

## Memorandum to the City of Markham Committee of Adjustment

March 4, 2019

**File:** A/112/17  
**Address:** 104 Glen Cameron Road, Thornhill  
**Applicant:** Ron Pansino  
**Owners:** Kiril Penkov & Teodora Buhteva  
**Hearing Date:** March 13, 2019

Further to our previous comments provided to the Committee of Adjustment for the September 13, 2017 Hearing (see Attachment 1), the following revised comments are provided on behalf of the West Team:

The applicant is requesting relief from the requirements of By-law 2237, as amended to permit:

a) **Section 4.1:**

a second dwelling unit, whereas the By-law permits no more than one single detached dwelling on one lot;

b) **Infill By-law 101-90, Section 1.2 (i):**

a maximum building height of 9.22 m (30.24 ft.); whereas the By-law permits a maximum building height of 8.6 m (28.2 ft.);

c) **Amending By-law 61-94, Section 4:**

a minimum east side yard setback of 1.3 m (4.26 ft.); whereas the By-law requires a minimum side yard setback of 1.8 m (5.9 ft.);

d) **Amending By-law 61-94, Section 4:**

a minimum west side yard setback of 0.27 m (0.88 ft.), to an existing one storey carport, whereas the By-law requires a side yard setback of 1.2 m (3.9 ft.);

The requested variances relate to an addition to the existing dwelling.

### COMMENTS

This application was deferred sine die at the September 13, 2017 to provide the applicant an opportunity to confirm with Zoning staff whether any additional variances were required, including, to permit a "Second Dwelling Unit", and re-circulate / re-notify the application, if required. A Zoning Preliminary review (file no. ZPR 17 176805) was completed on May 2, 2018 to confirm the required variances as noted above.

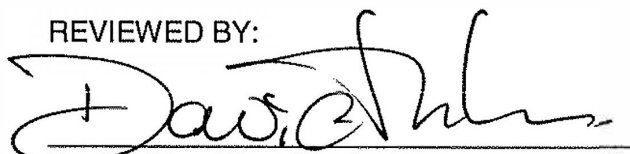
Planning Staff have reviewed the revised application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and have no concerns with this application. However, the onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Should the Committee see merit in approving the revised application as requested, it is recommended that the conditions provided in Appendix "A" be attached to any approval of this application.

PREPARED BY: 

Rick Cefaratti, Planner, West District

REVIEWED BY:



David Miller, West District Manager

## **APPENDIX "A"**

### **CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/112/17**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Director of Planning and Urban Design or their designate;
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design or designate.
6. That the reduced west side yard setback of 0.27 m (0.88 ft.) only applies to allow an unenclosed carport with no walls.
7. Submission and approval of a siting / grading plan of the property, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Engineering or designate;
8. That subject to the review and approval of a siting/grading plan, the owner demonstrate that there is no negative impact along any abutting property respecting surface water drainage, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Engineering or designate;

CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read "Rick Cefaratti". The signature is fluid and cursive, with the first name "Rick" and last name "Cefaratti" clearly distinguishable.

Rick Cefaratti, MCIP, RPP, Planner II, West District

File Path: Amanda\File\17 171072\Documents\District Team Short Report Memo

# 104 GLEN CAMERON RD

## ADDITION / ALTERATION

| SHEET LIST   |   |
|--------------|---|
| SHEET NUMBER | SHEET NAME                                |
| A000         | COVER PAGE                                |
| A100         | CONSTRUCTION NOTES                        |
| A102         | EXISTING/DEMO. & PROPOSED FOUNDATION PLAN |
| A103         | PROPOSED FIRST & SECOND FLOOR PLANS       |
| A104         | ROOF PLAN DEMOLISHED & PROPOSED           |
| A105         | EXISTING / PROPOSED SOUTH ELEVATION       |
| A106         | EXISTING / PROPOSED WEST ELEVATION        |
| A107         | EXISTING / PROPOSED NORTH ELEVATION       |
| A108         | EXISTING / PROPOSED EAST ELEVATION        |
| A109         | BUILDING SECTIONS                         |
| A110         | BUILDING SECTIONS CONTINUED               |
| A111         | DETAILS                                   |
| S-01         | FOUNDATION PLAN                           |
| S-02         | GROUND FLOOR PLAN                         |
| S-03         | SECOND FLOOR PLAN                         |

| Item                      | Ontario Building Code Data Matrix  |   |  |   |                              |  | OBC Reference                   |  |                                  |
|---------------------------|--|---|--|---|------------------------------|--|---------------------------------|--|----------------------------------|
| 1                         | Project Description  |   |  | <input type="checkbox"/> New<br><input checked="" type="checkbox"/> Addition<br><input type="checkbox"/> Change of Use<br><input checked="" type="checkbox"/> Alteration                  |                              |  | <input type="checkbox"/> Part 3 | <input checked="" type="checkbox"/> Part 9 | <input type="checkbox"/> Part 11 |
| 2                         | Major Occupancy(s) C   |   |  |   |                              |  | 3.1.2.1.(1)                     | 9.10.2.                                    | --                               |
| 3                         | Building Area (sq. m) Existing 93.8 New 59.8 Total 153.6   |   |  |   |                              |  | 1.4.1.2[A]                      | 1.4.1.2[A]                                 | --                               |
| 4                         | Gross Area (sq. m) Existing 93.8 New 137.6 Total 231.4   |   |  |   |                              |  | 1.4.1.2[A]                      | 1.4.1.2[A]                                 | --                               |
| 5                         | Number of Storeys Above grade 2 Below grade 0  |   |  |   |                              |  | 1.4.1.2[A] & 3.2.1.1            | 1.4.1.2[A]                                 | --                               |
| 6                         | Number of Streets/Access Routes 1  |   |  |   |                              |  | 3.2.2.10 & 3.2.5                | 9.10.20                                    | --                               |
| 7                         | Building Classification RESIDENTIAL  |   |  |   |                              |  | 3.2.2.23                        | 9.10.2.                                    | --                               |
| 8                         | Sprinkler System Proposed  |   |  | <input type="checkbox"/> Entire Building<br><input type="checkbox"/> Basement only<br><input type="checkbox"/> In lieu of roof rating<br><input checked="" type="checkbox"/> Not required |                              |  | 3.2.2.23                        | 9.10.8.2.                                  | --                               |
| 10                        | Standpipe required   |   |  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |                              |  | 3.2.9.1                         | N/A  | --                               |
| 11                        | Fire Alarm Required  |   |  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |                              |  | 3.2.4                           | 9.10.15.                                   | --                               |
| 12                        | Water Service/Supply is Adequate   |   |  | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   |                              |  | 3.2.5.7                         | N/A  | --                               |
| 13                        | High Building  |   |  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |                              |  | 3.2.6                           | N/A  | --                               |
| 14                        | Permitted Construction <input checked="" type="checkbox"/> Combustible   |   |  | <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both  |                              |  | 3.2.2.23                        | 9.10.6.                                    | --                               |
|                           | Actual Construction <input checked="" type="checkbox"/> Combustible  |   |  | <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both  |                              |  |                                 |  |                                  |
| 15                        | Mezzanine(s) Area (sq.m) n/a   |   |  |   |                              |  | 3.2.1.1.(3)-(8)                 | 9.10.4.1                                   | --                               |
| 16                        | Occupant load based on <input type="checkbox"/> sq.m/Person <input checked="" type="checkbox"/> Design of Building |   |  |   |                              |  | 3.1.17                          | 9.10.1.3.                                  | --                               |
|                           | 1st Floor Occupancy: -- Load 4 Persons   |   |  |   |                              |  |                                 |  |                                  |
|                           | 2nd Floor Occupancy: -- Load 6 Persons   |   |  |   |                              |  |                                 |  |                                  |
| 17                        | Barrier-free Design  |   |  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)   |                              |  | 3.8                             | 9.6.2.                                     | --                               |
| 18                        | Hazardous Substances   |   |  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |                              |  | 3.3.1.2 & 3.3.1.20              | 9.10.1.3 (4)                               | --                               |
| 19                        | Required Fire Resistance Rating (FRR)  | Horizontal Assemblies FRR (Hours)       |  | Listed Design No. or Description (SG-2)   |                              |  | 3.2.2.23 & 3.2.1.4              | 9.10.8. & 9.10.9                           | --                               |
| Floors 0 Hours            |  |   |  |   |                              |  |                                 |  |                                  |
| Roof 0 Hours              |  |   |  |   |                              |  |                                 |  |                                  |
| Mezzanine 0 Hours         |  |   |  | NON-COMBUSTIBLE CONSTRUCTION  |                              |  | 3.2.2.23 (2)                    |  |                                  |
| FRR of Supporting Members |  | Listed Design No. or Description (SG-2) |  |   |                              |  |                                 |  |                                  |
| Floors N/A Hours          |  |   |  |   |                              |  |                                 |  |                                  |
|                           |  | Roof N/A Hours                          |  |   |                              |  |                                 |  |                                  |
|                           |  | Mezzanine 0 Hours                       |  |   | NON-COMBUSTIBLE CONSTRUCTION |  |                                 | 3.2.2.23                                   |                                  |



PROFESSIONAL ENGINEER

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 www.tbmeinc.com  
 dmeng@tbmeinc.com



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Project Address

104 GLEN CAMERON

Drawing Name

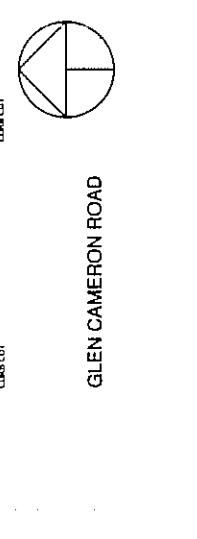
COVER PAGE

Drawn by SP Date 11/19/16

Checked by JG Scale 1:1

Drawing No.

