

Memorandum to the City of Markham Committee of Adjustment

August 28, 2018

File: A/118/18
Address: 46 Timbermill Crescent, Markham
Applicant: Gregory & Sandra Sommer
Agent: Joseph N. Campitelli Architect Inc. (Joseph Campitelli)
Hearing Date: Wednesday September 12, 2018

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 153-80 RD, as amended:

- a) **Section 6.2.1:**
a storage shed to be located in the side yard, whereas the By-law requires that accessory buildings be located in the rear yard;
- a) **Amending By-law 121-87, Section 1.3 (iv):**
a minimum rear yard setback of 1.5 m, whereas the By-law requires a minimum rear yard setback of 7.5 m;
- b) **Section 5.7 (a):**
a maximum roof overhang projection of 1.72 m (south), whereas the By-law permits a maximum roof overhang projection of 0.45 m into any required yard;

as they relate to a proposed one-storey addition with loft space to an existing detached garage.

BACKGROUND

Property Description

The 1,289.17 m² (13,876.51 ft²) subject property is located on the north side of Timbermill Crescent, south of 16th Avenue and west of Peter Street. The property is located within an established residential neighbourhood comprised of two-storey detached dwellings. There is an existing two-storey detached 291 m² (3,133 ft²) dwelling with a detached garage and accessory building on the property, which according to assessment records were constructed in 1850 and 1970 respectively. Mature vegetation exists across the property.

The existing dwelling is a unique lot in the neighbourhood that fronts onto 16th avenue. The subject dwelling was re-addressed and is required to close off the existing driveway access from 16th, and open a driveway access on Timbermill Crescent.

Proposal

The applicant is proposing to construct a 45 m² (487 ft²) addition to the existing 85 m² (921 ft²) accessory building (i.e. the garage), connecting it to the main 121 m² (1,311 ft²) dwelling on the property (See Appendix 'A').

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings. Infill development is required to meet the general intent of the 2014 Official Plan with respect to height, massing and setbacks to ensure that the

development is appropriate for the site and also generally consistent with the zoning requirements for adjacent properties and properties along the same street. Regard must also be had for retention of existing trees and vegetation, as well as the width of proposed garages and driveways. Planning staff have had regard for the infill development criteria in the preparation of the comments provided below.

Zoning By-Law 153-80

The subject property is zoned RD 'Residential Development' under By-law 153-80, as amended, which permits one single detached dwelling. The proposed development does not comply with the by-law with respect to the storage shed location, minimum rear yard setback and maximum roof overhang projection.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, *"existing accessory structure (garage blt approx. 1970 where by-law changed 1980) is legal non-conforming structure with the current zoning regulations. According to site layout with existing structures and driveway/house access the only possible location for a storage shed was to locate it in the side yard. Heritage would not support shed in front of the house and there is not available space in the rear yard due to Timbermill development after the year 1982"*.

Zoning Preliminary Review Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) to confirm the variances required for the proposed development. It is the owner's responsibility to provide accurate information to Zoning in order that all the variances required for the proposed development can be identified. If the information provided by the owner is incomplete or contains errors then additional variances may be identified during the Building Permit review process and further variance application(s) may be required to address any non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Side Yard Accessory Building

The applicant is requesting relief to permit a storage shed in the side yard, whereas the By-law requires that accessory buildings be located in the rear yard. The lot is a unique shape unlike any other along the same street. It provides sufficient space in the side yard for an accessory building, which does not take away significant amenity space. Further, the existing 9.7 m² (104 ft²) shed is over 5.78 m (19.96 ft) from the property to its west, ensuring adequate separation between the shed and neighbouring house. Staff have no concerns with the requested variance.

Reduction in Rear Yard Setback

The applicant is requesting relief to permit a minimum rear yard setback of 4.9 ft (1.5 m), whereas the By-law requires a minimum rear yard setback of 24.6 ft (7.5 m). This represents a reduction of approximately 19.7 ft (6 m). The proposed addition connects the accessory building to the main dwelling. Consequently, the accessory building is considered the main dwelling and is required to comply with the By-law requirements for the main dwelling. The variance is entirely attributable

to the existing accessory building now being required to meet the setbacks of the main dwelling. Staff have no objection to the requested variance.

Increase in Maximum Eaves/roofed Encroachment

The applicant is requesting a maximum eaves encroachment of 67.6 in (1.72 m) into the rear yard, whereas the By-law permits a maximum eaves encroachment of 17.64 in (0.45 m). This represents a difference of approximately 50 in (1.27 m). The variance is entirely attributable to the existing accessory building, which is required to meet the setbacks of the main dwelling, as discussed above.

PUBLIC INPUT SUMMARY

No written submissions were received as of August 28, 2018. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. The applicant is applying for the variances for existing structures on the property. The subject property is regulated under a zone separate from neighbouring properties. Given the unique shape of the lot and ample yard space, staff are of the opinion that the variances are appropriate for the lot. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:


Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:


Sally Campbell, Development Manager, East District
File Path: Amanda\File\ 18 242582 \Documents\District Team Comments Memo

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/118/18

1. That the driveway access from 16th avenue be closed;
2. The variances apply only to the proposed development as long as it remains;
3. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on August 08 2018 and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
4. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan.
5. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations.
6. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations;

CONDITIONS PREPARED BY:


Aqsa Malik, Planner, Zoning and Special Projects

(KNOWN AS) 16TH AVENUE
REGIONAL ROAD N° 73 (BY-LAW R-1107-96-126, AS AMENDED)
ROAD ALLOWANCE BETWEEN LOTS 15 AND 16

PN 03060-7254

SURVEYOR'S REAL PROPERTY REPORT
SHOWING TOPOGRAPHY

SHEET 1

PLAN OF

PART OF LOT 15
CONFESSION 7

GEOGRAPHIC TOWNSHIP OF MARKHAM

CITY OF MARKHAM

REGIONAL MUNICIPALITY OF YORK

LLOYD & PURCELL LTD., SCALE 1:250



METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DISTANCES SHOWN ON THIS PLAN ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99981102.

