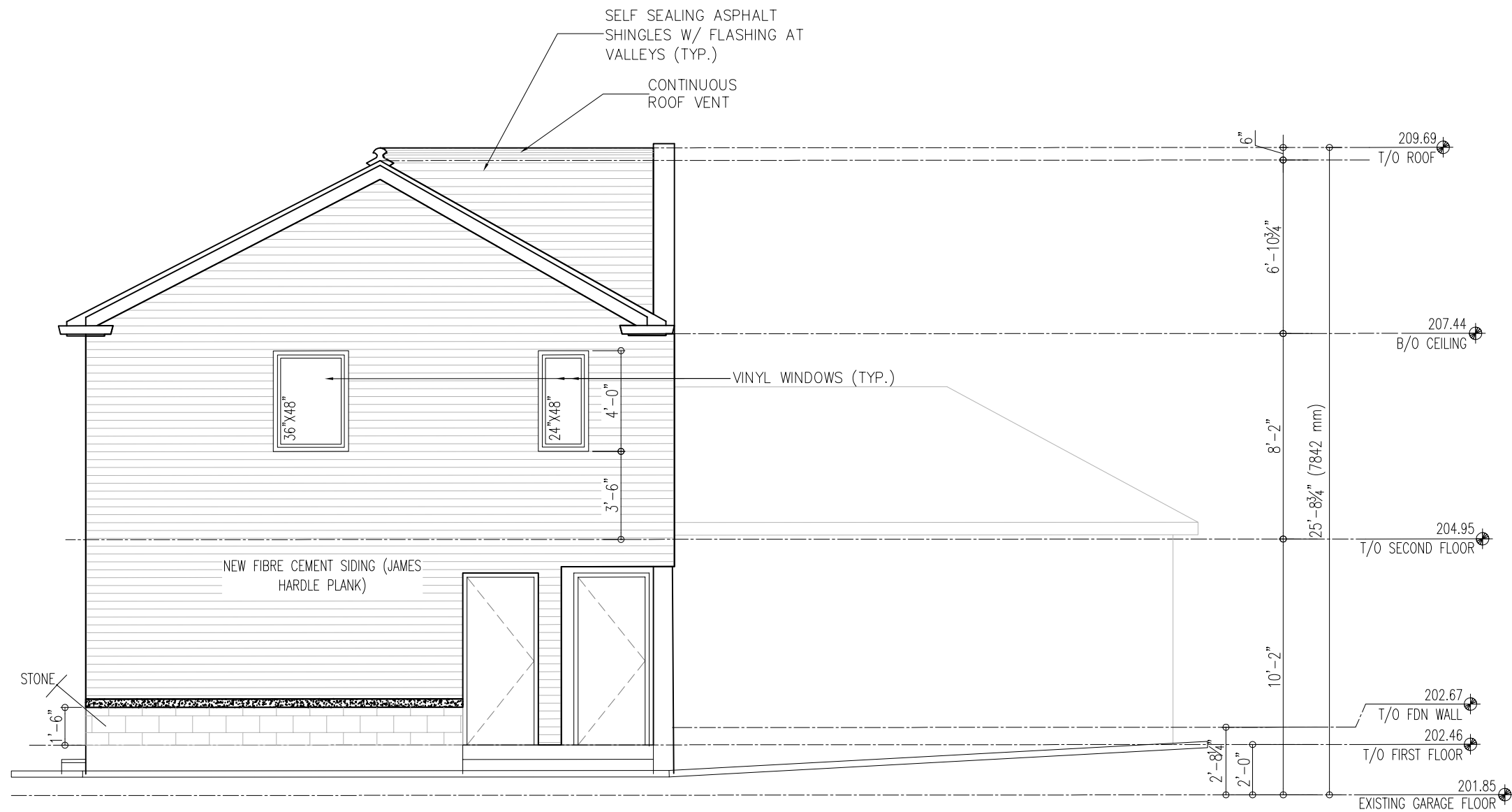
NORTH ELEVATION

UNPROTECTED OPENING CALCULATION
FACING STREET

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NORTH ELEVATION

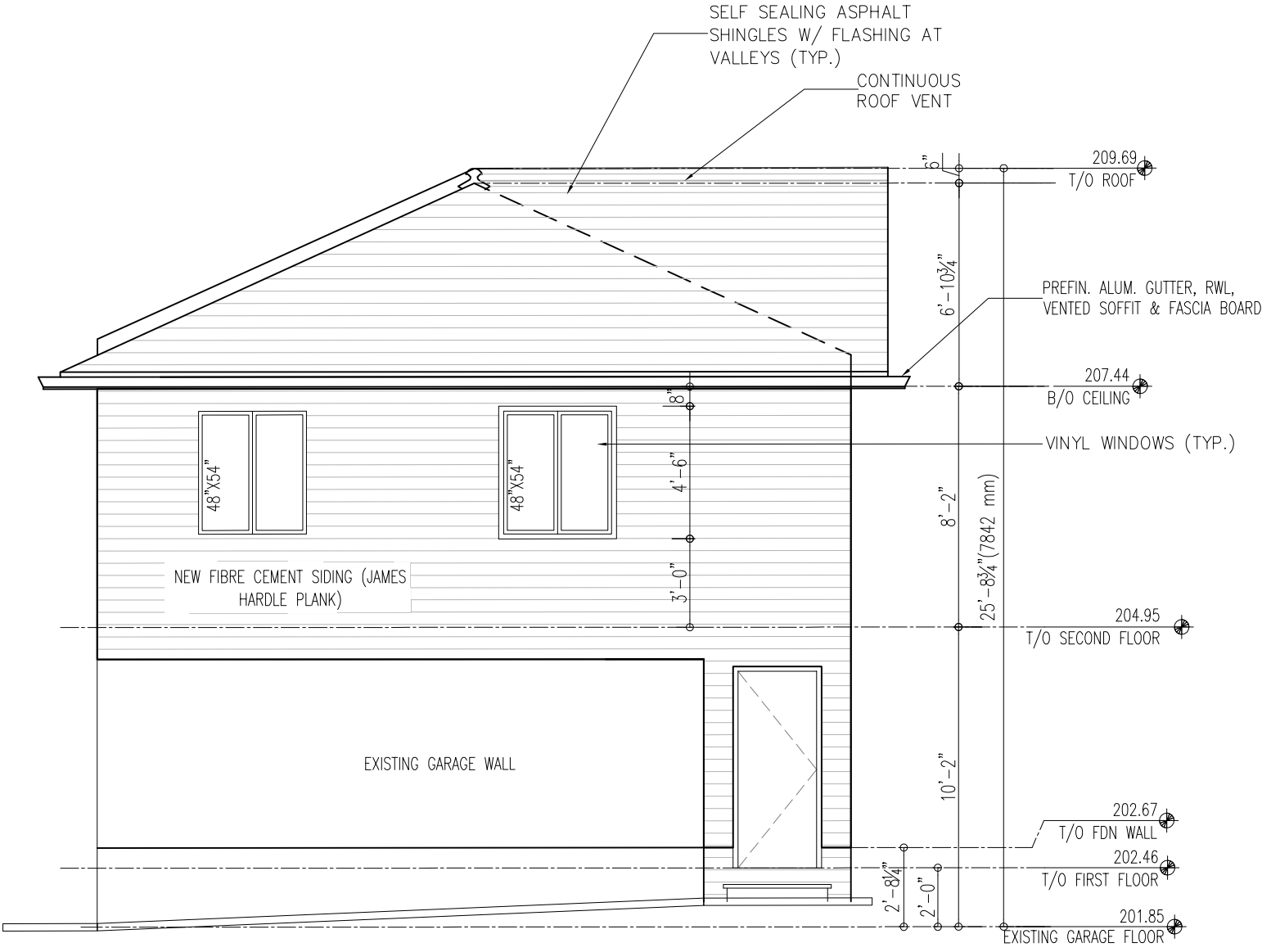
A-06



**SOUTH ELEVATION**

UNPROTECTED OPENING CALCULATION	
LIMITING DISTANCE	: 1.20 M (4'-0")
WALL AREA	: 37.98 SM (408.87 SF)
OPENINGS ALLOWED	: 2.57 SM (7%)
OPENING PROPOSED	: 1.67 SM (18.0 SF) (4.4%)

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PROJECT:		<b>PROPOSED COACH HOUSE</b> 264 Riverlands AVE MARKHAM ON L6B 0W2							
DRAWING TITLE :		<b>A-07</b>							



WEST ELEVATION

UNPROTECTED OPENING CALCULATION	
LIMITING DISTANCE	: 1.67 M (5'-5 5/8")
WALL AREA	: 41.37 SM (445.29 SF)
OPENINGS ALLOWED	: 3.22 SM (8%)
OPENING PROPOSED	: 3.01SM (32.4 SF) (7.27%)

