

### PERSPECTIVE VIEW

Check by Scale

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### 8 HAMILTON HALL DR. MARKHAM ON

### **NEW BUILT CUSTOM HOME**

PROJECT DESCRIPTION RESIDENTIAL: NEW DETACHED HOUSE

LEGAL DESCRIPTION LOT 124 REGISTERED PLAN M-1385 CITY OF MARKHAM REGIONAL MUNICIPALITY OF YORK

BUILDING ADDRESS 8 HAMILTON HALL DR. MARKHAM ON L3P 2P4

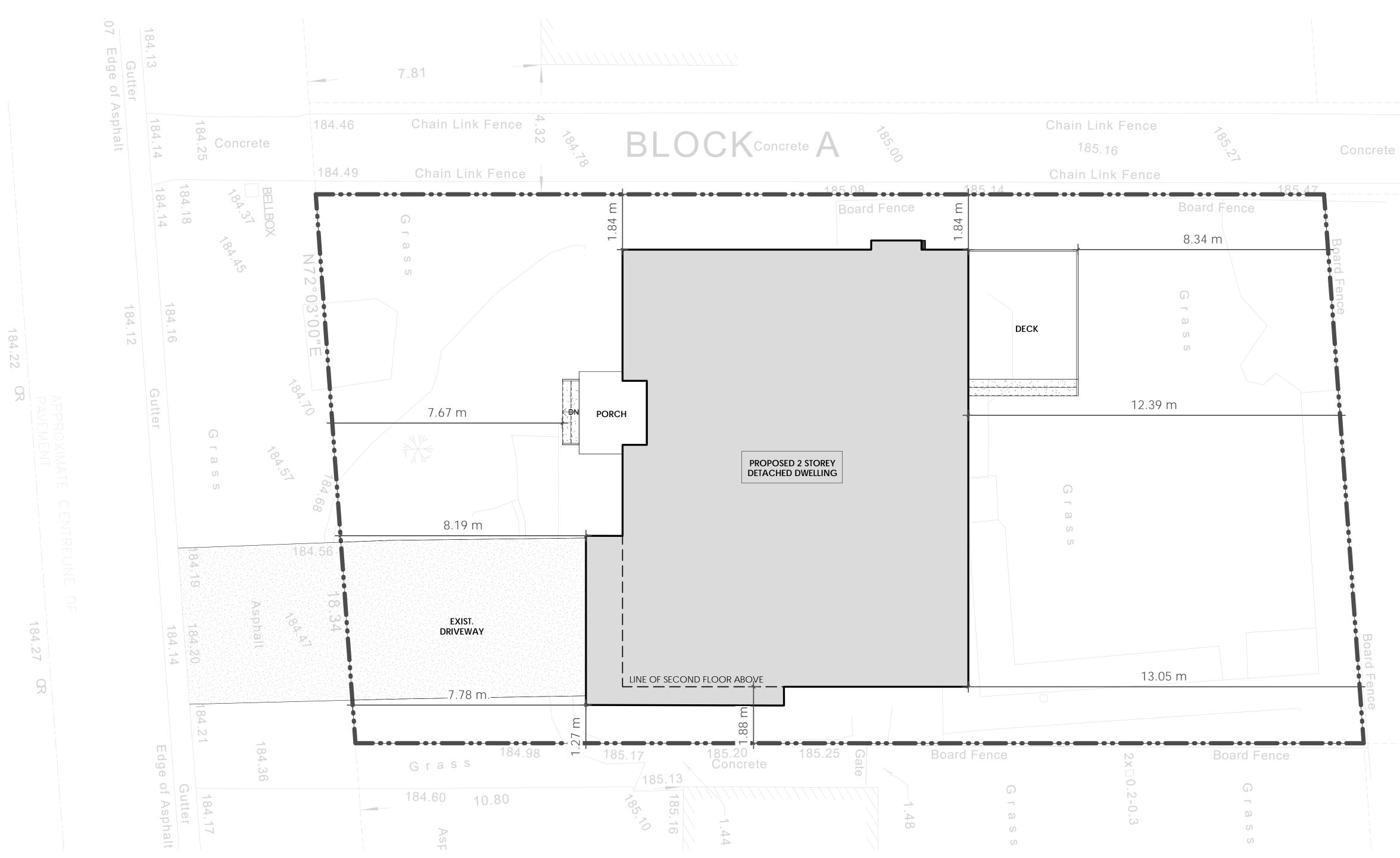
ZONING R1 - RESIDENTIAL | BY-LAW 1229 AS AMENDED BY 99-90