BEARING NOTE

BEARINGS SHOWN HEREON ARE UTM ZONE 17, NAD 83 (CSRS: 2010) GRID BEARINGS AND ARE REFERRED TO SPECIFIED CONTROL MONUMENTS

POINT ID	NORTHING	EASTING
SCP # 00819760176	4863667.280	639008.664
SCP # 00820130001	4861360.608	639446.692

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OF BOUNDARIES SHOWN ON THIS PLAN.

FOR BEARINGS COMPARISONS, A ROTATION OF 0°10'32" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON PLANS p1, p2, p3 TO CONVERT TO UTM ZONE 17, NAD 83 (CSRS: 2010) BEARINGS.

BENCH MARK

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY OF MARKHAM, BENCHMARK N° M-33-012, HAVING A PUBLISHED ELEVATION OF 205.551 METRES.

NOTE

UPDATED ON APRIL 25TH, 2018 TO REFLECT CHANGES TO THE SITE CONDITION, BURIED GAS LINE LOCATION BASED ON LOCATES FOUND ON SITE AND DETERMINED BY OTHERS.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 7th DAY OF SEPTEMBER, 2017

SEPTEMBER 20, 2017

ROBB MCKIBBON
ONTARIO LAND SURVEYOR

NO ONE MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN WITHOUT THE WRITTEN PERMISSION OF LLOYD & PURCELL LTD., ONTARIO LAND SURVEYORS.

SHEET 2

COMMENTS: - NOTE THE LOCATION OF THE FENCES IN RELATION TO THE BOUNDARY LIMITS. CONCRETE SIDEWALK CROSSING NORTHERLY PROPERTY LIMIT. ALSO NOTE LOCATION OF THE HEDGES AND THE COVERED OPEN STORAGE ATTACHED TO THE GARAGE/WORKSHOP WHICH EXTENDS INTO THE 0.30 RESERVE BY AMOUNT SHOWN HEREON.

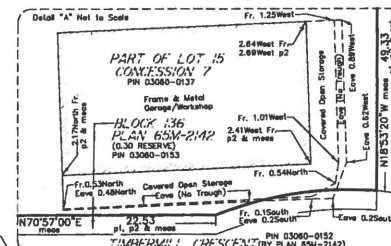
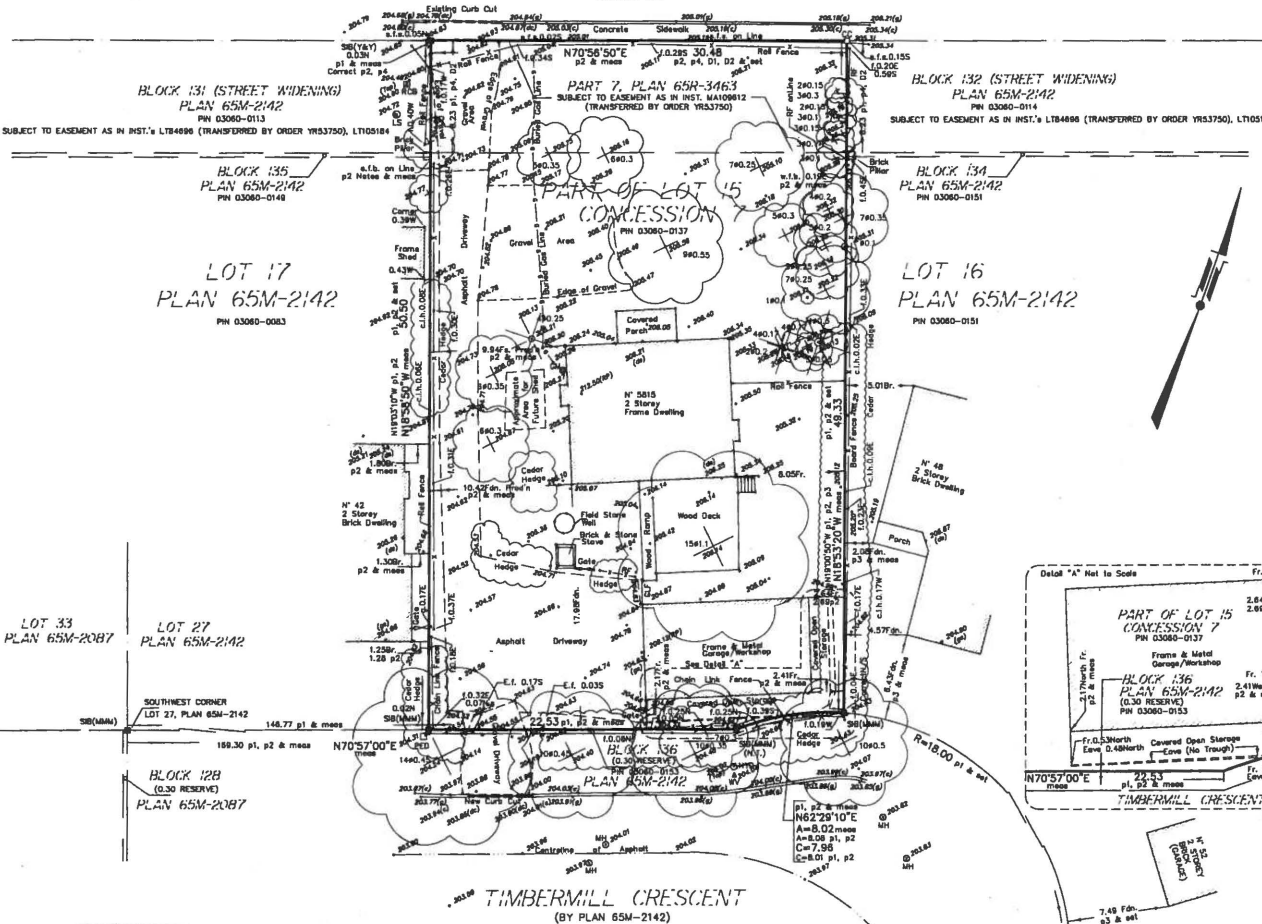
EASEMENTS: - THE PROPERTY IS SUBJECT TO EASEMENT AS IN INST. M1010612 (TRANSFERRED BY ORDER YRS3750, SHOWN AS PART 7, PLAN 65R-3463 HEREON)