A000



1 SITE 1:150

**Key Words:**

1:1  
SITE CALCULATIONS

1. SIZES FOR STEEL  
2. SIZES FOR WOOD

ALL DIMENSIONS SHALL NOT EXCEED 0.01 INCHES  
FOR STEEL AND 0.015 INCHES FOR WOOD OR GRAVEL  
FOR SAND AND NO DIMENSION SHALL BE MORE THAN 0.075 INCHES  
FOR SAND OR GRAVEL

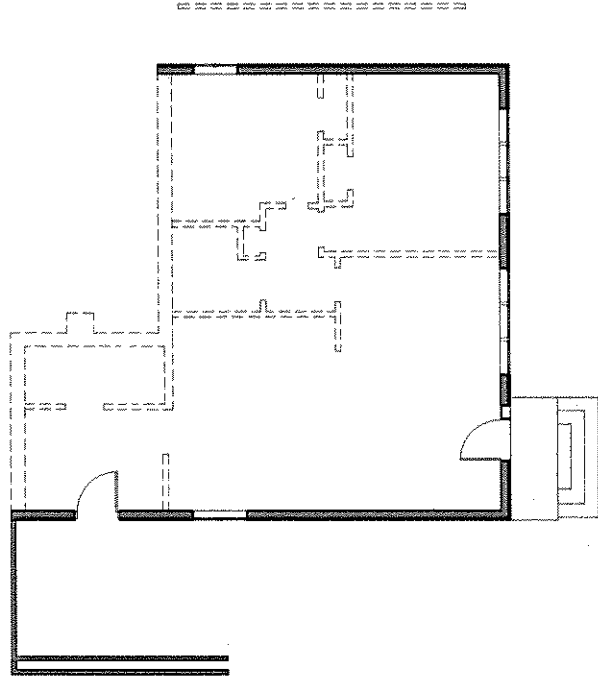
ALL DIMENSIONS SHALL BE SPACED PER FIGURE 102  
AND SHALL BE DEFINED BY A GAUGE STAMP

WOOD FRAME CONSTRUCTION

The drawing shows a cross-section of a wooden frame. It includes a top rail, a bottom rail, and two vertical stiles. The top rail has a width of 1 1/2 inches. The bottom rail has a width of 1 1/2 inches. The stiles have a width of 1 1/2 inches. The height of the frame is 6 1/2 inches. The distance between the stiles is 5 1/2 inches. The drawing also shows a detail of a joint between the top rail and a stile, with dimensions 1 1/2 inches and 1 1/2 inches. A note at the bottom states: 'ALL DIMENSIONS SHALL NOT EXCEED 0.01 INCHES FOR STEEL AND 0.015 INCHES FOR WOOD OR GRAVEL FOR SAND AND NO DIMENSION SHALL BE MORE THAN 0.075 INCHES FOR SAND OR GRAVEL'. Another note at the bottom states: 'ALL DIMENSIONS SHALL BE SPACED PER FIGURE 102 AND SHALL BE DEFINED BY A GAUGE STAMP'. A title at the bottom reads 'WOOD FRAME CONSTRUCTION'.

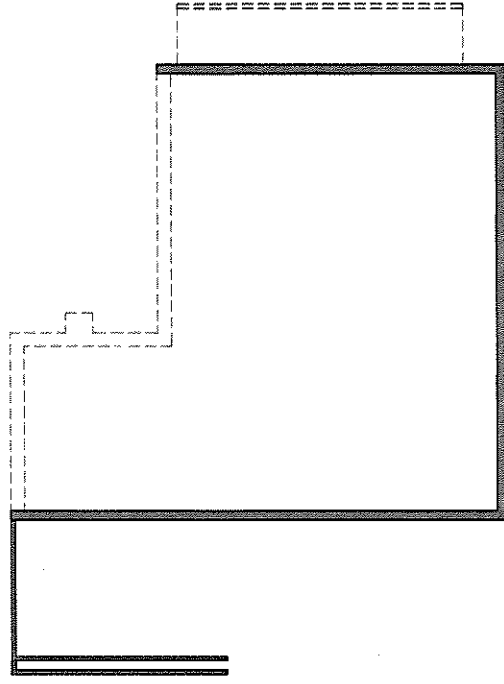
WATER/MOISTURE CONTENT TO BE 1% AT THE TIME OF INSTALLATION.

WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM CONCRETE WITH 3/8" POLYETHYLENE MEMBRANE SHEETING. ALL WOOD MEMBERS SHALL BE TREATED WITH 12% CREOSOTE OR ANOTHER BOAT LANTERN OIL OR 2% CRYSTALLINE BORATE.



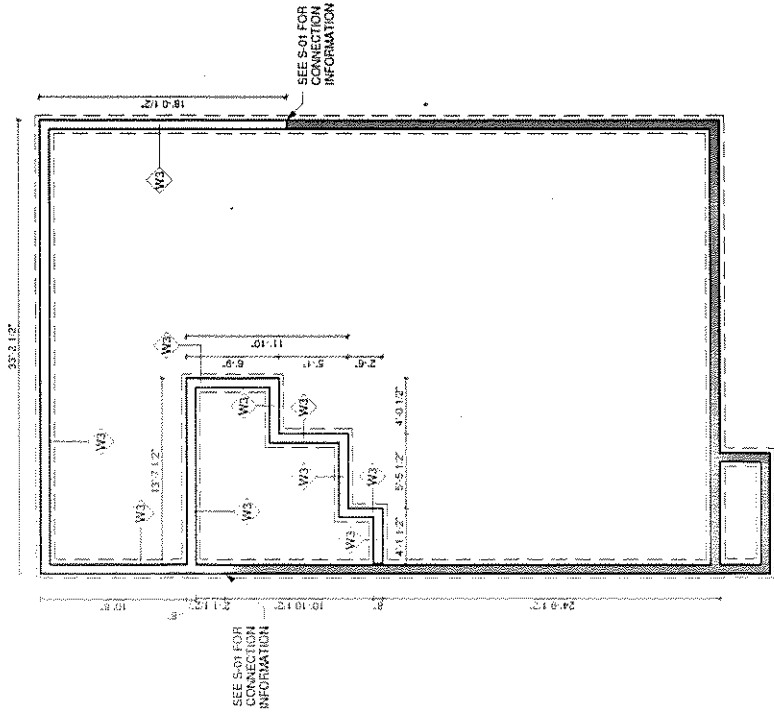
1ST FLOOR - DEMO

2 1:75



FOUNDATION - DEMO

1 1:75



FOUNDATION PROPOSED

3 1:75

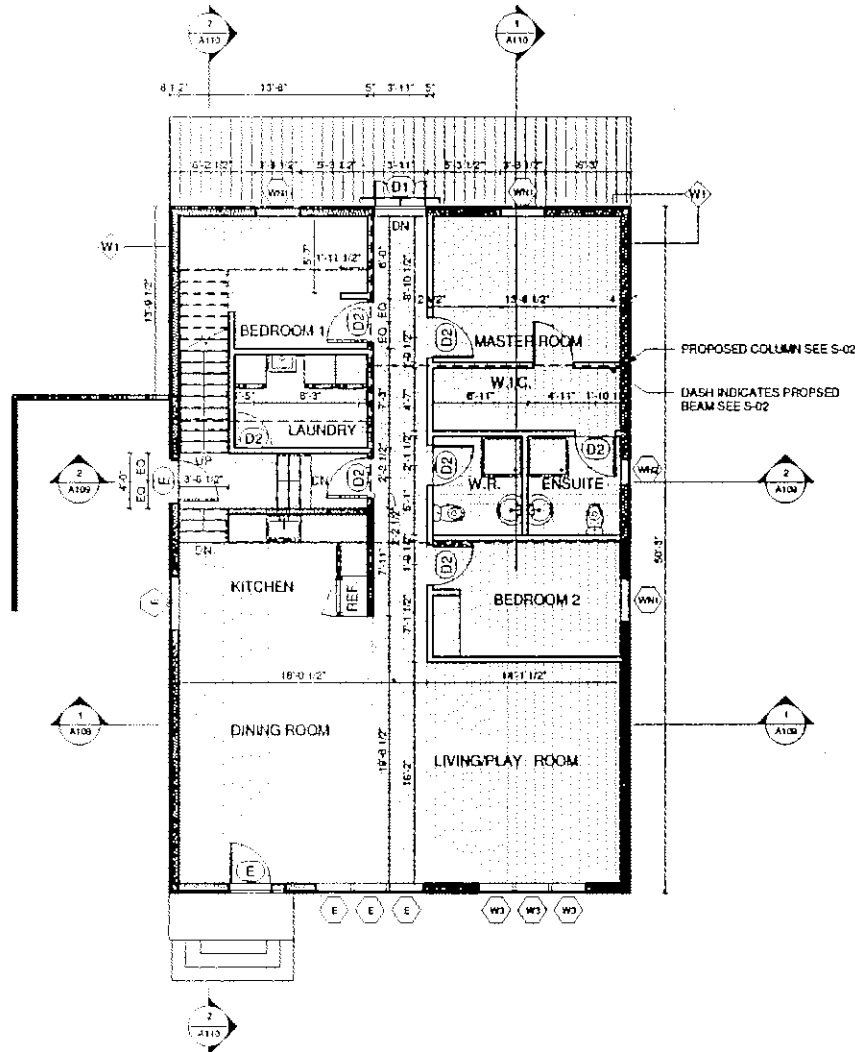


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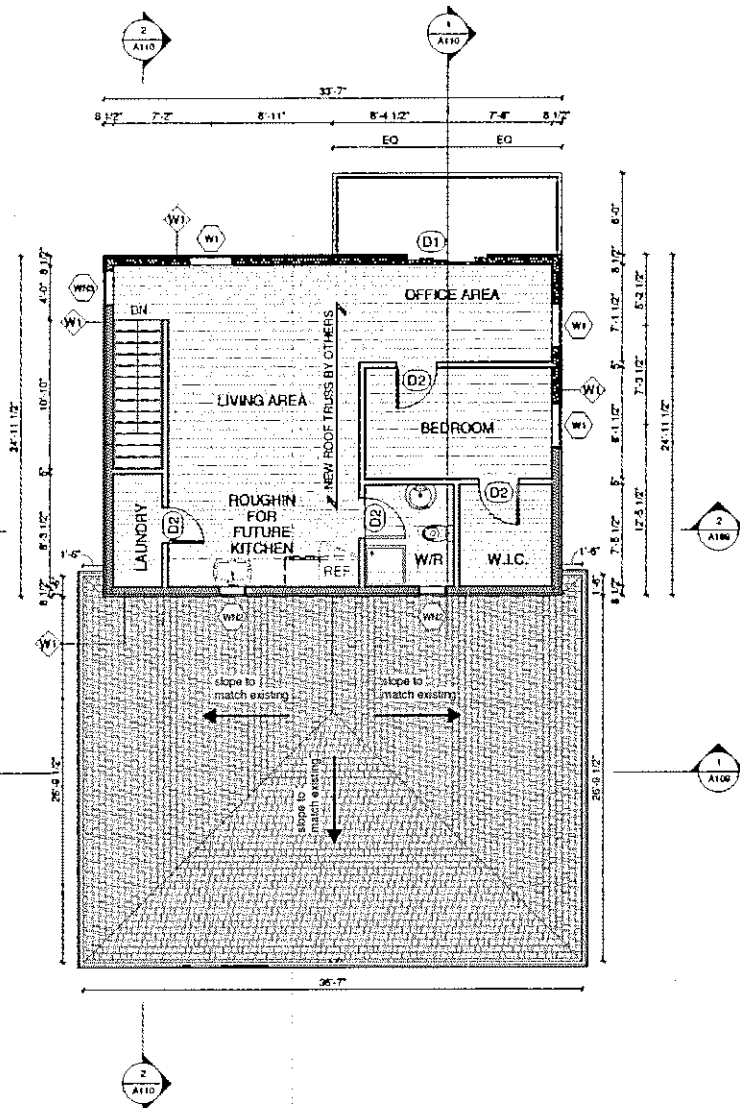


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Project Address:  
104 GLEN CAMERON  
EXISTING DEMO & PROPOSED FOUNDATION PLAN  
Client: SP Date: 06/08/16  
Drawing: JO Scale: 1/75  
Drawing No: A102

GENERAL NOTE:  
PROPOSED UNTELS FOR EXTERIOR OPENINGS, REFER TO S-02 & S-03.