LOT FRONTAGE 18.34M

LOT DEPTH

33.62M

SITE STATISTICS				BUILDING	SETBACK			
	REQUIRED	PROPOSED	VARIANCE REQ'D			REQUIRED	PROPOSED	VARIANCE REQ'D
Lot area	MIN. 6,600 SQ.FT	6,619.65 SQ.FT.	NO	FRONT	[SOUTH]	MIN. 25FT [7.62M]	25' - 5" [7.75M]	NO
LOT COVERAGE	MAX. 2,316.65 [35.00%]	2,158.36 [32.61%]	NO	REAR	[NORTH]	MIN. 25FT [7.62M]	27' - 4" [8.34M]	NO
LOT FRONTAGE	MIN. 60 FT [18.28M]	60.17 FT [18.34M]	NO	SIDE A	[WEST] 1 STOREY	MIN. 4FT [1.21M]	[M]	NO
GROUND FLOOR AREA	1200.00 SQ.FT	1,904.88 SQ.FT.			2 STOREY	MIN. 6FT [1.82M]	6' - 0" [1.82M]	NO
SECOND FLOOR AREA	1200.00 SQ.FT	1,399.01 SQ.FT.		SIDE B	[EAST] 1 STOREY	MIN. 4FT [1.21M]	4' - 0" [1.22M]	NO
NET FLOOR AREA RATIO	MAX. 2,974.42 SQ.FT [45.00%]	3,303.89 SQ.FT. [49.98%]	YES [4.98%]		2 STOREY	MIN. 6FT [1.82M]	6' - 1 1/2" [1.87M]	NO
NO. OF STOREYS	MAX. 2 STOREYS	2 STOREYS	NO			REQUIRED	PROPOSED	VARIANCE REQ'D
BUILDING HEIGHT	MAX. 32.15 FT [9.8M]	34' - 5.5" [10.5M]	YES [0.7m]	FRONT YA	RD LANDSCAPING		1125.35 SQ.FT [%]	NO
BUILDING HEIGHT FLAT ROO	<b>OF</b> MAX. 26.25 FT [8.0M]	N/A	NO	BACK YA	RD LANDSCAPING		2088.13 SQ.FT [%]	NO
BUILDING DEPTH	MAX. 55.12 FT [16.8M]	41' - 10" [12.75M]	NO			MAXIUMUM	PROPOSED	VARIANCE REQ'D
GARAGE PROJECTION	MAX. 6.89 FT [2.1M]	4' - 0" [1.22M]	NO	EAST ELEV	ATION OPENING	WALL 975.69 SQ.FT [7%]	26.47 SQ.FT [2.71%]	NO
GARAGE WIDTH	MAX. 25.26 FT [7.7M]	18' - 6" [5.64M]	NO	WEST ELEV	ATION OPENING	WALL 990.14 SQ.FT [8%]	65.90 SQ.FT [6.66%]	NO



### PRELIMINARY ZONING REVIEW



Legend	
EXISTING DOOR	NEW DOOR
	EXISTING WALL TO REMAIN
	EXISTING WALL TO REMOVE
	PROPOSED WALL

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPENCIES TO ENGINEER & DESIGNER BEFORE PROCEEDING WITH THE WORKS. DIMENSIONS ARE CLEAR TO THE FACE OF COLUMNS AND PARTITIONS UNLESS INDICATED OTHERWISE.