THIS REPORT WAS PREPARED FOR SANDRA SOMMER AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

LLOYD & PURCELL LTD.
ONTARIO LAND SURVEYORS

1228 CORHAM STREET, UNIT 28, NEWMARKET, ONTARIO, L3Y 6Z1
(905) 895-6416 Fax (905) 853-5837 EMAIL: LPO@ontariolandsurveyors.ca
TOLL FREE 1 (855) 779-6500
WWW.ONTARIOLANDSURVEYORS.CA

CAD: IG/BL	PC: GQ	JOB: 18-311
CALC: RM	CHK'D: RM	FILE: M2- McKIBBON-F-86-23



LEGEND

- SB STANDARD IRON BAR
- IB IRON BAR
- FOUND FOUND
- SET SET
- meas. MEASURED
- STB DISTURBED
- SCP SPECIFIED CONTROL POINT
- PLAN 65M-2142 BUILDING LOCATION SURVEY BY R.G. MCKIBBON LTD., DATED NOVEMBER 27, 1986 (FILE F-86-23)
- PLAN SHOWING BUILDING LOCATIONS BY P. SALHA COMPANY LTD., DATED JULY 3, 1984 (FILE 83-47)
- p4 PLAN 65R-3463
- p1 FIELD NOTES AND CALCULATION RECORDS FROM BUILDING LOCATION SURVEY BY R.G. MCKIBBON LTD., DATED NOVEMBER 27, 1986 (FILE F-86-23)
- D1 INST. R421021
- D2 INST. M1010612
- MM MARSHALL MACKLIN MONAGHAN, ONTARIO LIMITED
- Y&Y YATES & YATES, OLS
- Fr. TIE TAKEN TO FRAME
- Fa. FIELD STONE
- Br. TIES TAKEN TO BRICK
- Fdn. TIES TAKEN TO FOUNDATION
- Prod'n ON PRODUCTION
- (N.T.) NOT TANGENTIAL
- (RP) ROOF PEAK

- (c) TOP OF BACK OF CURB
- (dc) DROP CURB
- (g) GUTTER
- (ds) DOOR SILL
- (gn) GARAGE SILL
- (BS) BOTTOM STEP
- RCB RAISED CATCH BASIN
- HYD FIRE HYDRANT
- LS LIGHT STANDARD
- MH MAN HOLE
- PED BELL PEDESTAL
- WV WATER VALVE
- RF RAIL FENCE
- e.f.b. EAST FACE OF BRICK
- e.f. END OF FENCE
- w.f.b. WEST FACE OF BRICK
- e.f.s. SOUTH FACE OF SIDEWALK
- f. FENCE
- g. GATE
- c.f.h. CENTRELINE OF HEDGE (STALKS)
- * CONIFEROUS TREE (SPREAD)
- * DECIDUOUS TREE (SPREAD)

