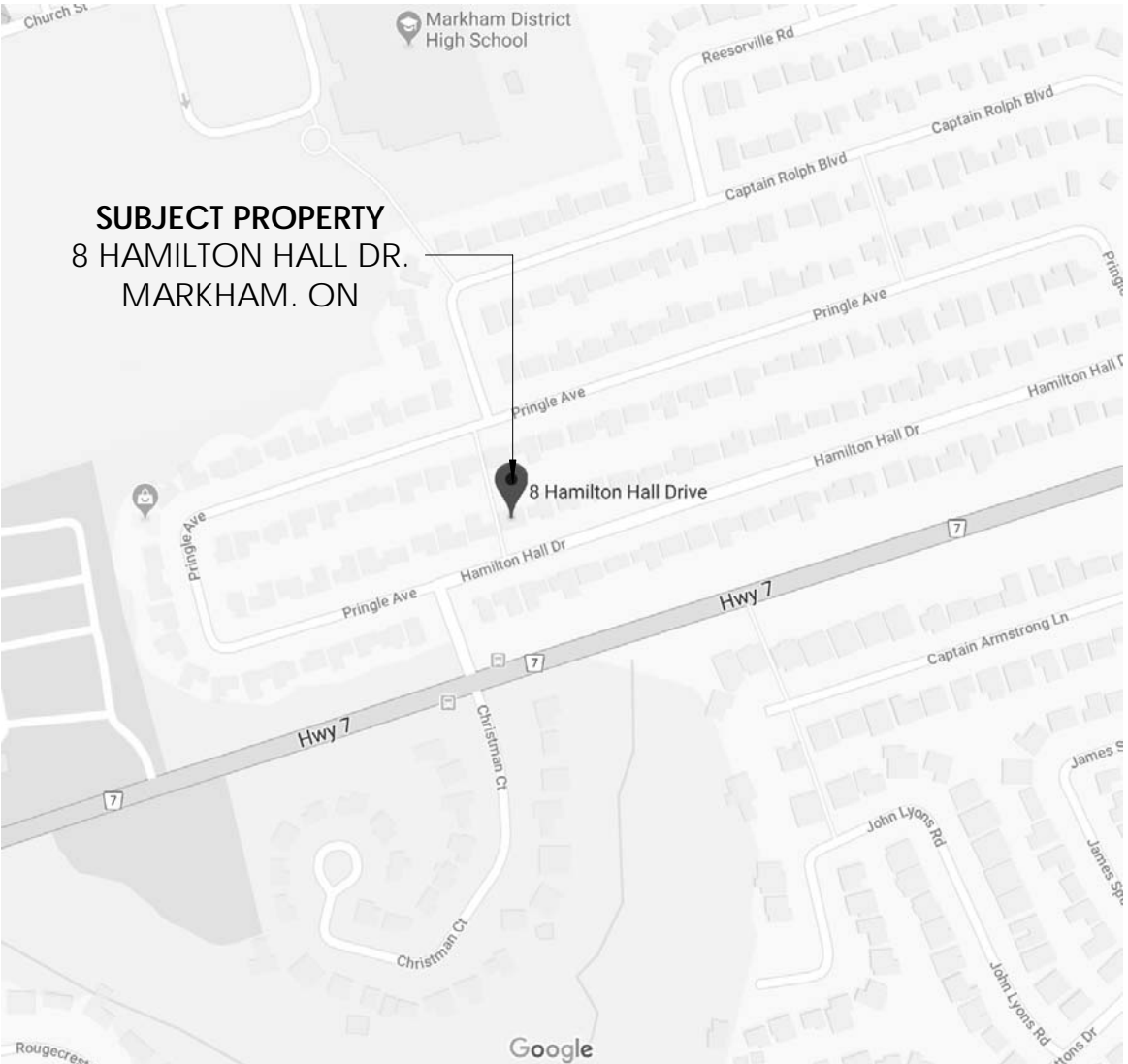


<div>PROJECT DESCRIPTION</div> <div>RESIDENTIAL: NEW DETACHED HOUSE</div> <div>LEGAL DESCRIPTION</div> <div>LOT 124</div> <div>REGISTERED PLAN M-1385</div> <div>CITY OF MARKHAM</div> <div>REGIONAL MUNICIPALITY OF YORK</div> <div>BUILDING ADDRESS</div> <div>8 HAMILTON HALL DR.</div> <div>MARKHAM ON</div> <div>L3P 2P4</div> <div>ZONING</div> <div>R1 - RESIDENTIAL BY-LAW 1229</div> <div>AS AMENDED BY 99-90</div> <div>LOT FRONTAGE</div> <div>18.34M</div> <div>LOT DEPTH</div> <div>33.62M</div>	SITE STATISTICS			BUILDING SETBACK					
		REQUIRED	PROPOSED	VARIANCE REQ'D			REQUIRED	PROPOSED	VARIANCE REQ'D
	LOT AREA	MIN. 6,600 SQ.FT	6,619.65 SQ.FT.	NO	FRONT	[SOUTH]	MIN. 25FT [7.62M]	25' - 5" [7.75M]	NO
	LOT COVERAGE	MAX. 2,316.65 [35.00%]	2,310.06 [34.89%]	NO	REAR	[NORTH]	MIN. 25FT [7.62M]	26' - 3" [8.00M]	NO
	LOT FRONTAGE	MIN. 60 FT [18.28M]	60.17 FT [18.34M]	NO	SIDE A	[EAST] 1 STOREY	MIN. 4FT [1.21M]	- - [- -M]	NO