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P.I.N. 02930-0279 (LT)



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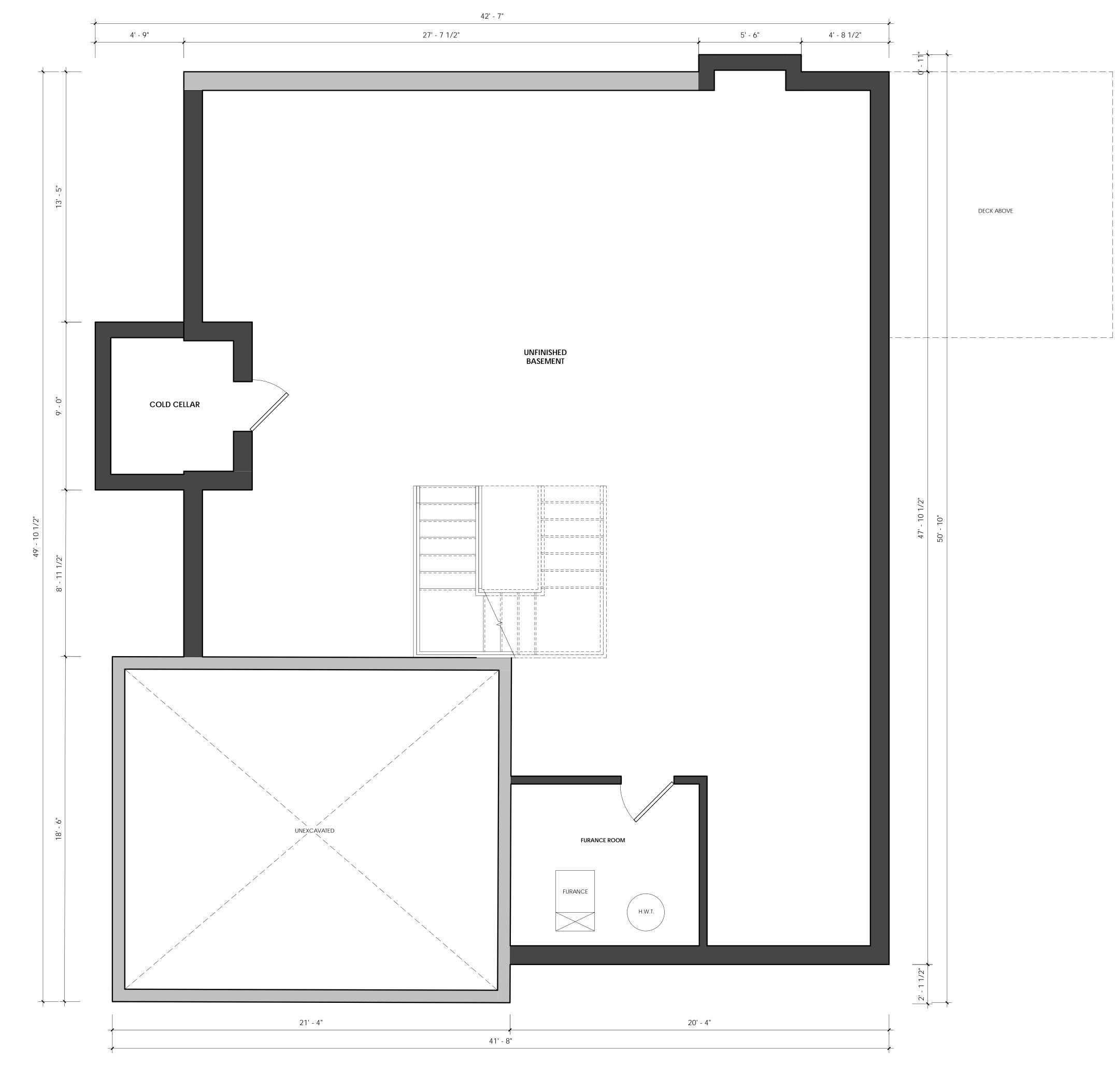
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BASEMENT PLAN

3/8" = 1'-0"

Legend	
EXISTING DOOR	NEW DOOR
	EXISTING WALL TO REMAIN
	EXISTING WALL TO REMOVE
	PROPOSED WALL

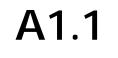
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GROUND FLOOR PLAN - 1,904.88 SQ.FT. 3/8" = 1'-0"