CITY OF MARKHAM
RECEIVED
AUG 08 2018
COMMITTEE OF ADJUSTMENT

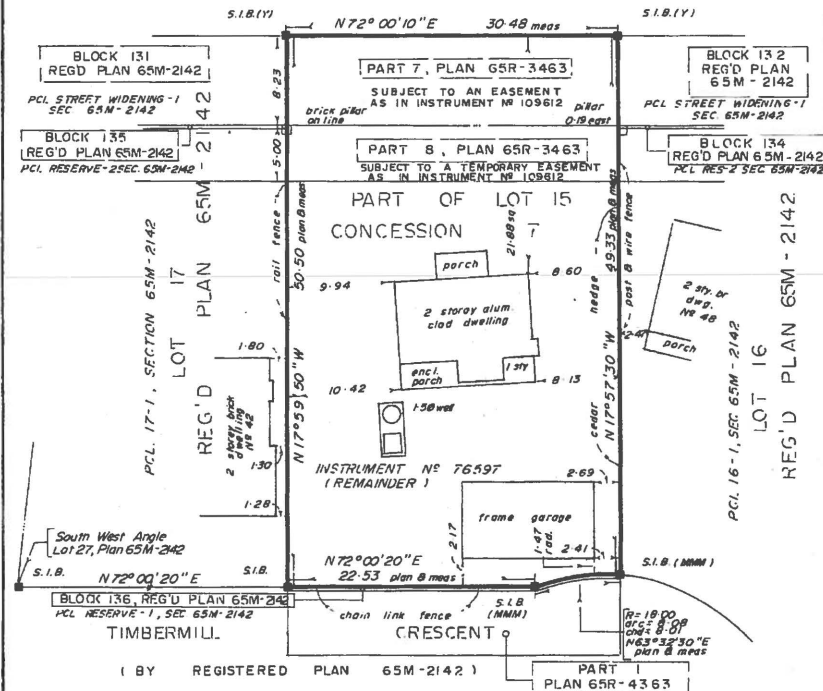
BUILDING LOCATION SURVEY
PART OF LOT 15
CONCESSION 7
TOWN OF MARKHAM
REGIONAL MUNICIPALITY OF YORK
SCALE 1 : 400
1986

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



16th AVENUE

(ROAD ALLOWANCE BETWEEN LOTS 15 & 16)



SURVEYOR'S CERTIFICATE

I CERTIFY THAT

The field survey represented by this plan was completed on the 25th day of November 1986

NOVEMBER 27, 1986

Date

D.P. Quinlan
D. P. Quinlan
Ontario Land Surveyor

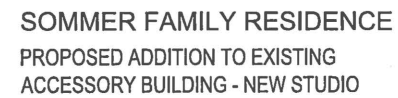
R.G. McKIBBON LIMITED
ONTARIO LAND SURVEYORS
120 BULLOCK DRIVE, MARKHAM ONT.
POSTAL CODE L3P1W2
PHONE 294-3754

NOTES

Bearings shown hereon are astronomic and are referred to the bearing N72°00'20"E of the northerly limit of Timbermill Crescent in accordance with registered plan 65M-2142.

Short Standard Iron Bars shown thus S.I.B.
Standard Iron Bars shown thus S.I.B.
Iron Bars shown thus I.B.
Iron Pipes shown thus I.P.
Cul Crosses shown thus C.C.
Survey Monuments Found shown thus S.M.F.
Survey Monuments Planted shown thus S.M.P.
O/U - denotes Origin Unknown
(plan) - denotes registered plan 65M-2142
(MMM) - denotes Marshall Macklin Moraghan O.L.S.
(Y) - denotes Yates BYates O.L.S.

FILE N^o : F - 86 - 23



ISSUED FOR MINOR VARIANCE APPLICATION
DATE: AUGUST 03, 2018

tel: 05-837-4303 fax: 05-867-0052
e-mail: info@vcs-9700.com

1. MAY 18, 2018	COATED TO CLEAN FOR REPAIR	NO
2. MAY 18, 2018	COATED TO CLEAN FOR REPAIR	NO
3. MAY 23, 2018	COATED FOR 2 ND REPAIR	NO
4. AUG 25, 2018	REPAIRED FOR 2 ND REPAIR	NO
5. AUG 28, 2018	COATED FOR MINOR DAMAGE	NO

ZFR FILE No: 233850-000-00

1. *Journal of Management Studies*, 1996, 33, 1, 1-14.

INELIGIBLE ADDRESS
J. CAMPBELL
ADDRESS IS BLANK

COVER PAGE

Study No.	Study Design	Population
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A.000



PROPOSED SITE PLAN
DATE: 10/11/11
BY: J. CAMPITELLI
SCALE: 1" = 10' - 0"

DATE: 10/11/11
BY: J. CAMPITELLI
SCALE: 1" = 10' - 0"