	GROUND FLOOR AREA	1200.00 SQ.FT	2,094.22 SQ.FT.	- - -			2 STOREY	MIN. 6FT [1.82M]	6' - 0" [1.82M]
	SECOND FLOOR AREA	1200.00 SQ.FT	1,406.70 SQ.FT.	- - -	SIDE B	[WEST] 1 STOREY	MIN. 4FT [1.21M]	4' - 0" [1.22M]	NO
	NET FLOOR AREA RATIO	MAX. 2,974.42 SQ.FT [45.00%]	3500.92 SQ.FT. [52.96%]	YES [7.96%]			2 STOREY	MIN. 6FT [1.82M]	6' - 1 1/2" [1.87M]
	NO. OF STOREYS	MAX. 2 STOREYS	2 STOREYS	NO			REQUIRED	PROPOSED	VARIANCE REQ'D
	BUILDING HEIGHT	MAX. 32.15 FT [9.8M]	36' - 5" [11.1M]	YES	FRONT YARD LANDSCAPING	- - -		1125.35 SQ.FT [- - %]	NO
BUILDING HEIGHT FLAT ROOF	MAX. 26.25 FT [8.0M]	N/A	NO	BACK YARD LANDSCAPING	- - -		2088.13 SQ.FT [- - %]	NO	
BUILDING DEPTH	MAX. 55.12 FT [16.8M]	44' - 1 1/2" [13.45M]	NO			MAXIUMUM	PROPOSED	VARIANCE REQ'D	
GARAGE PROJECTION	MAX. 6.89 FT [2.1M]	0' - 4 3/4" [0.12M]	NO	EAST ELEVATION OPENING		WALL 975.69 SQ.FT [7%]	26.47 SQ.FT [2.71%]	NO	
GARAGE WIDTH	MAX. 25.26 FT [7.7M]	18' - 6" [5.64M]	NO	WEST ELEVATION OPENING		WALL 990.14 SQ.FT [8%]	65.90 SQ.FT [6.66%]	NO	