### Legend

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EXISTING	DOOR



EXISTING WALL TO REMAIN EXISTING WALL TO REMOVE PROPOSED WALL

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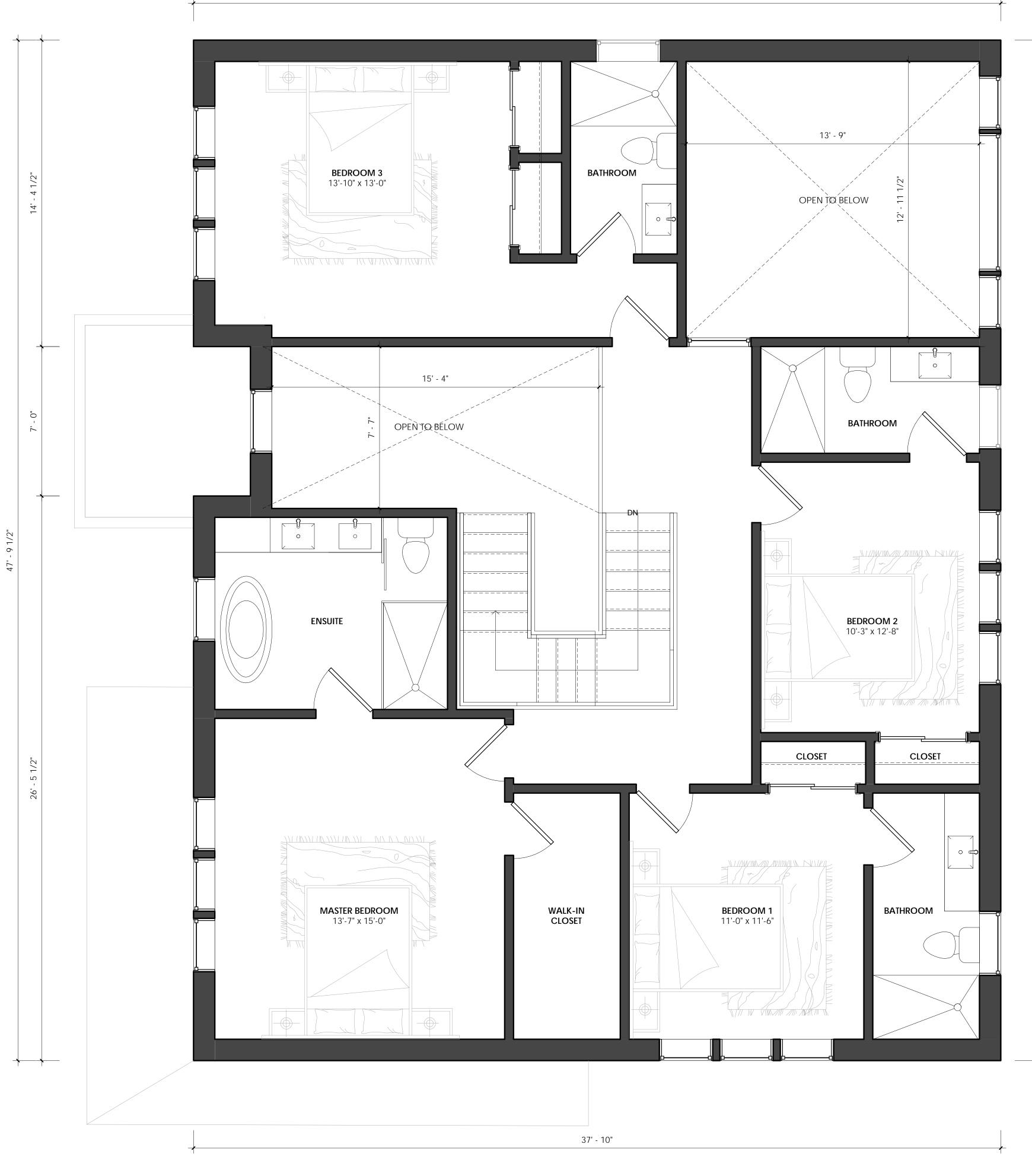


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SECOND FLOOR PLAN - 1,399.01 SQ.FT. 3/8" = 1'-0"



## Legend

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EXISTING DOOR NEW DOOR EXISTING WALL TO REMAIN EXISTING WALL TO REMOVE