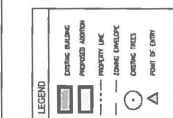
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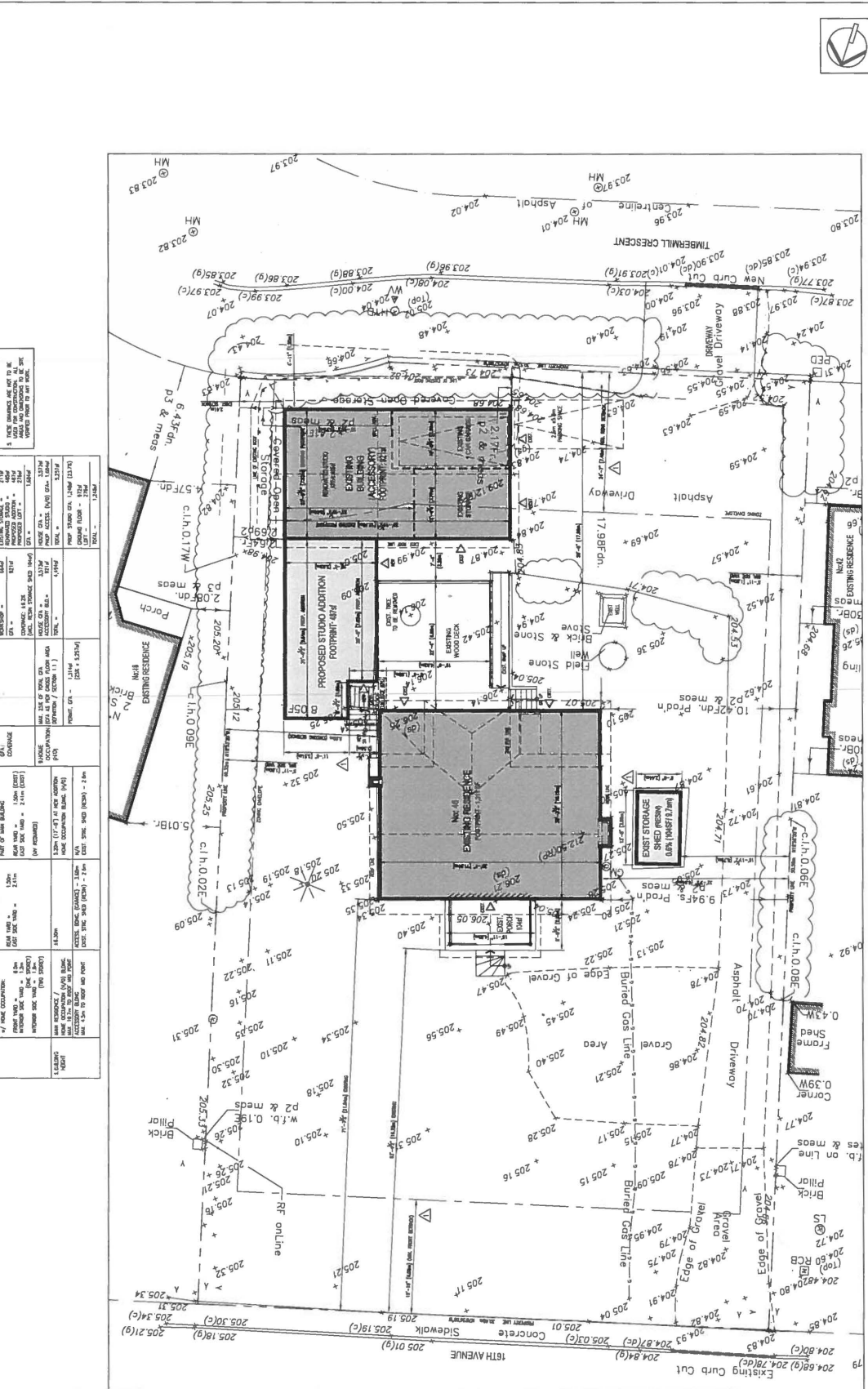
DATE: 10/11/11
BY: J. CAMPITELLI
SCALE: 1" = 10' - 0"



SURVEY INFORMATION
The survey was conducted by J. Campitelli, Inc. on 10/11/11. The survey was performed in accordance with the standards of the International Surveying and Mapping Act of 1991. The survey was performed by J. Campitelli, Inc. on 10/11/11. The survey was performed in accordance with the standards of the International Surveying and Mapping Act of 1991.

GENERAL AS-BUILT NOTES
1. The site was surveyed by J. Campitelli, Inc. on 10/11/11. The survey was performed in accordance with the standards of the International Surveying and Mapping Act of 1991. The survey was performed by J. Campitelli, Inc. on 10/11/11. The survey was performed in accordance with the standards of the International Surveying and Mapping Act of 1991.

NO.	DESCRIPTION	DATE	BY	REVISION
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100	PROPOSED ADDITION	10/11/11	J. CAMPITELLI	100