SUBJECT PROPERTY
8 HAMILTON HALL DR.
MARKHAM, ON



Legend

EXISTING DOOR

NEW DOOR

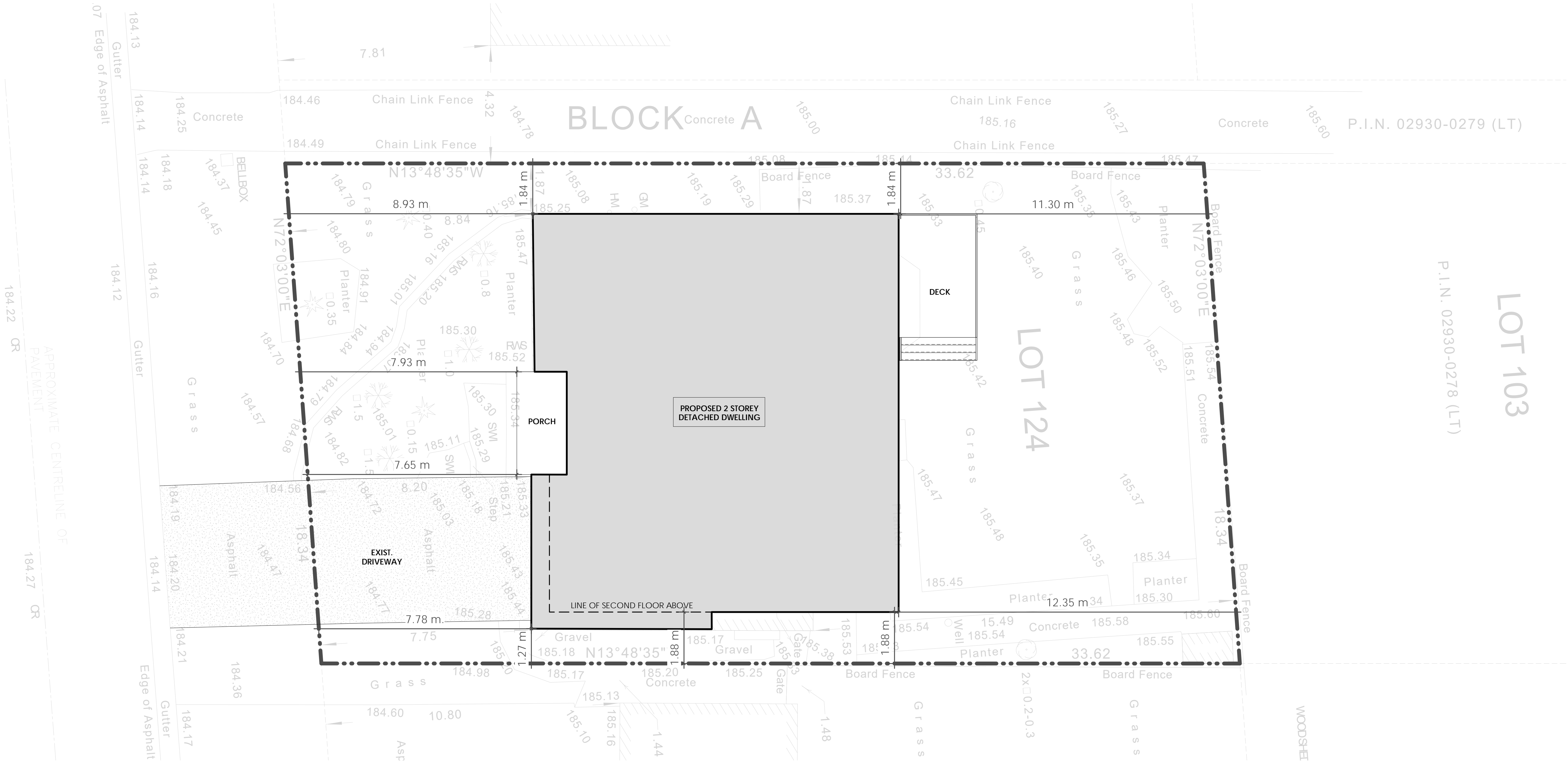
EXISTING WALL TO REMAIN

EXISTING WALL TO REMOVE

PROPOSED WALL

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPENCIES TO ENGINEER & DESIGNER BEFORE PROCEEDING WITH THE WORKS. DIMENSIONS ARE CLEAR TO THE FACE OF COLUMNS AND PARTITIONS UNLESS INDICATED OTHERWISE.