PROPOSED WALL

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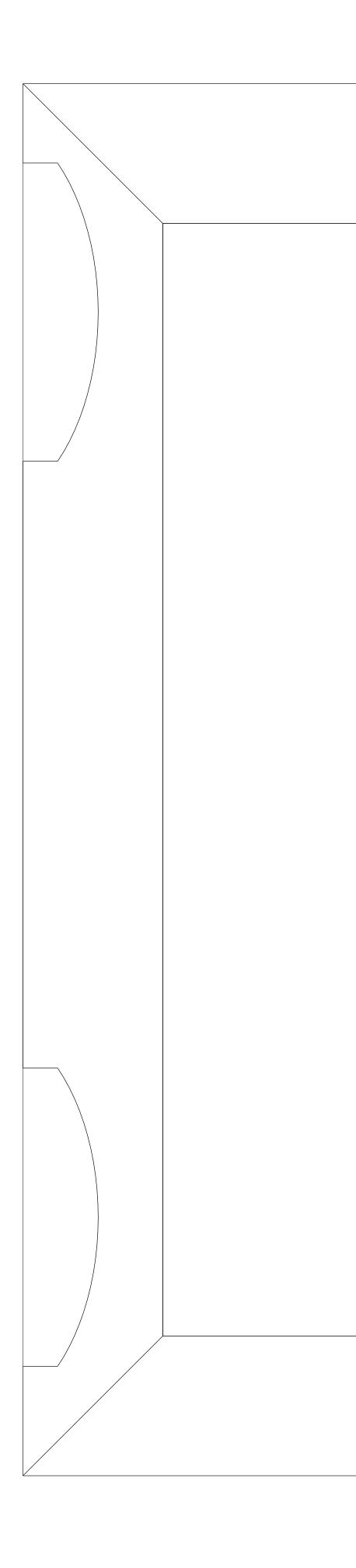
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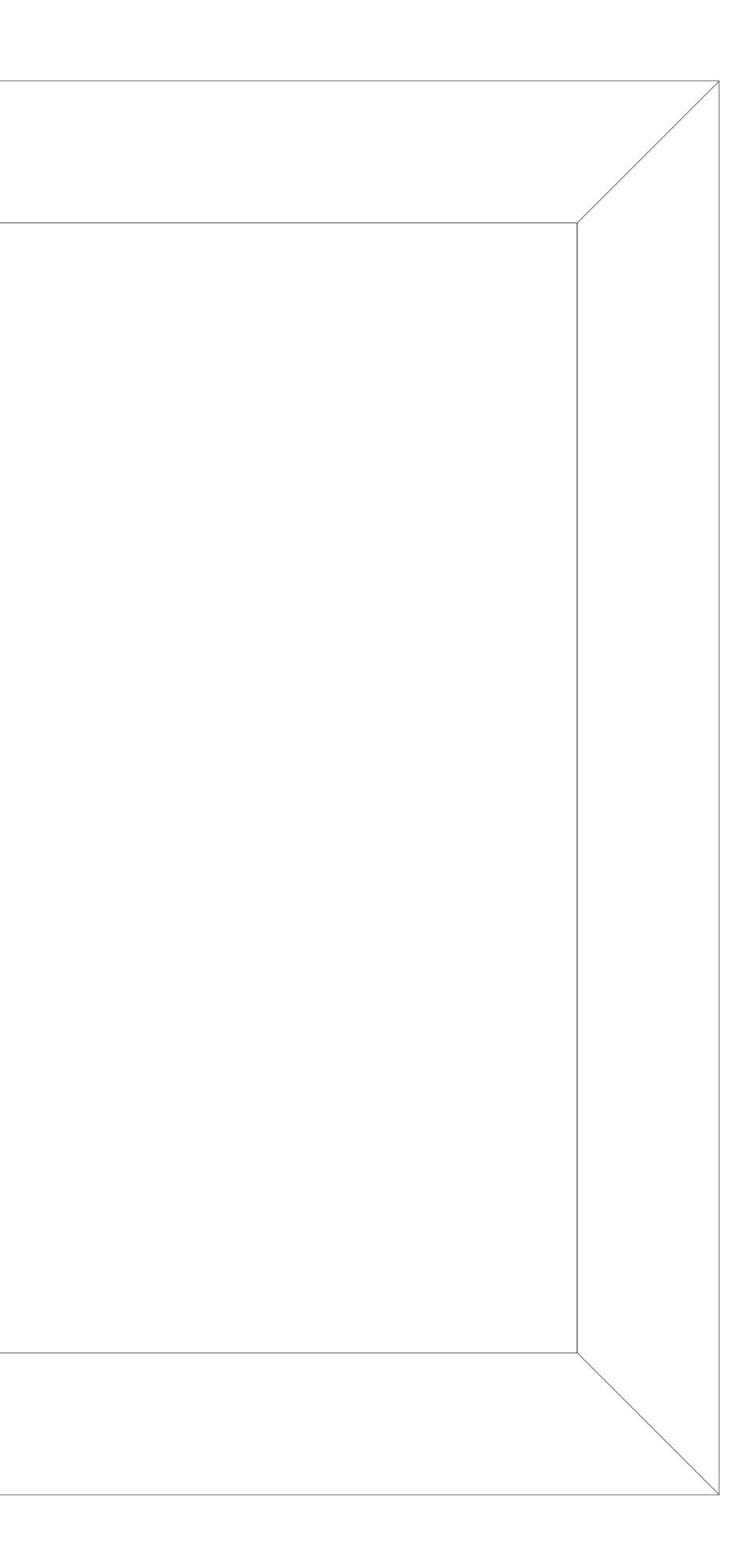
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**ROOF PLAN** 3/8" = 1'-0"