2 PROPOSED - 1ST FLOOR  
1:75



1 PROPOSED - 2ND FLOOR  
1:75



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Project Address  
101 GLEN CAMERON

Drawn by  
SP  
Checked by  
JG  
Scale  
1:75

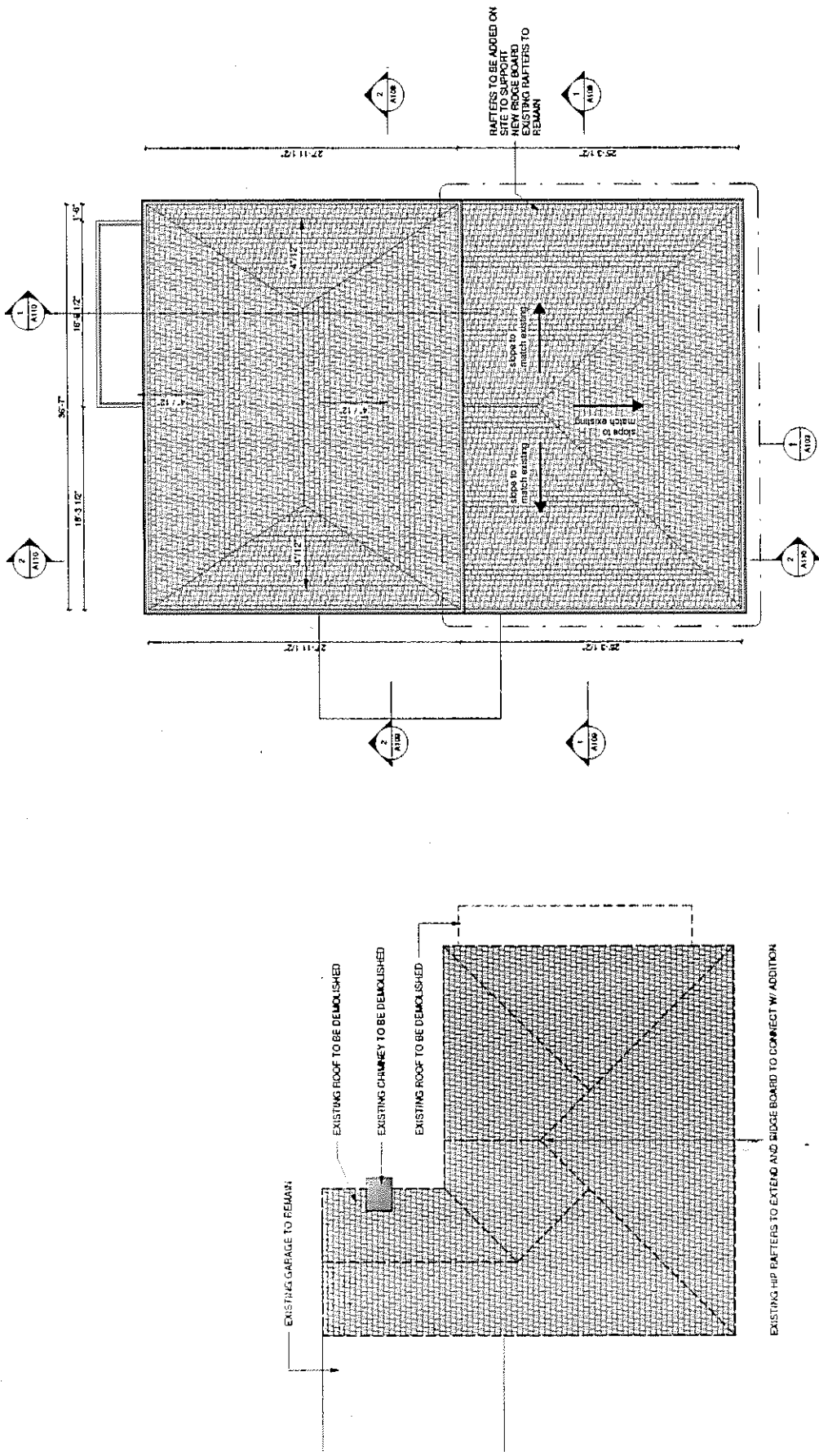
Drawn by  
JG  
Scale  
1:75



Drawing No.

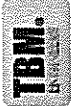
A103





1 ROOF DEMOLITION PLAN  
1:75

2 PROPOSED ROOF PLAN  
1:75



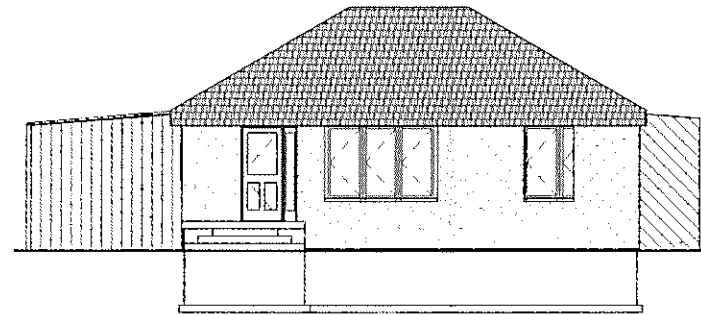
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|                  |                                 |
|------------------|---------------------------------|
| Project Address: | 101 GLEN CAMERON                |
| Client:          | ROOF PLAN DEMOLISHED & PROPOSED |
| Drawn by:        | SP                              |
| Check by:        | SP                              |
| Scale:           | 1:75                            |
| Sheet No.:       | A104                            |

2 EXISTING SOUTH  
ELEVATION  
1:75



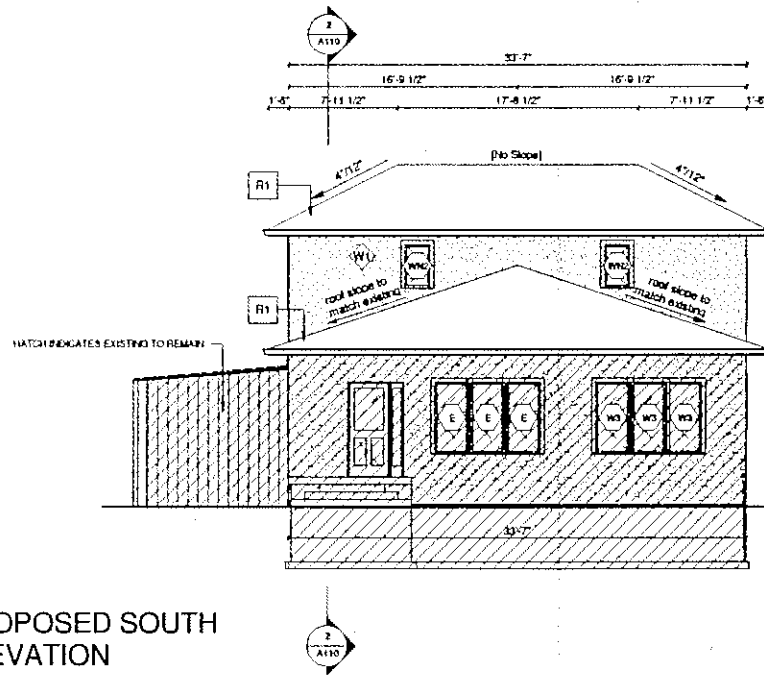
TOP OF EXISTING ROOF  
5,736

1ST FLOOR  
660

GRADE  
0

T/O FOOTING  
-1,219

1 PROPOSED SOUTH  
ELEVATION  
1:75



TOP OF ROOF EXTENSION  
7,614

U/S OF SOFFIT  
6,039

2ND FLOOR  
3,327

1ST FLOOR  
660

GRADE  
0

T/O FOOTING  
-1,219



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Project Address  
104 GLEN CAMERON