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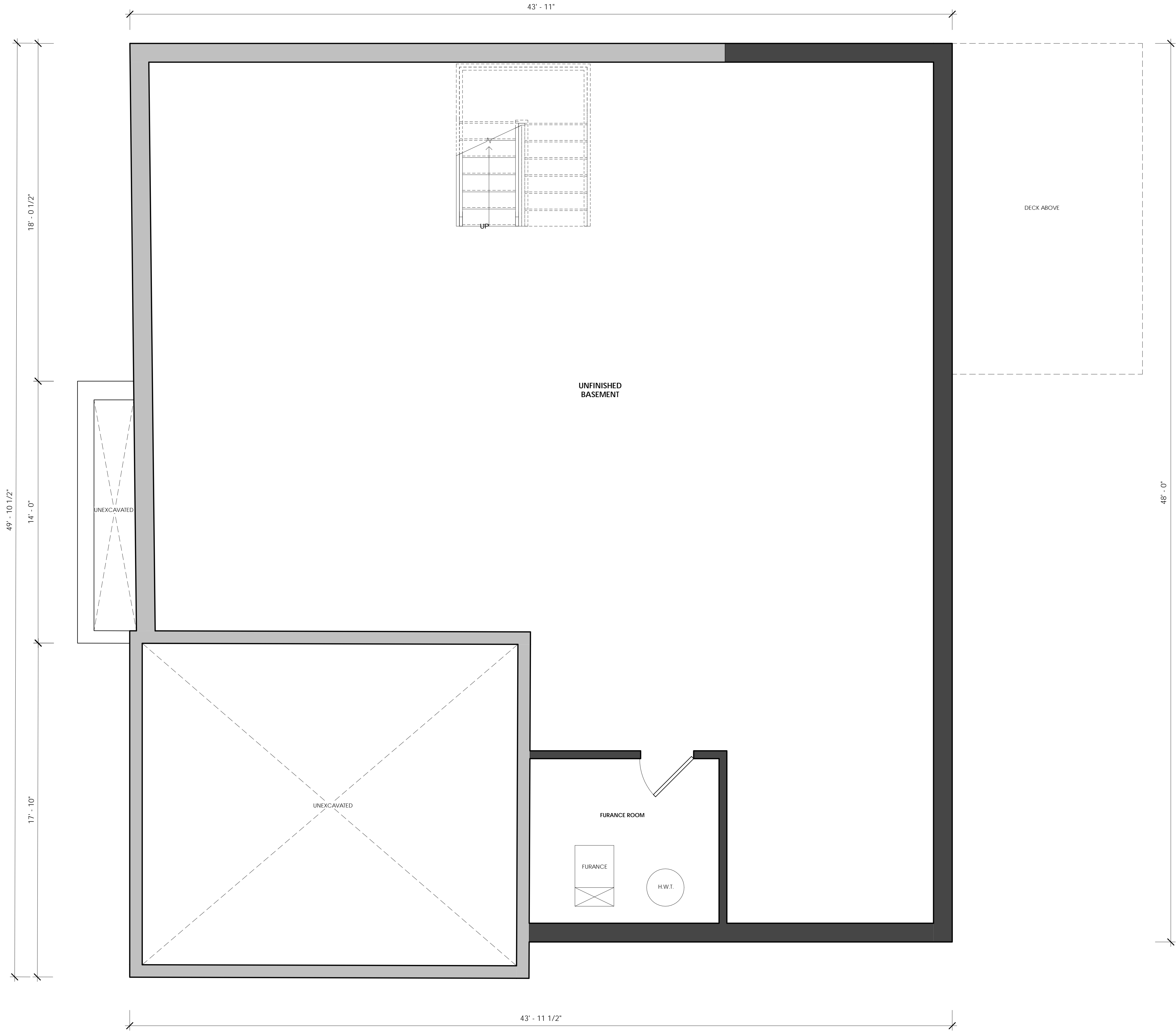
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1	Issued for Zoning Review	Jul 2019
No.	REVISION	DATE
Project Address 8 Hamilton Hall Dr. Markham		
Drawing Name		
Site Plan		
Project number	036	
Date	July 2019	
Drawn by	HZ	
Check by	RC	
Scale	1 : 75	
Page No.		






A0.1



BASEMENT PLAN

3/8" = 1'-0"