# Legend

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Existing wall to remain EXISTING WALL TO REMOVE

PROPOSED WALL

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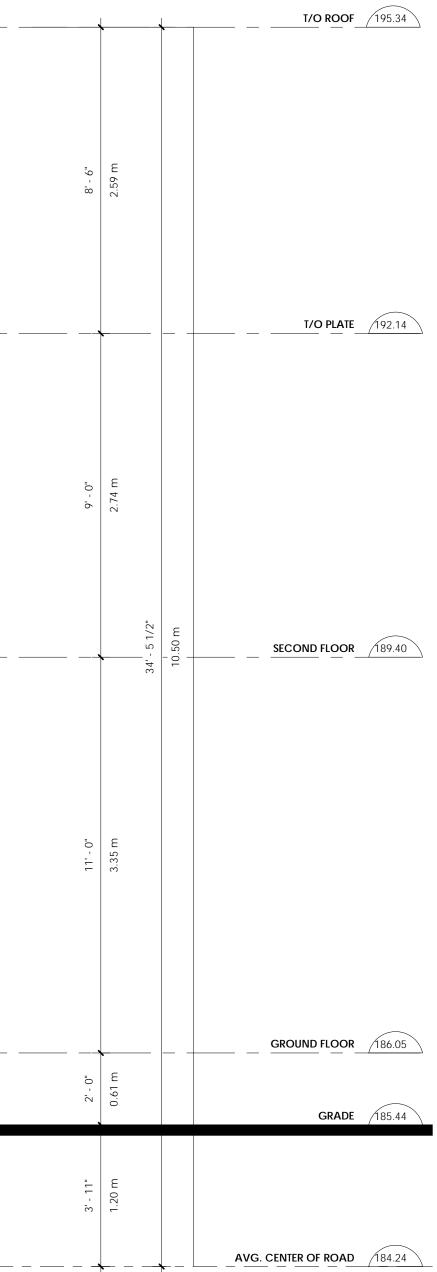
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### SOUTH ELEVATION

3/8" = 1'-0"



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Legend	
EXISTING DOOR	NEW DOOR