Drawing Name  
EXISTING /  
PROPOSED SOUTH  
ELEVATION

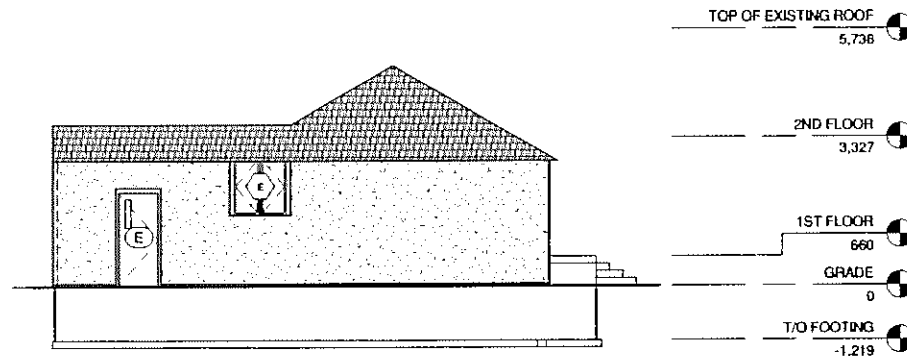
Drawn by  
SP

Checked by  
JG

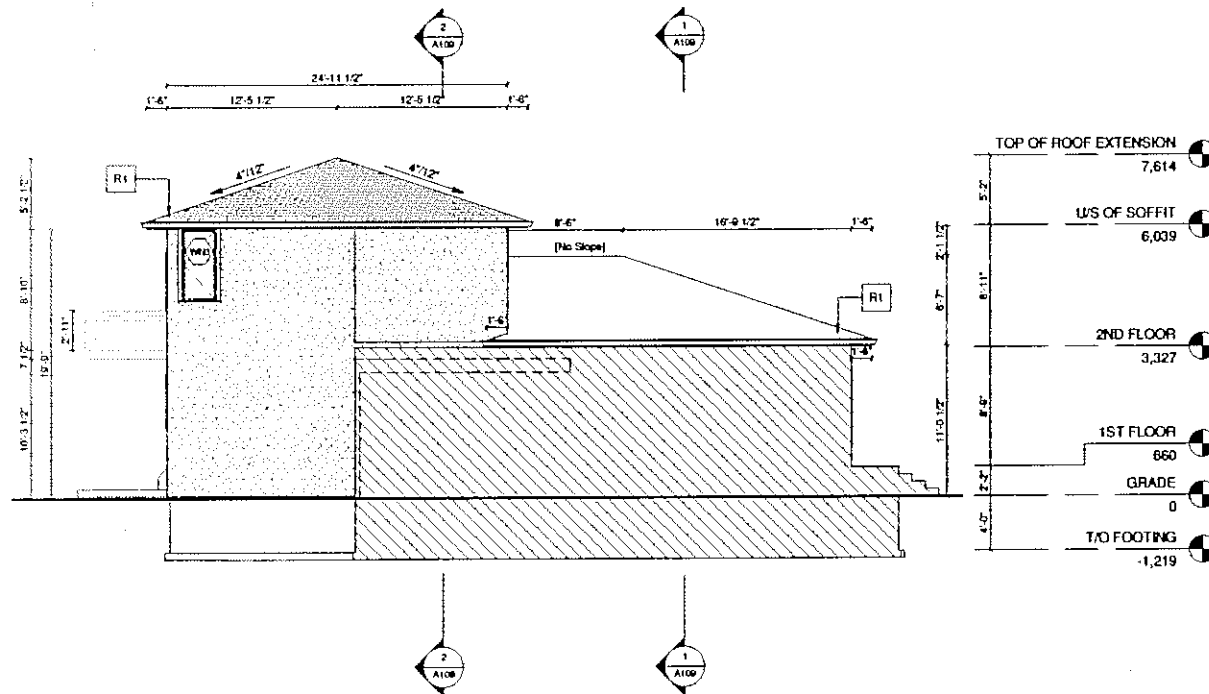
Date  
25-08-16

Scale  
1:75

Drawing No.  
A105



2  
EXISTING WEST  
ELEVATION  
1:75



1  
PROPOSED WEST  
ELEVATION  
1:75



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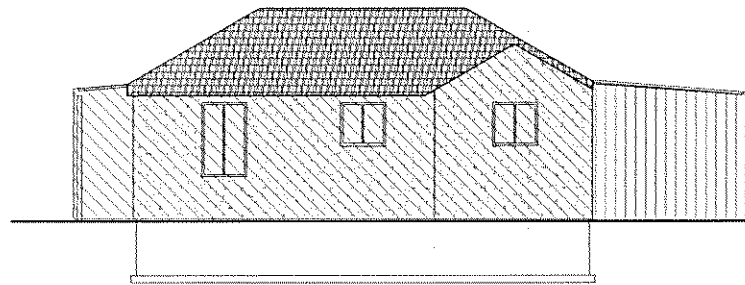
Project Address:  
104 GLEN CAMERON

Drawing Name:  
EXISTING/  
PROPOSED WEST  
ELEVATION

Drawn by: SP Date: 05/09/16

Drawn by: JG Date: 1:75

Drawing No:  
A106



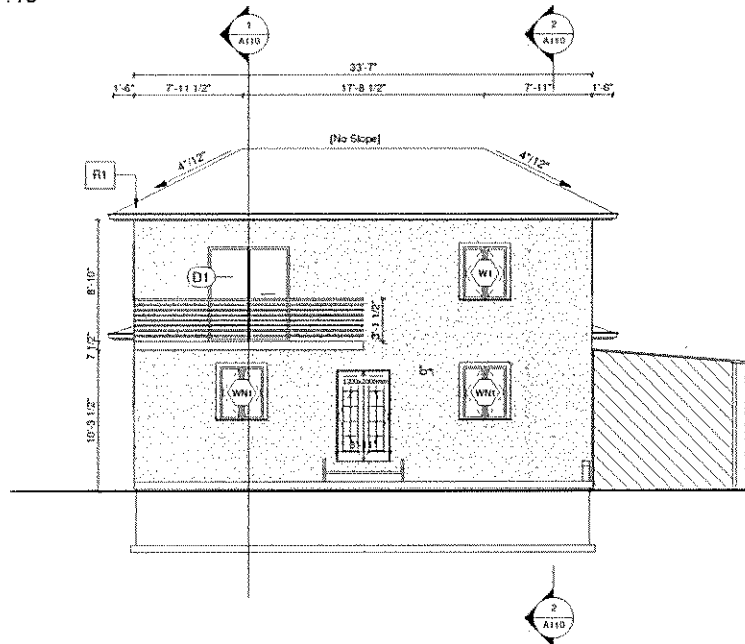
TOP OF EXISTING ROOF  
5,736

1ST FLOOR  
660

GRADE  
0

T/O FOOTING  
-1,219

2 EXISTING NORTH  
ELEVATION  
1:75



TOP OF ROOF EXTENSION  
7,614

U/S OF SOFFIT  
6,039

2ND FLOOR  
3,327

1ST FLOOR  
660

GRADE  
0

T/O FOOTING  
-1,219

1 PROPOSED NORTH  
ELEVATION  
1:75



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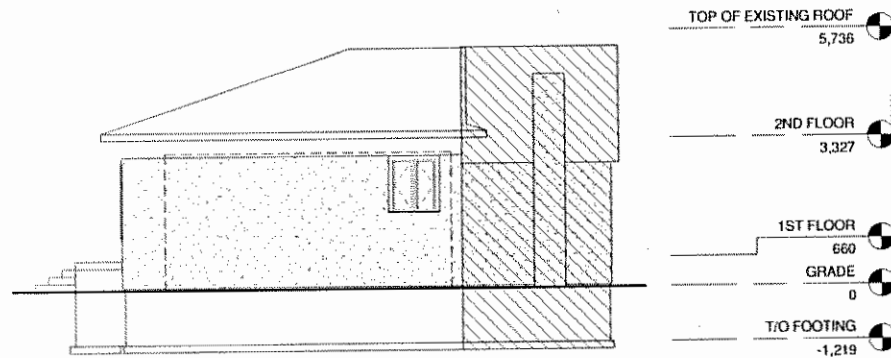
Project Address  
104 GLEN CAMERON