Legend

-  EXISTING DOOR
-  NEW DOOR
-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO REMOVE
-  PROPOSED WALL

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Legend

	EXISTING DOOR		NEW DOOR
	EXISTING WALL TO REMAIN		EXISTING WALL TO REMOVE
	PROPOSED WALL		

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Ground Floor Plan

Project number
036

Date
July 2019

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Check by
RC

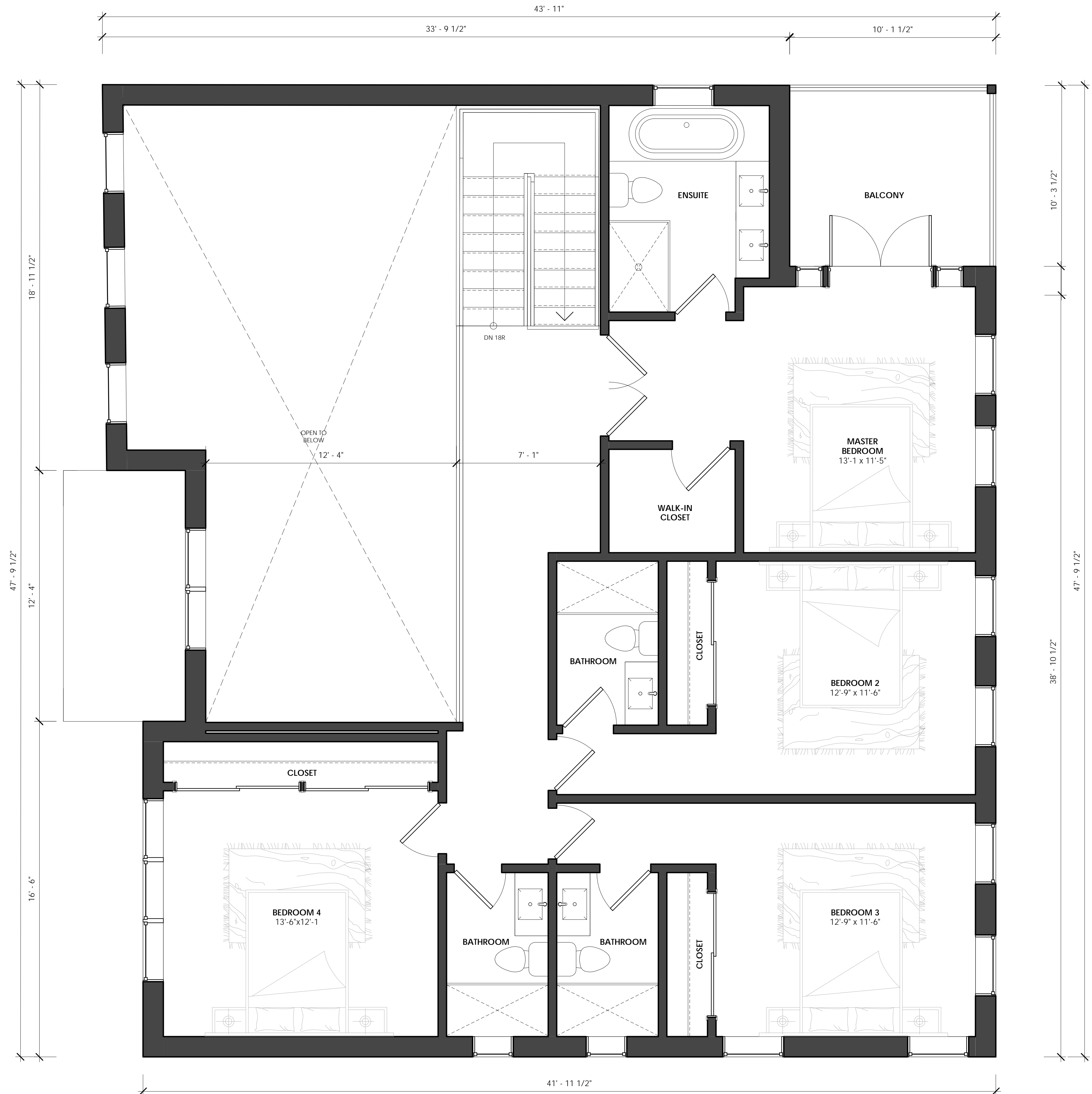
Scale
3/8" = 1'-0"

Page No.

GROUND FLOOR PLAN - 2,094.22 SQ.FT.

3/8" = 1'-0"

A1.2



SECOND FLOOR PLAN - 1,406.70 SQ.FT.

3/8" = 1'-0"

Legend

EXISTING DOOR

NEW DOOR

EXISTING WALL TO REMAIN

EXISTING WALL TO REMOVE

PROPOSED WALL

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Drawing Name
Second Floor Plan

Project number	036
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SOUTH ELEVATION

3/8" = 1'-0"

Legend

- EXISTING DOOR
- NEW DOOR
- EXISTING WALL TO REMAIN
- EXISTING WALL TO REMOVE
- PROPOSED WALL

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Drawing Name

South Elevation

Project number 036

Date July 2019

Drawn by HZ

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Scale 3/8" = 1'-0"

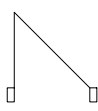
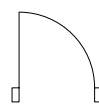

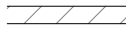
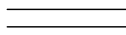
Page No.