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DRAWING TITLE :		A-08
WEST ELEVATION		

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PROJECT:

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264 Riverlands AVE  
MARKHAM ON L6B 0W2

DRAWING TITLE :

WEST ELEVATION

A-08

LICENSED PROFESSIONAL ENGINEER

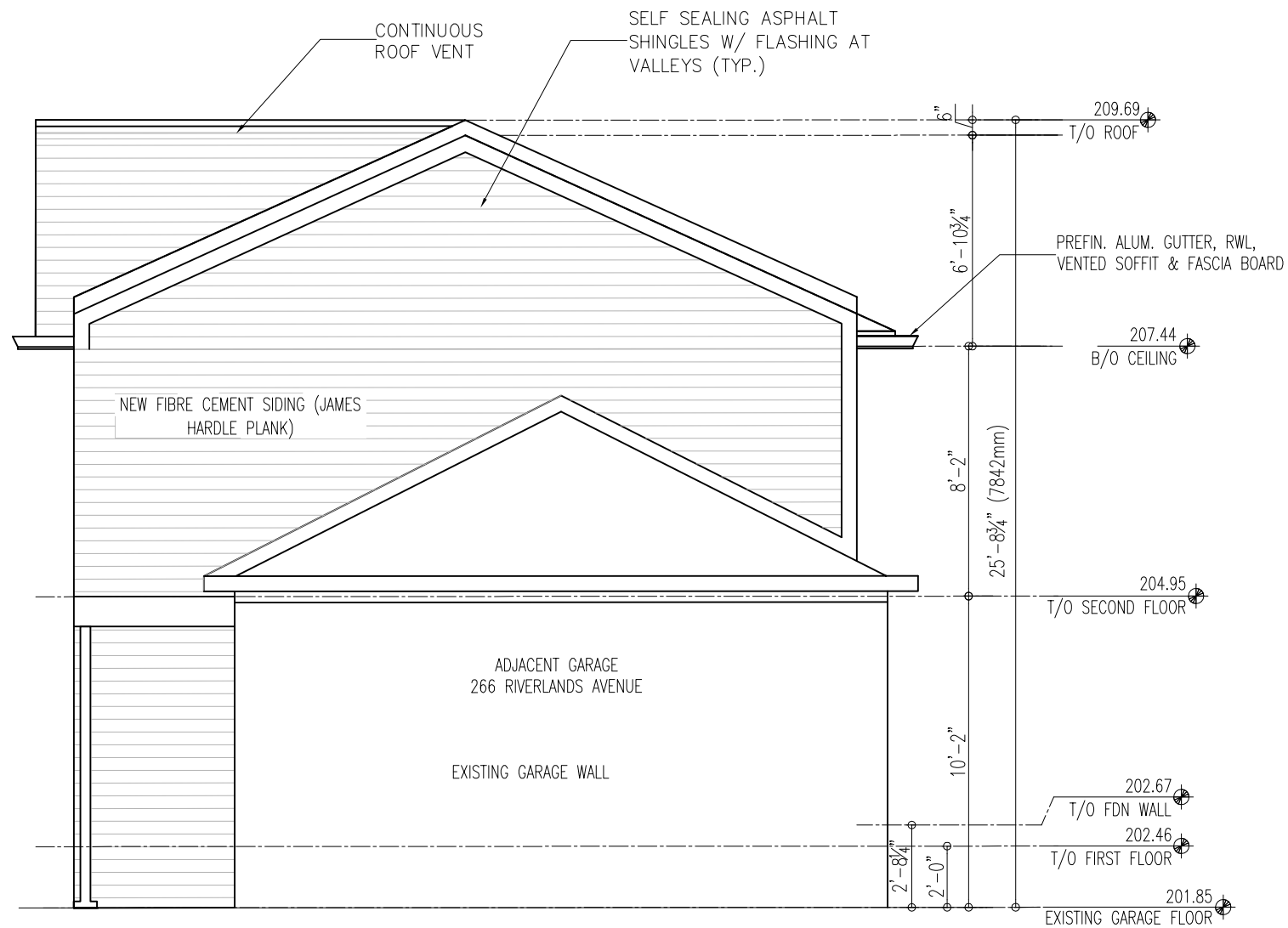
S. R. SHAH

100123131

APRIL 03, 2020

PROVINCE OF ONTARIO





EAST ELEVATION

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DRAWING TITLE :			A-09			
EAST ELEVATION						