Drawing Name  
EXISTING / PROPOSED NORTH ELEVATION

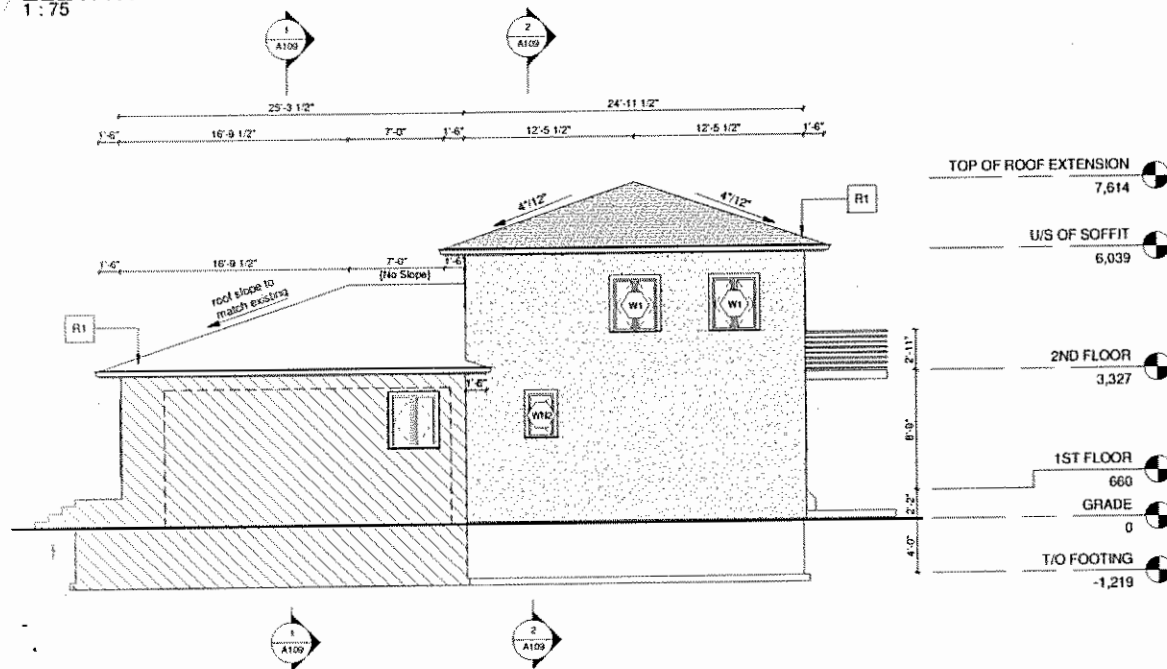
Drawn by SP Date 08/19/16

Check by JG Scale 1/75

Drawing No.  
A107



2 EXISTING EAST ELEVATION  
1:75



1 PROPOSED EAST ELEVATION  
1:75



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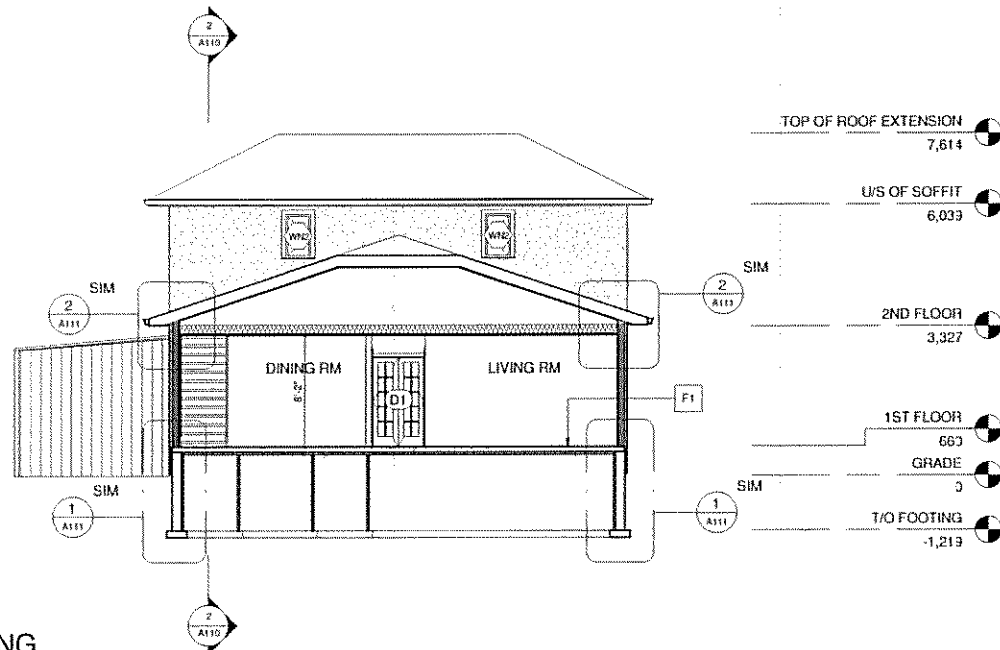
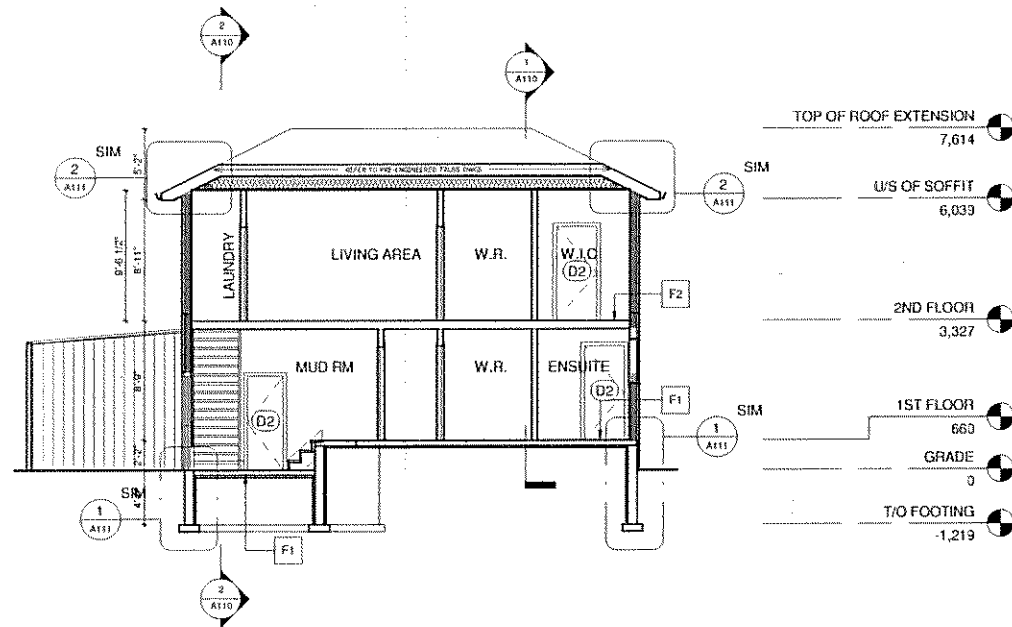
Project Address  
104 GLEN CAMERON

Drawing Name  
EXISTING / PROPOSED EAST ELEVATION

Drawn by SP Date 08/19/16

Check by JIG Scale 1:75

Drawing No.  
A108



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Architectural Services

Project Address

104 GLEN CAMERON

Drawing Name

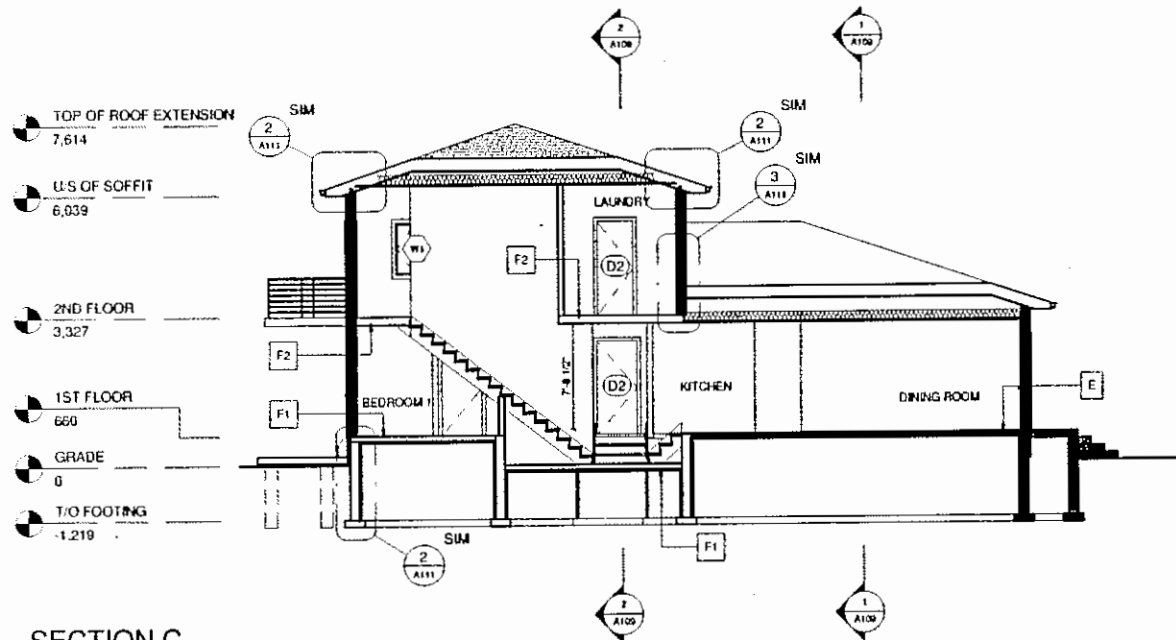
BUILDING SECTIONS

Chk by SP Date 05/09/16

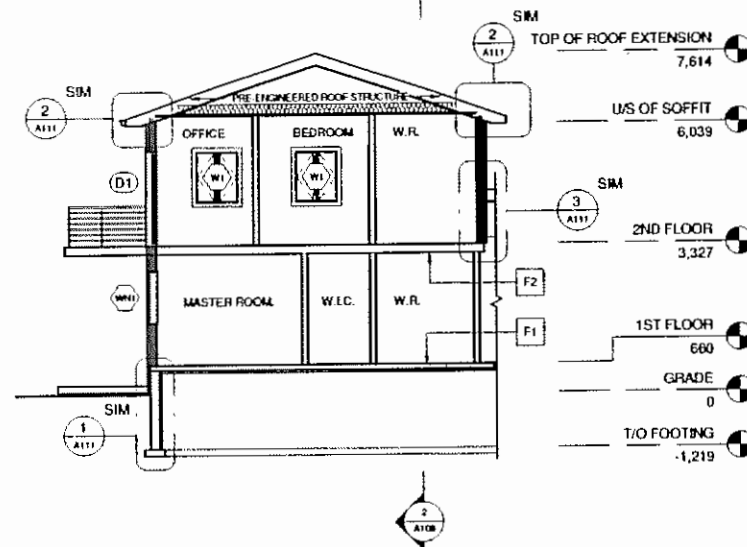
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Drawing No.

A109



SECTION C -  
PROPOSED/EXISTING N/S  
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WALL SECTION A -  
BALCONY  
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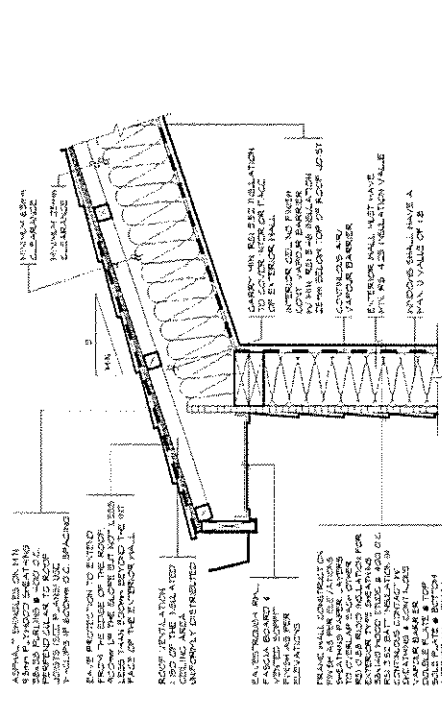
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Project Address:  
104 GLEN CAMERON

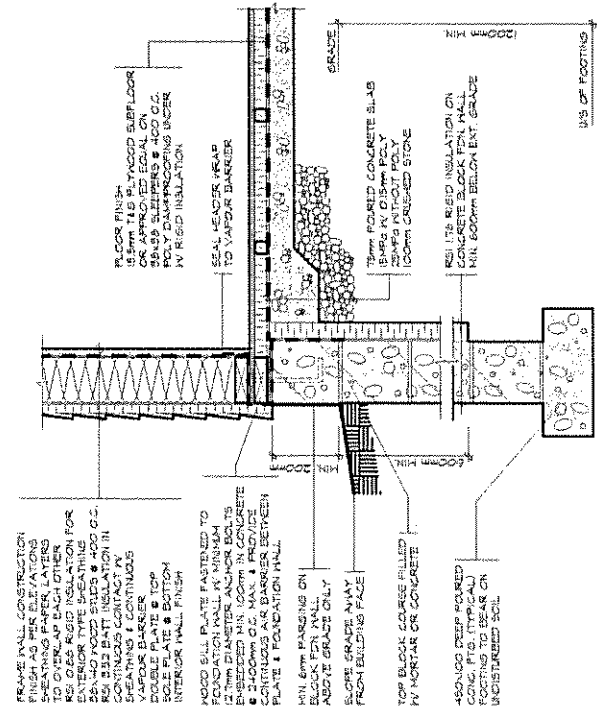
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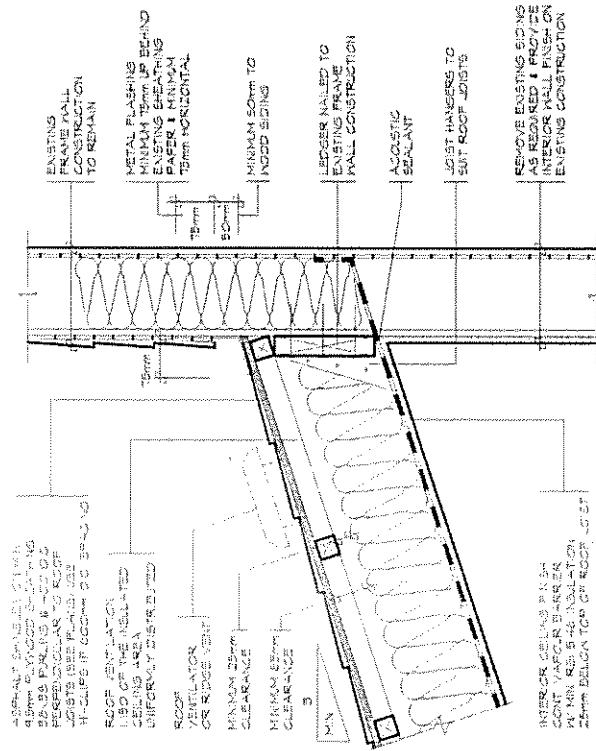
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**A110**