NORTH ELEVATION

3/8" = 1'-0"

Legend

-  EXISTING DOOR
-  NEW DOOR
-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO REMOVE
-  PROPOSED WALL

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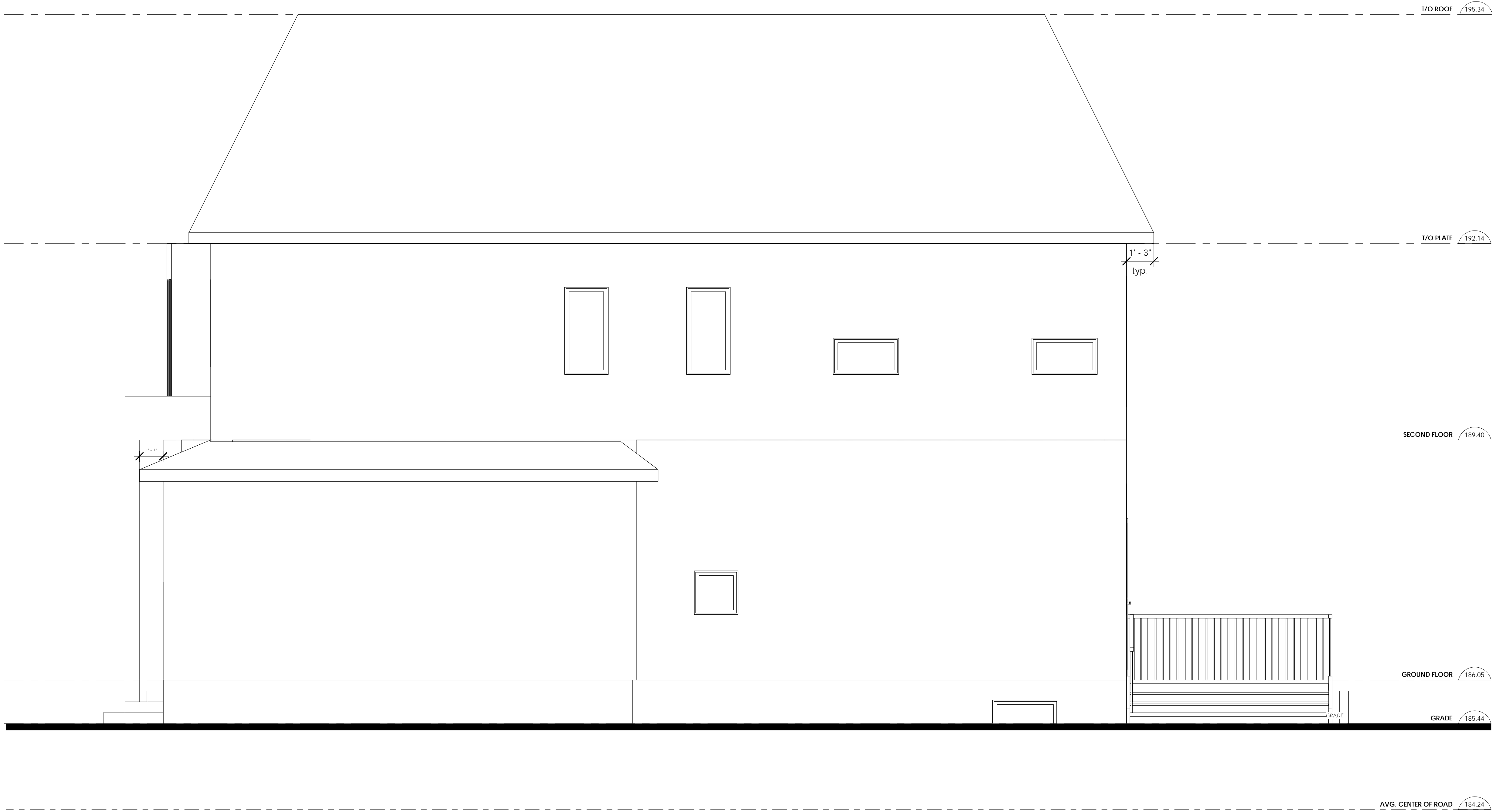
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Drawing Name

North Elevation

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EAST ELEVATION

3/8" = 1'-0"

Legend

- EXISTING DOOR
- NEW DOOR
- EXISTING WALL TO REMAIN
- EXISTING WALL TO REMOVE
- PROPOSED WALL

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Drawing Name
East Elevation

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Scale	3/8" = 1'-0"
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WEST ELEVATION

3/8" = 1'-0"

Legend

- EXISTING DOOR
- NEW DOOR
- EXISTING WALL TO REMAIN
- EXISTING WALL TO REMOVE
- PROPOSED WALL

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Drawing Name

West Elevation

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