EXISTING WALL TO REMAIN EXISTING WALL TO REMOVE PROPOSED WALL

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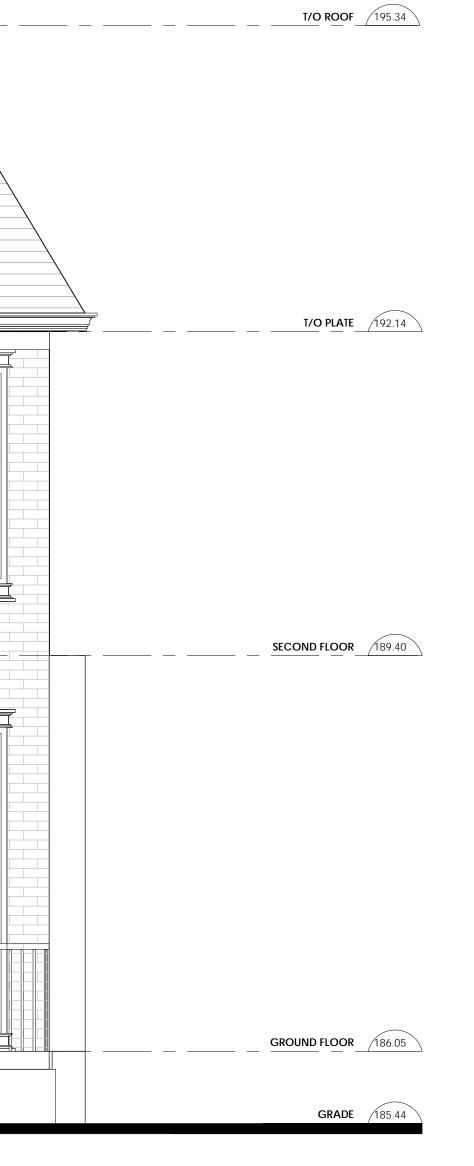
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### NORTH ELEVATION

3/8" = 1'-0"



AVG. CENTER OF ROAD 184.24

#### Legend

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EXISTING DOOR	NEW DOOR

Existing wall to remain EXISTING WALL TO REMOVE

PROPOSED WALL

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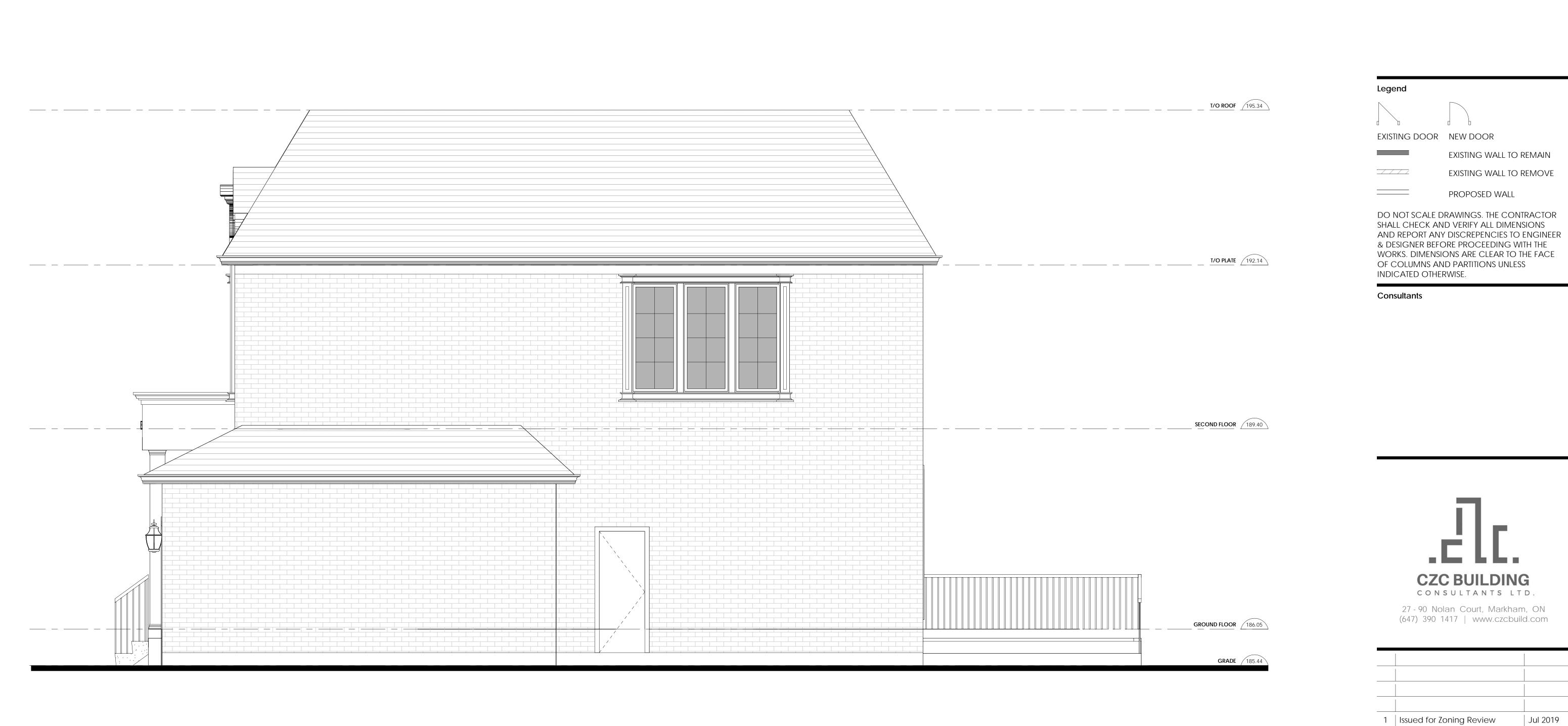
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## EAST ELEVATION