## SOFFIT DETAIL



## FOOTING DETAIL



## ROOF CONNECTION



## Memorandum to the City of Markham Committee of Adjustment

September 7, 2017

**File:** A/112/17  
**Address:** 104 Glen Cameron Road, Thornhill  
**Applicant:** Ron Pansino  
**Owners:** Kiril Penkov & Teodora Buhteva  
**Hearing Date:** Wednesday September 13, 2017

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of By-law 2237, as amended:

**a) Section 2.11:**

to permit a second kitchen on the second floor within a single residential dwelling unit; whereas, the By-law definition of 'Dwelling, Single Family' permits one kitchen within a single residential dwelling unit;

**b) Infill By-law 101-90, Section 1.2 (i):**

a maximum building height of 9.22 m whereas the By-law permits a maximum building height of 8.6 m;

**c) Amending By-law 61-94, Section 4:**

a minimum east side yard setback of 1.49 m whereas the By-law requires a minimum side yard setback of 1.8 m; as it relates to an addition to the existing dwelling.

## BACKGROUND

### Property Description

The 650 m<sup>2</sup> property is located on the north side of Glen Cameron Road, approximately 45 m east of Lillian Avenue. The property contains a one storey detached dwelling constructed circa 1953 and mature vegetation. To the north, east and west of the property are single detached dwellings, and to the south across Glen Cameron Road is a two storey industrial building containing a courier company and a tire retailer.

### Proposal

The applicant is proposing a second storey addition to the existing dwelling while providing the same side yard setbacks as the first floor.

### Official Plan & Zoning

#### Official Plan

The site is designated 'Residential Low Rise' in the 2014 Official Plan (partially approved as of October 29, 2015, May 26, 2016, March 10, 2017 & April 21, 2017) which provides for low rise housing forms including single detached dwellings.

#### Zoning By-law

The property is zoned R4S (Residential Fourth Density Special) under By-law 2237, as amended which permits single detached dwellings. This zone category only permits one kitchen within a single residential dwelling unit.

#### Residential Infill Zoning By-law

The property is also subject to Residential Infill Zoning By-law 101-90, which amends By-law 2237. The intent of this by-law amendment is to ensure that any redevelopment of existing residential dwellings reflects the prevailing established and stable character of the neighbourhood. In order to maintain the character of the existing neighbourhood, the infill by-law specifies zoning standards for building depth, garage projection, garage width, floor area ratio, height, front yard setback and number of stories.

#### **Applicant's Stated Reason(s) for Not Complying with Zoning**

According to the information provided by the applicant on the application form, the *"Building exists. Constructed 1953"*.

#### **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

#### Second Kitchen Variance

The applicant is proposing a second kitchen, whereas, a maximum of one kitchen is permitted. Staff have no objections in principle to the requested variance. However, based on the plans submitted with the application, the second kitchen will be located within the proposed second floor addition which also contains a bedroom and washroom and this area appears to be consistent with the definition of a "Secondary Suite" described in the City's 2014 Official Plan. A Secondary Suite is defined as "a second residential unit in a detached house, semi-detached house or rowhouse that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking, sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons.

The owner may be required to submit an additional variance application if the proposed renovations are deemed to be a "Secondary Suite" through the Building Permit process.

#### Increased Building Height Variance

The applicant is proposing a maximum building height of 9.22 m, whereas, a maximum building height of 8.6 m is permitted. This represents an increase 0.62 m or approximately 7 percent. Building Height is measured from the centre line of the road to the peak of the roof ridge. Staff does not anticipate any adverse impacts to adjacent property owners as a result of the requested variance.

#### Reduced Side Yard Setback

The applicant is proposing a reduced a minimum east side yard setback of 1.49 m, whereas, a minimum side yard setback of 1.8 m is required. The applicant is proposing to align the proposed second floor exterior wall with the existing first floor exterior wall. Staff does not anticipate any adverse impacts to adjacent property owners as a result of the requested variance.

#### Tree Preservation

Should the Committee decide to approve this application, Staff recommends that the owner be required, as a condition of approval, to submit a tree assessment and preservation plan in accordance with the City of Markham, Trees for Tomorrow Streetscape Manual, as amended, to the satisfaction of the Director of Planning and Urban Design Department prior to site work. In addition, subject to review of the tree assessment and preservation plan, tree replacement fees are to be paid to the City of Markham, if required by the Director of Planning and Urban Design or his designate.

#### **PUBLIC INPUT SUMMARY**

No written submissions were received as of September 7, 2017. It is noted that additional comments may be received after the writing of this report, and the Secretary-Treasurer will provide comment on this at the Committee of Adjustment Hearing.

#### **Zoning Preliminary Review Not Undertaken**

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been undertaken. Consequently, it is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variances in the application contains errors, or if the need for additional variances are identified during the Building Permit review process, further variance application(s) may be required to address the outstanding matters and there will be a delay in application processing.

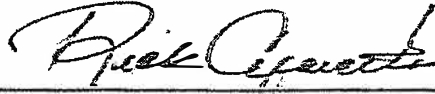
#### **CONCLUSION**

It is the opinion of the Planning staff that the requested variances meet the four tests of the Planning Act. However, it is recommended that the application is deferred to provide applicant an opportunity to confirm with the Zoning Department whether an additional variance is required to permit a "Second Dwelling Unit" as well as to re-circulate and re-notify the application, if required.

Notwithstanding the above, the onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Should the Committee see merit in approving the application as requested, it is recommended that the conditions provided in Appendix "A" be attached to any approval of this application.

PREPARED BY:



Rick Cefaratti, MCIP, RPP, Planner II, West District

REVIEWED BY:



David Miller, MCIP, RPP, Manager, West District

File Path: Amanda\Fila 17 171072\Documents\District Team Comments Memo

## **APPENDIX "A"**

### **CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/112/17**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Director of Planning and Urban Design or their designate;
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design or designate.

CONDITIONS PREPARED BY:



Rick Cefaratti, MCIP, RPP, Planner II, West District

104 GLEN CAMERON RD

ADDITION / ALTERATION

Appendix A

| SHEET LIST   |   |
|--------------|---|
| SHEET NUMBER | SHEET NAME                                |
| A000         | COVER PAGE                                |
| A100         | CONSTRUCTION NOTES                        |
| A102         | EXISTING/DEMO, & PROPOSED FOUNDATION PLAN |
| A103         | PROPOSED FIRST & SECOND FLOOR PLANS       |
| A104         | ROOF PLAN DEMOLISHED & PROPOSED           |
| A105         | EXISTING / PROPOSED SOUTH ELEVATION       |
| A106         | EXISTING / PROPOSED WEST ELEVATION        |
| A107         | EXISTING / PROPOSED NORTH ELEVATION       |
| A108         | EXISTING / PROPOSED EAST ELEVATION        |
| A109         | BUILDING SECTIONS                         |
| A110         | BUILDING SECTIONS CONTINUED               |
| A111         | DETAILS                                   |
| S-01         | FOUNDATION PLAN                           |
| S-02         | GROUND FLOOR PLAN                         |
| S-03         | SECOND FLOOR PLAN                         |

| Item | Ontario Building Code Data Matrix   | CBC Reference  |   |                                  |
|------|---|--|---|----------------------------------|
| 1    | Project Description<br><input type="checkbox"/> New<br><input checked="" type="checkbox"/> Addition<br><input type="checkbox"/> Change of Use<br><input checked="" type="checkbox"/> Alteration                                 | <input type="checkbox"/> Part 3  | <input checked="" type="checkbox"/> Part 9    | <input type="checkbox"/> Part 11 |
| 2    | Major Occupancy(s) C  | 3.1.2.1 (1)  | 9.10.2  | --                               |
| 3    | Building Area (sq m) Existing 81.8 New 59.8 Total 141.6   | 1.4.1.2(A)   | 1.4.1.2(A)                                    | --                               |
| 4    | Gross Area (sq m) Existing 81.8 New 117.8 Total 231.4   | 1.4.1.2(A)   | 1.4.1.2(A)                                    | --                               |
| 5    | Number of Storeys Above grade 2 Below grade 0   | 1.4.1.2(A) & 3.2.1.1   | 1.4.1.2(A)                                    | --                               |
| 6    | Number of Streets/Access Routes 1   | 3.2.2.10 & 3.2.5   | 9.10.20                                       | --                               |
| 7    | Building Classification RESIDENTIAL   | 3.2.2.23   | 9.10.2  | --                               |
| 8    | Sprinkler System Proposed<br><input type="checkbox"/> Entire Building<br><input type="checkbox"/> Basement only<br><input type="checkbox"/> In lieu of racking<br><input checked="" type="checkbox"/> Not required              | 3.2.2.23   | 9.10.8.2                                      | --                               |
| 10   | Standpipe required<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   | 3.2.9.1  | 9.10.16                                       | --                               |
| 11   | Fire Alarm Required<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  | 3.2.4  | 9.10.16                                       | --                               |
| 12   | Water Service Supply is Adequate<br><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   | 3.2.5.7  | 9.10.16                                       | --                               |
| 13   | High Building<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  | 3.2.5  | 9.10.16                                       | --                               |
| 14   | Permitted Construction <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible<br>Actual Construction <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible | 3.2.2.23   | 9.10.6  | --                               |
| 15   | Mezzanine(s) Area (sq m) n/a  | 3.2.1.1 (3) (4)  | 9.10.4.1                                      | --                               |
| 16   | Occupant load based on <input type="checkbox"/> sq m/Person <input checked="" type="checkbox"/> Design of Building<br>1st Floor Occupancy: -- Load: 4 Persons<br>2nd Floor Occupancy: -- Load: 6 Persons                        | 3.1.17   | 9.10.1.3                                      | --                               |
| 17   | Barrier-free Design<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Exempt)   | 3.8  | 9.5.2   | --                               |
| 18   | Hazardous Substances<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   | 3.3.1.2 & 3.3.1.20   | 9.10.1.3 (4)                                  | --                               |
| 19   | Required Fire Resistance Rating (FRR)<br>Horizontal Assemblies<br>Floors 0 Hours<br>Roof 0 Hours<br>Mezzanine 0 Hours<br>FRR of Supporting Members<br>Floors N/A Hours<br>Roof N/A Hours<br>Mezzanine 0 Hours                   | Listed Design No. or Description (SG-2)<br>NON-COMBUSTIBLE CONSTRUCTION<br>Listed Design No. or Description (SG-2)<br>NON-COMBUSTIBLE CONSTRUCTION | 3.2.2.23 & 3.2.14<br>3.2.2.23 (2)<br>3.2.2.23 | 9.10.8 & 9.10.9<br>--            |