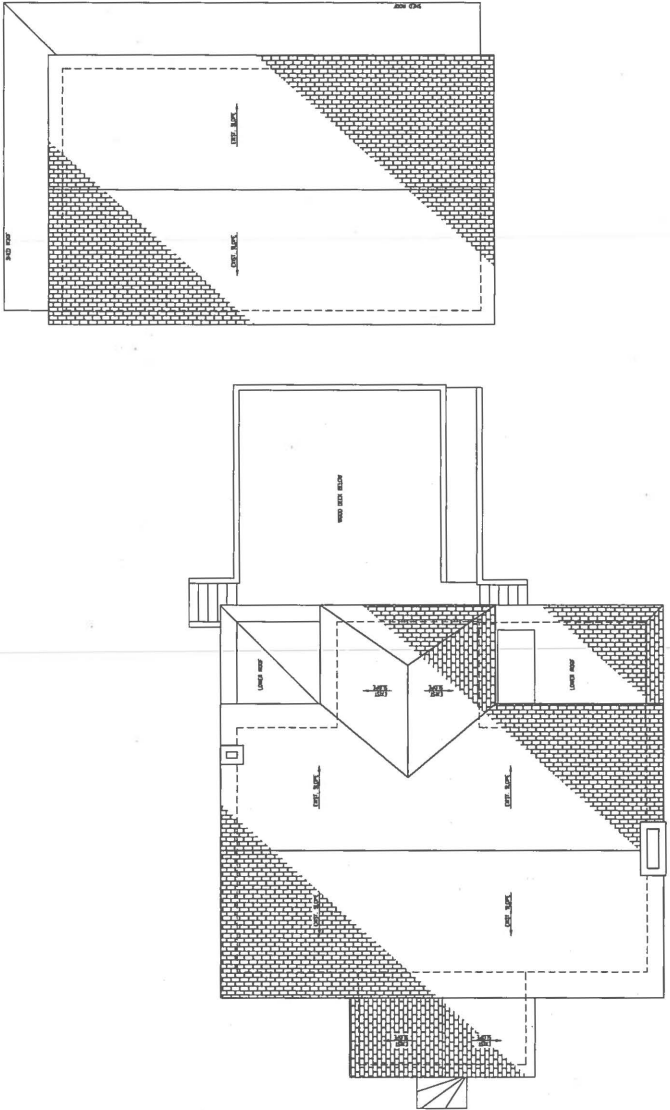


EXISTING SITE PLAN



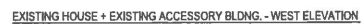


EXISTING ROOF PLAN



**SOMMER FAMILY RESIDENCE
PROPOSED ADDITION TO EXISTING
ACCESSORY BUILDING - NEW STUDIO**

SOMMER FAMILY RESIDENCE



SOMMER FAMILY RESIDENCE
 ACCESSORY BUILDING - NEW STUDIO
 ACCESSORY BUILDING - NEW STUDIO

ARCHITECT
 M. G. SCHMIDT
 1500 10TH AVENUE
 NEW YORK, NY 10018

CLIENT
 M. G. SCHMIDT
 1500 10TH AVENUE
 NEW YORK, NY 10018

DATE
 10/10/18

PROJECT
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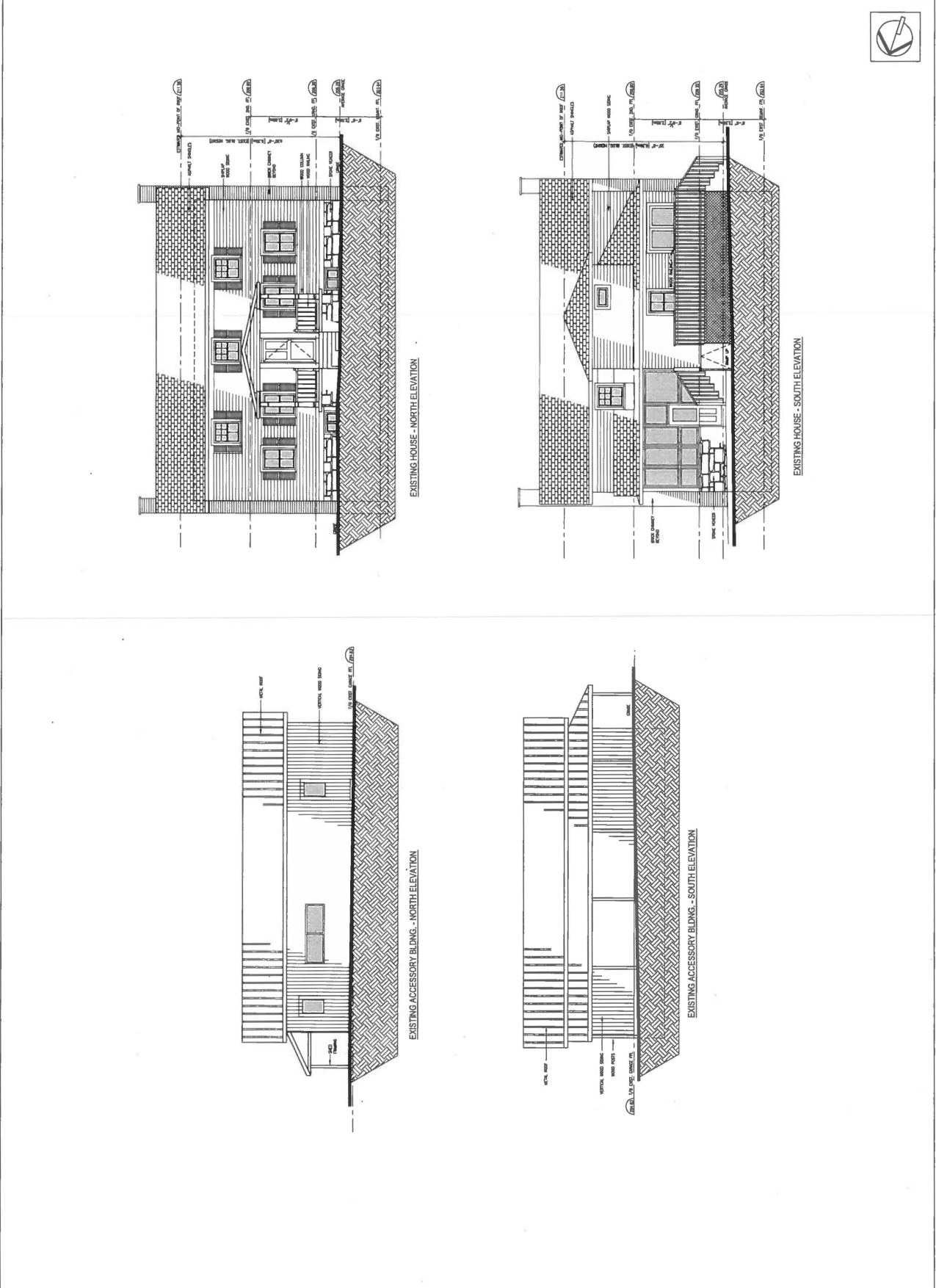
PROJECT
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ARCHITECT
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CLIENT
 M. G. SCHMIDT
 1500 10TH AVENUE
 NEW YORK, NY 10018