3/8" = 1'-0"

AVG. CENTER OF ROAD 184.24

#### Project Address 8 Hamilton Hall Dr. Markham

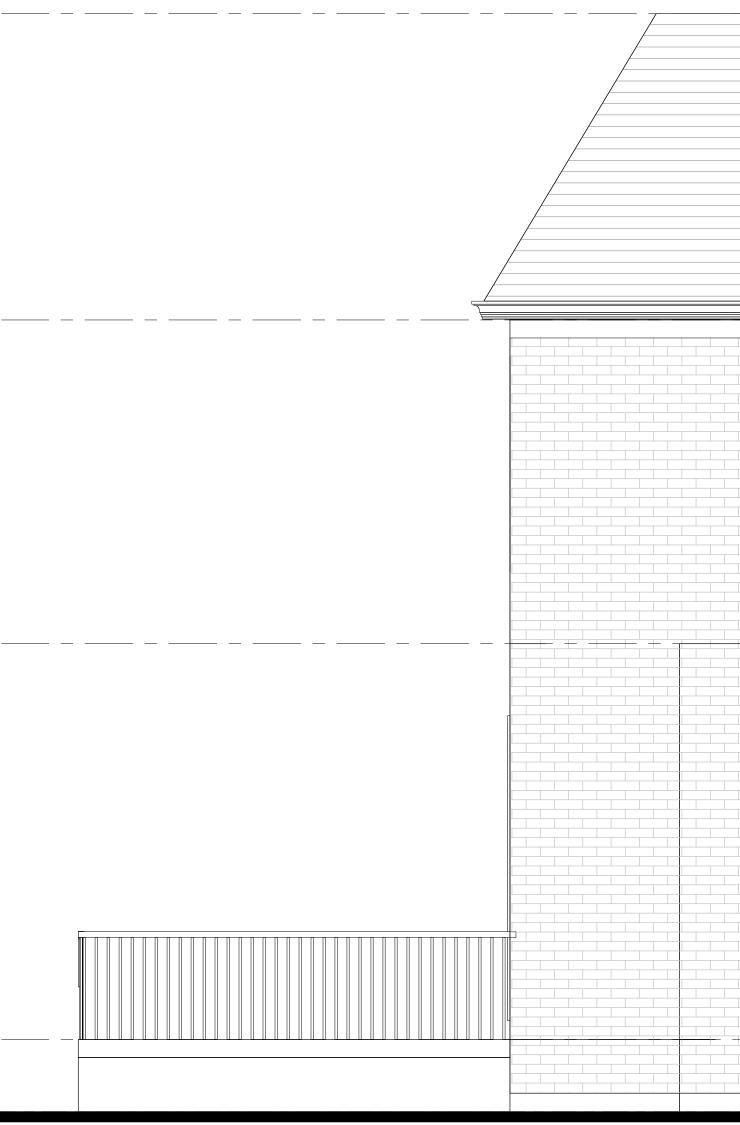
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Drawing Name

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### East Elevation

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### WEST ELEVATION

3/8" = 1'-0"

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### \_\_\_\_\_\_ **T/O ROOF** 195.34

#### T/O PLATE 192.14

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# SECOND FLOOR 189.40

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### GROUND FLOOR 186.05

#### **GRADE** 185.44

AVG. CENTER OF ROAD 184.24

### Legend

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EXISTING WALL TO REMAIN EXISTING WALL TO REMOVE

PROPOSED WALL

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#### Drawing Name

### West Elevation

Project number	036
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