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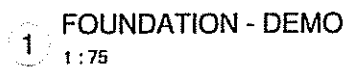
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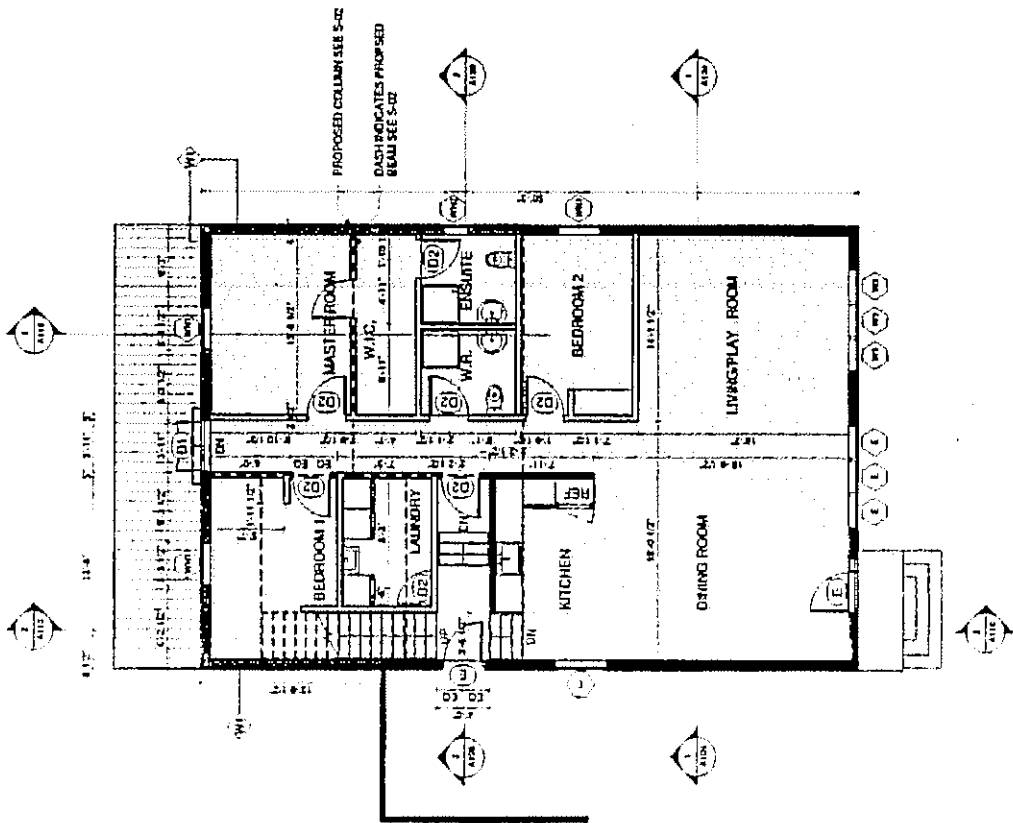
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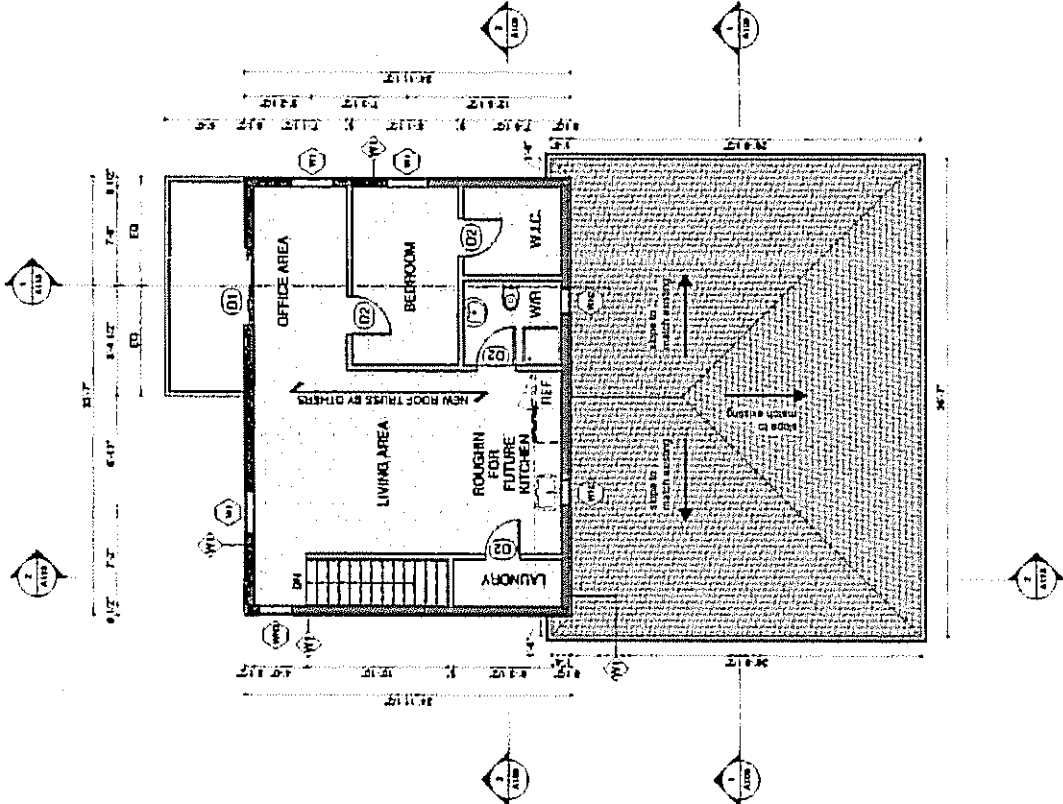
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GENERAL NOTE:  
PROPOSED INTELS FOR EXTERIOR OPENINGS REFER TO S & S-01.



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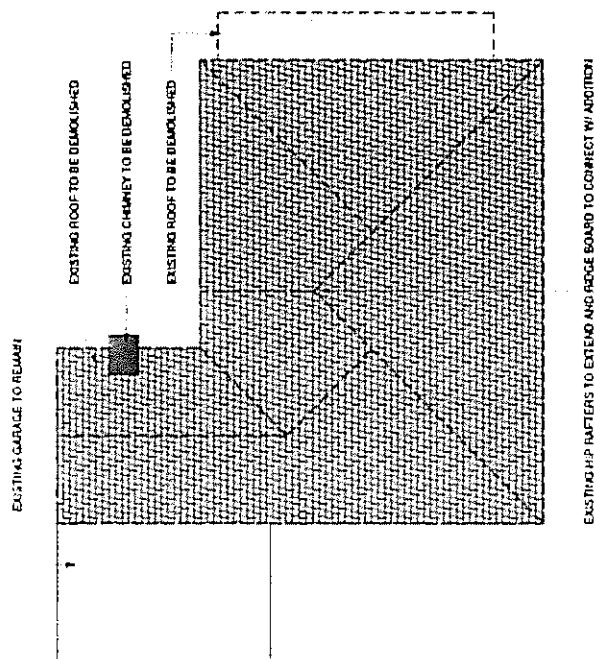
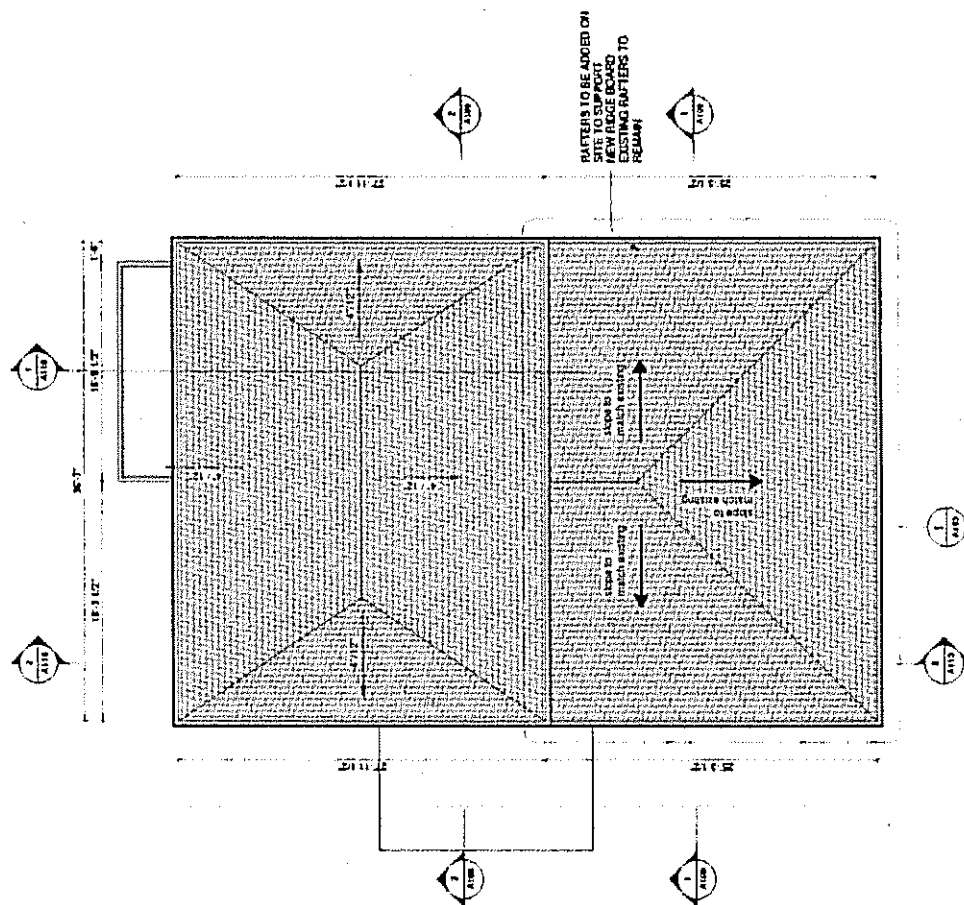