DATE
 10/10/18

PROJECT
 1500 10TH AVENUE
 NEW YORK, NY 10018



SHEET NO. A.204

EXISTING NORTH - SOUTH ELEVATIONS

DATE 10/10/18

PROJECT 1500 10TH AVENUE NEW YORK, NY 10018

ARCHITECT M. G. SCHMIDT 1500 10TH AVENUE NEW YORK, NY 10018

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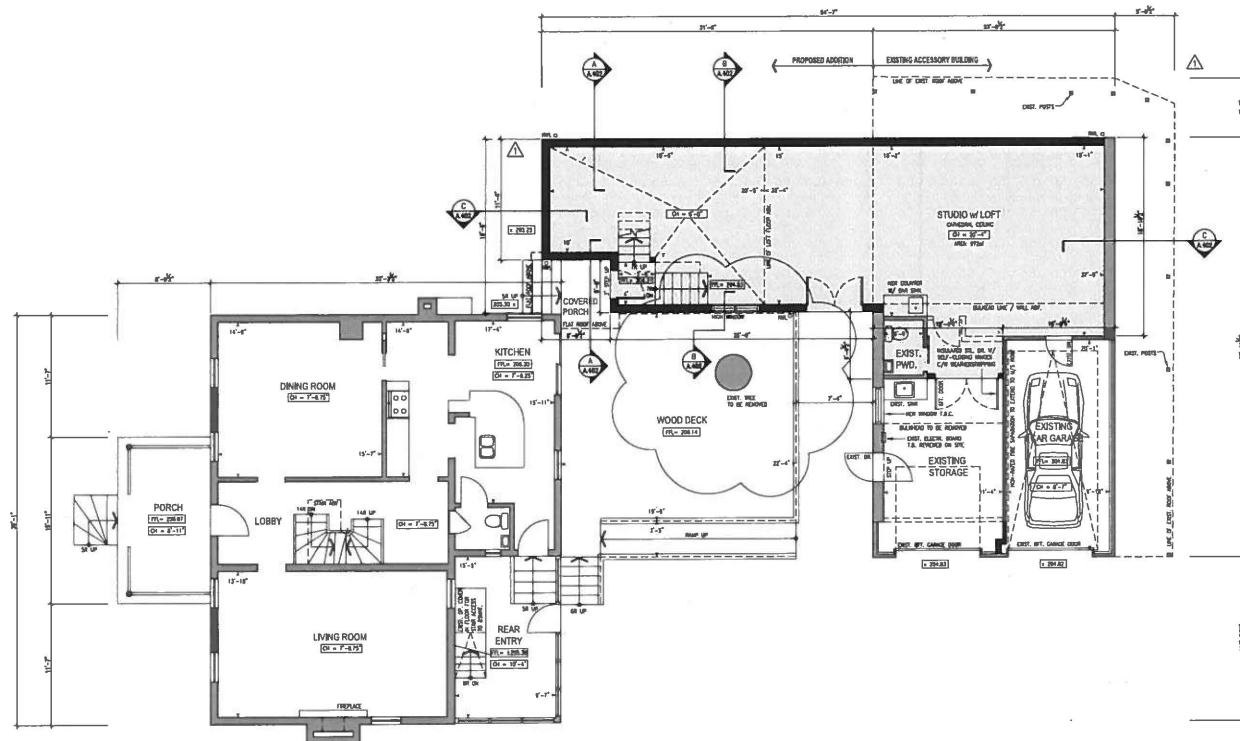
CLIENT M. G. SCHMIDT 1500 10TH AVENUE NEW YORK, NY 10018

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PROJECT 1500 10TH AVENUE NEW YORK, NY 10018

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CLIENT M. G. SCHMIDT 1500 10TH AVENUE NEW YORK, NY 10018



LEGEND

EXIST. WALL	TO REMAIN
NEW WALL	
PROPOSED AREA	WALL REMOVAL
WALL TO BE REMOVED	
POCKET DOOR	
ALUMINUM	

SOMMER FAMILY RESIDENCE
PROPOSED ADDITION TO EXISTING
ACCESSORY BUILDING - NEW STUDIO

417 HARTWELL CHECKED
BAND-OUT ON

MR. G. SOMMER

JOSEPH N. CAMPITELLI
ARCHITECT INC.

11111 1st Ave. N. Suite 100, Jacksonville, FL 32216
904.744.1111
www.jncampitelli.com