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## NOTATION

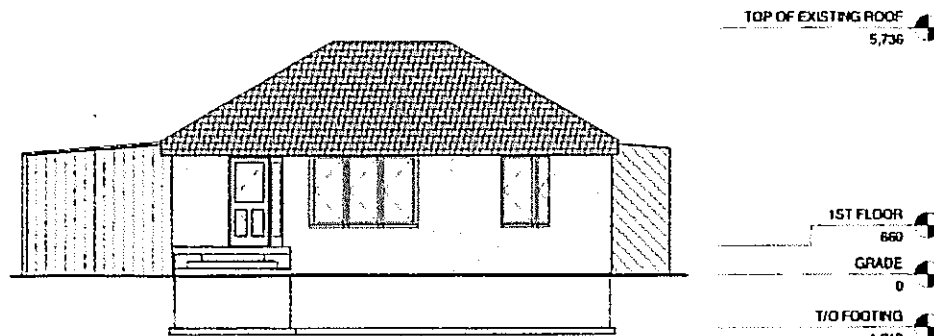
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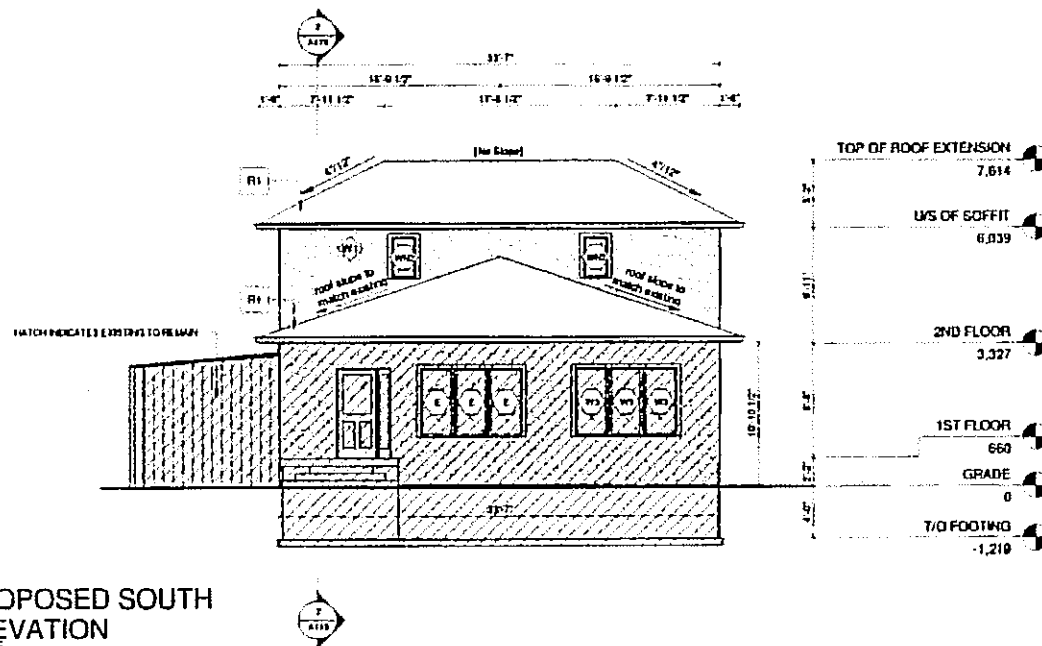


A104

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PROPOSED SOUTH  
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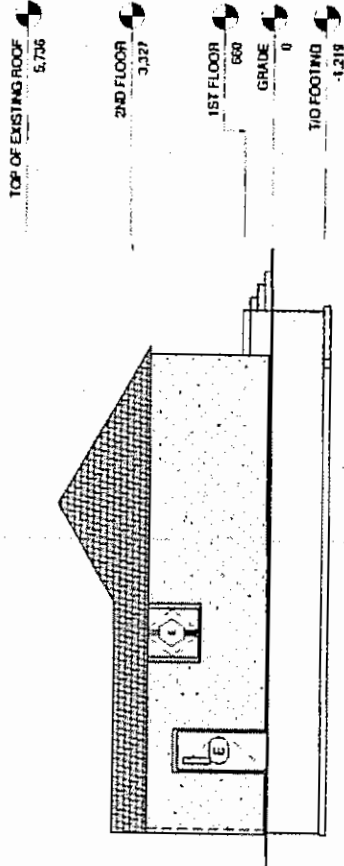
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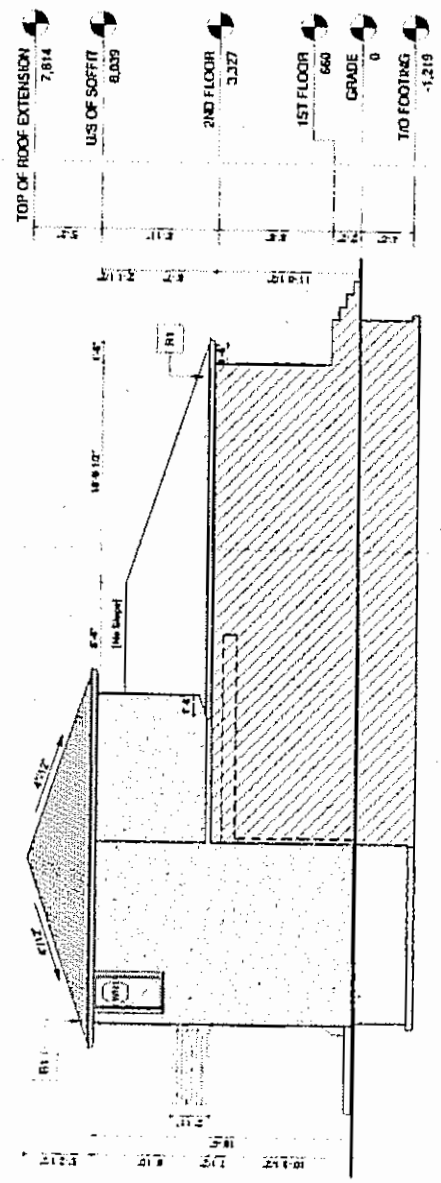
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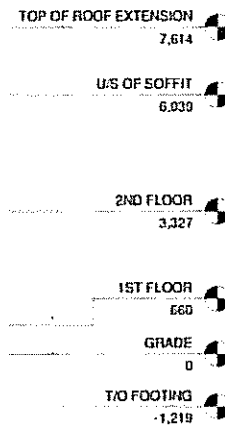
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Windsor, ON N9A 6P4 (416) 941-4375  
www.tbme.ca  
info@tbme.ca, tbi@tbme.ca

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Project Address  
10413 E 16th Ave

**TOTAL GROSS PAY**

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 3. **State**  
 4. **Zip**  
 5. **Phone**  
 6. **Fax**  
 7. **E-mail**  
 8. **Website**  
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 10. **Product/Service**  
 11. **Year Founded**  
 12. **Year Began Selling**  
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EASTERN  
 INTERNATIONAL

**PROPOSED RULES**

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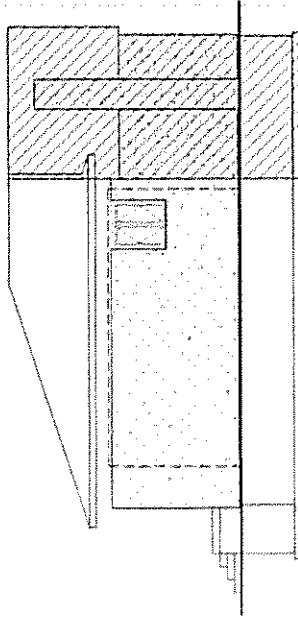
TOP OF EXISTING ROOF 5.736

2ND FLOOR 3.327

1ST FLOOR 660

GRADE 0

TO FOOTING -1.219



EXISTING EAST  
2  
1:75

1 15'-9 1/2" 23'-3 1/2" 24'-1 1/2" 12'-8 1/2" 15'-5 1/2" 1'-6"

2 1'-0" 7'-0" 1'-0"

1 1'-0" 1'-0" 1'-0"

TOP OF ROOF EXTENSION 7.614

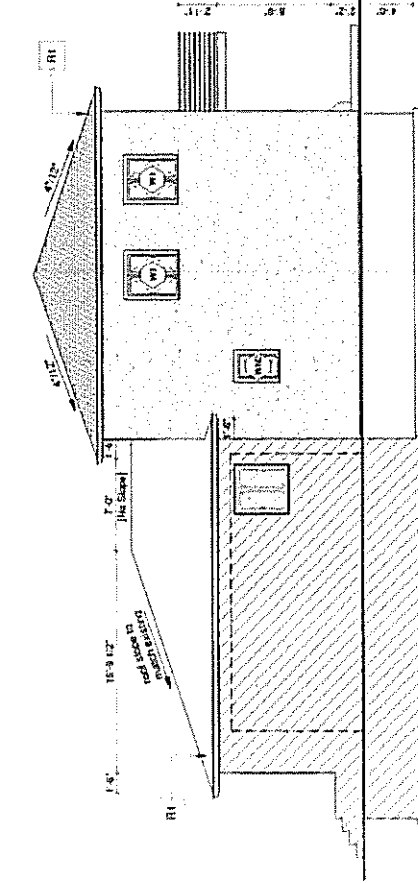
US OF SOFFIT 6.039

2ND FLOOR 3.327

1ST FLOOR 660

GRADE 0

TO FOOTING -1.219



PROPOSED EAST  
1  
1:75



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The design shall conform to the requirements of the Alaska Building Code, ASCE 7-10, and the International Building Code (IBC) 2012. The design shall be based on the information provided by the client and the design team. The design shall be based on the information provided by the client and the design team. The design shall be based on the information provided by the client and the design team.

**PLEKS**

| PROJECT INFORMATION |                     |
|---------------------|---------------------|
| Project Name        | 154 CLEVELAND ST. N |
| Client              | PLEKS               |
| Architect           | PLEKS               |
| Engineer            | TBM                 |
| Scale               | 1" = 1'-0"          |

A108







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