NOTES

1. SEE SHEET 101 FOR EXISTING HOUSE FLOOR PLAN.

2. SEE SHEET 102 FOR EXISTING HOUSE ELEVATIONS.

3. SEE SHEET 103 FOR EXISTING HOUSE SECTION.

4. SEE SHEET 104 FOR EXISTING HOUSE DETAIL.

5. SEE SHEET 105 FOR EXISTING HOUSE FINISHES.

6. SEE SHEET 106 FOR EXISTING HOUSE MECHANICAL.

7. SEE SHEET 107 FOR EXISTING HOUSE ELECTRICAL.

8. SEE SHEET 108 FOR EXISTING HOUSE PLUMBING.

9. SEE SHEET 109 FOR EXISTING HOUSE ROOFING.

10. SEE SHEET 110 FOR EXISTING HOUSE EXTERIOR.

11. SEE SHEET 111 FOR EXISTING HOUSE INTERIOR.

12. SEE SHEET 112 FOR EXISTING HOUSE FURNITURE.

13. SEE SHEET 113 FOR EXISTING HOUSE LIGHTING.

14. SEE SHEET 114 FOR EXISTING HOUSE PAINT.

15. SEE SHEET 115 FOR EXISTING HOUSE LANDSCAPE.

16. SEE SHEET 116 FOR EXISTING HOUSE SITE PLAN.

17. SEE SHEET 117 FOR EXISTING HOUSE UTILITY PLAN.

18. SEE SHEET 118 FOR EXISTING HOUSE BATH PLAN.

19. SEE SHEET 119 FOR EXISTING HOUSE KITCHEN PLAN.

20. SEE SHEET 120 FOR EXISTING HOUSE LIVING PLAN.

21. SEE SHEET 121 FOR EXISTING HOUSE DINING PLAN.

22. SEE SHEET 122 FOR EXISTING HOUSE PORCH PLAN.

23. SEE SHEET 123 FOR EXISTING HOUSE LOBBY PLAN.

24. SEE SHEET 124 FOR EXISTING HOUSE REAR ENTRY PLAN.

25. SEE SHEET 125 FOR EXISTING HOUSE STUDIO PLAN.

26. SEE SHEET 126 FOR EXISTING HOUSE STORAGE PLAN.

27. SEE SHEET 127 FOR EXISTING HOUSE CAR GARAGE PLAN.

28. SEE SHEET 128 FOR EXISTING HOUSE WOOD DECK PLAN.

29. SEE SHEET 129 FOR EXISTING HOUSE COVERED PORCH PLAN.

30. SEE SHEET 130 FOR EXISTING HOUSE FRONT PORCH PLAN.

31. SEE SHEET 131 FOR EXISTING HOUSE SIDE PORCH PLAN.

32. SEE SHEET 132 FOR EXISTING HOUSE BACK PORCH PLAN.

33. SEE SHEET 133 FOR EXISTING HOUSE FRONT YARD PLAN.

34. SEE SHEET 134 FOR EXISTING HOUSE SIDE YARD PLAN.

35. SEE SHEET 135 FOR EXISTING HOUSE BACK YARD PLAN.

36. SEE SHEET 136 FOR EXISTING HOUSE FRONT DRIVE PLAN.

37. SEE SHEET 137 FOR EXISTING HOUSE SIDE DRIVE PLAN.

38. SEE SHEET 138 FOR EXISTING HOUSE BACK DRIVE PLAN.

39. SEE SHEET 139 FOR EXISTING HOUSE FRONT WALKWAY PLAN.

40. SEE SHEET 140 FOR EXISTING HOUSE SIDE WALKWAY PLAN.

41. SEE SHEET 141 FOR EXISTING HOUSE BACK WALKWAY PLAN.

42. SEE SHEET 142 FOR EXISTING HOUSE FRONT FENCE PLAN.

43. SEE SHEET 143 FOR EXISTING HOUSE SIDE FENCE PLAN.

44. SEE SHEET 144 FOR EXISTING HOUSE BACK FENCE PLAN.

45. SEE SHEET 145 FOR EXISTING HOUSE FRONT GARDEN PLAN.

46. SEE SHEET 146 FOR EXISTING HOUSE SIDE GARDEN PLAN.

47. SEE SHEET 147 FOR EXISTING HOUSE BACK GARDEN PLAN.

48. SEE SHEET 148 FOR EXISTING HOUSE FRONT PATIO PLAN.

49. SEE SHEET 149 FOR EXISTING HOUSE SIDE PATIO PLAN.

50. SEE SHEET 150 FOR EXISTING HOUSE BACK PATIO PLAN.

51. SEE SHEET 151 FOR EXISTING HOUSE FRONT TERRACE PLAN.

52. SEE SHEET 152 FOR EXISTING HOUSE SIDE TERRACE PLAN.

53. SEE SHEET 153 FOR EXISTING HOUSE BACK TERRACE PLAN.

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200. SEE SHEET 300 FOR EXISTING HOUSE BACK PORCH PLAN.

PROPOSED GROUND FLOOR PLAN
GARAGE AREA - 225sf / STORAGE AREA - 211sf / STUDIO AREA - 972sf
EXISTING HOUSE AREA - 1,311sf



ZFR FILE No: 18 233850 000 00

PROPOSED
GROUND FLOOR PLAN

DATE: 10/1/2018
BY: JNC
CHECKED: JNC
SCALE: 1/8" = 1'-0"

A.301

12-10-11

W. J. CALVERT, III

FILE NO: 18-233853-000-00

1. NOV 18 2014	ISSUED TO CLIENT FOR REVIEW	NO
2. NOV 18 2014	ISSUED TO CLIENT FOR REVIEW	NO
3. NOV 23 2014	ISSUED FOR 2 ND REVIEW	NO
4. JAN 20 2015	ISSUED FOR 3 RD REVIEW	NO
5. AUG 03 2015	ISSUED FOR FINAL APPROVAL	NO

1

[illegible]

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1500 15th Avenue, Suite 1500, Denver, CO 80202
Tel: (303) 733-4400 Fax: (303) 733-4400
mailto:info@architectinc.com

Mr. G. SOMMER

AT THE SMALL ORIENTAL
MUSEUM IN

SOMMER FAMILY RESIDENCE
PROPOSED ADDITION TO EXISTING
ACCESSORY BUILDING - NEW STUDIO

