

Memorandum to the City of Markham Committee of Adjustment

February 28, 2019

File: A/13/19
Address: 1 Florelle Dr, Markham
Applicant: Trung Tran
Agent: Tran Dieu & Associates Inc (Elwin Wong)
Hearing Date: Wednesday March 13, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 177-96, as amended:

- a) **Section 6.5:**
a secondary dwelling unit, whereas the By-law permits no more than one dwelling unit on a lot;
- b) **Parking By-law 28-97, Section 3.0:**
two parking spaces, whereas the By-law requires three parking space.;

These variances relate to a secondary dwelling unit within the existing single detached dwelling

BACKGROUND

Property Description

The 355 m² (3,821.2 ft²) subject property is located on the south side of Florelle Drive and east side of Roy Rainey Avenue. More generally, the subject property is east of McCowan Road and south of Major Mackenzie Drive in the Wismer Commons community. The property is developed with a 242.4 m² (2,609 ft²) two-storey single detached dwelling, which according to assessment records was constructed in 2007. The property currently provides a total of two parking spaces, one in the garage and one on the driveway. The front yard comprises hard landscaping in the form of interlock pavers, which also encroaches within the City owned right-of-way abutting the sidewalk on both streets.

Proposal

The applicant is requesting permission for a proposed secondary suite in the basement of the existing dwelling. The proposal includes a new window at the front of the building and construction of a direct and separate access to the secondary unit via a proposed walkout in the flankage (corner) yard along Roy Rainey Avenue. No other changes are proposed to the exterior of the dwelling or property.

Provincial Policies

Strong Communities through Affordable Housing Act - Province of Ontario

In 2011, the Strong Communities through Affordable Housing Act amended various sections of the Ontario Planning Act to facilitate the creation of second units by:

- Requiring municipalities to establish Official Plan policies and Zoning By-law provisions allowing secondary units in detached, semi-detached and row houses, as well as in ancillary structures
- Providing authority for the Minister of Municipal Affairs and Housing to make regulations authorizing the use of, and prescribing standards for, second units.

Under the *Strong Communities through Affordable Housing Act*, 'Second Units' also known as secondary suites are defined as "self-contained residential units with kitchen and bathroom facilities within dwellings or within structures accessory to dwellings".

2014 Official Plan (partially approved on Nov 24/17, and further updated on April 9/18)

The 2014 Official Plan designates the subject property "Residential – Low Rise", which provides for a range of low rise housing forms including single detached dwellings. The definition of a "Secondary Suite" in the 2014 Official Plan is "a second residential unit in a detached house, semi-detached house or row house that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking, sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons".

Section 8.13.8 states that it is the policy of Council that in considering an application to amend the zoning by-law to permit the establishment of a secondary suite, where provided for in the 2014 Official Plan, Council shall be satisfied that an appropriate set of development standards are provided for in the zoning by-law including:

- a) The building type in which the secondary suites is contained;
- b) The percentage of the floor area of the building type devoted to the secondary suite;
- c) The number of dwelling units permitted on the same lot;
- d) The size of the secondary suite;
- e) The applicable parking standards; and
- f) The external appearance of the main dwelling

As part of the City initiated zoning by-law consolidation project, Council recently considered the issue of second suites within the City. On May 29th, 2018, Council voted not to permit second suites as of right in any single detached, semi-detached, or townhouse dwelling. Consequently each secondary unit requires zoning approval, either through a variance or by-law amendment, to be permitted.

Zoning By-law 177-96

The subject property is zoned 'Residential Two-Special*99 (R2-S*99)' under By-law 177-96, as amended, which permits a range of low rise housing, including single detached dwellings. The By-law does not permit a secondary suite on the subject property, and the applicant has therefore submitted this variance request. Exception 99 provides for specific development standards relating to minimum side yards, driveway setbacks, and wide and shallow lot depth requirements.

Parking Standards By-law 28-97

The secondary suite also does not comply with the standard of the Parking By-law 28-97 with respect to the number of parking space required. Further details of the parking requirement is provided in the comment section below.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, "1) Provide 2nd kitchen for secondary unit 2) only able to provide 2 parking spaces whereas 3 parking is required".

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this

application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Secondary Suites

Engineering staff confirmed that the existing sanitary sewer system has adequate capacity to accommodate the secondary suite and the Fire and Emergency Services Department has no objections provided the secondary suite is registered with the City and complies with Building and Fire Codes. Should this application be approved, the applicant will be required to obtain a building permit which ensures the secondary suite will be in compliance with Building Code and Fire Code regulations.

The City of Markham is committed to promoting affordable and shared housing opportunities. Secondary suites help the City increase the availability of affordable housing forms and provide support to achieve its affordable housing target required by the Province. Planning staff are of the opinion that the application meets the criteria under Section 8.13.8 of the 2014 Official Plan for the establishment of a secondary suite and therefore have no objections.

Reduced Parking Spaces

Parking Standards By-law 28-97 requires two parking spaces for the principal dwelling unit, plus one additional space for an accessory dwelling unit or secondary suite. The existing single-car garage and driveway provides two required parking spaces for the principle dwelling unit. As noted, staff support the variance to permit the secondary suite, as it provides an opportunities for shared and affordable housing, which is consistent with Provincial Policy and the City's 2014 Official Plan. When considering secondary unit variances, staff typically support related variances to remove required parking requirements for these units to minimize potential changes to a property by requiring an additional parking space. For example adding parking by providing extra wide driveways, and thus reducing the amount of soft landscaping which plays a role for the infiltration of rain water, which is an important part of good storm water management practices.

In this instance however, staff note that the front yard has been hardscaped with interlocked pavers which is the same pavement materials as the private driveway. Technically this expanded area of hardscaping within the front yard could provide an additional parking space. However if this expanded area was to be used as parking on a "driveway" as defined by Parking Standards By-law 28-97 it may not comply with the By-law with respect to maximum driveway widths, soft landscaping, minimum driveway setbacks and parallel parking adjacent to a street provisions. Staff note that the City's By-law Licensing and Enforcement department has been made aware of the situation and will be monitoring it. The Property Owner is advised that parking within this area of the front yard may not conform to Parking Standards By-law 28-97, as amended and that hardscape paving within the City's right of way is not permitted.

Staff support the requested variance to reduce required parking for the secondary suite. Staff are of the opinion that not requiring additional parking for secondary suites may be considered "self-regulating", as the unit would only be of interest to a tenant not requiring a parking space. It should also be noted that overnight parking is not permitted on this street, and violators could be ticketed.

PUBLIC INPUT SUMMARY

No written submissions were received as of February 28, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:


Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:


Stephen Corr, Senior Planner, East District


File Path: Amanda\file\19 111650 \Documents\District Team Comments Memo

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/13/19

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report and received by the City of Markham on *February 5, 2019*, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite;
4. That the Owner register the home as a two-unit house with the City of Markham Fire & Emergency Services Department, and satisfy any and all conditions for registration, to the satisfaction of the Fire Chief.

CONDITIONS PREPARED BY:


Aqsa Malik, Planner, Zoning and Special Projects

OF YORK

LTD., O.L.S.

IN METRES AND CAN
BY 0.3048.



SURVEYOR'S CERT

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CONFORM WITH THE SURVEYS ACT, THE SURVEY TITLES ACT AND THE REGULATION
2. THE SURVEY WAS COMPLETED ON

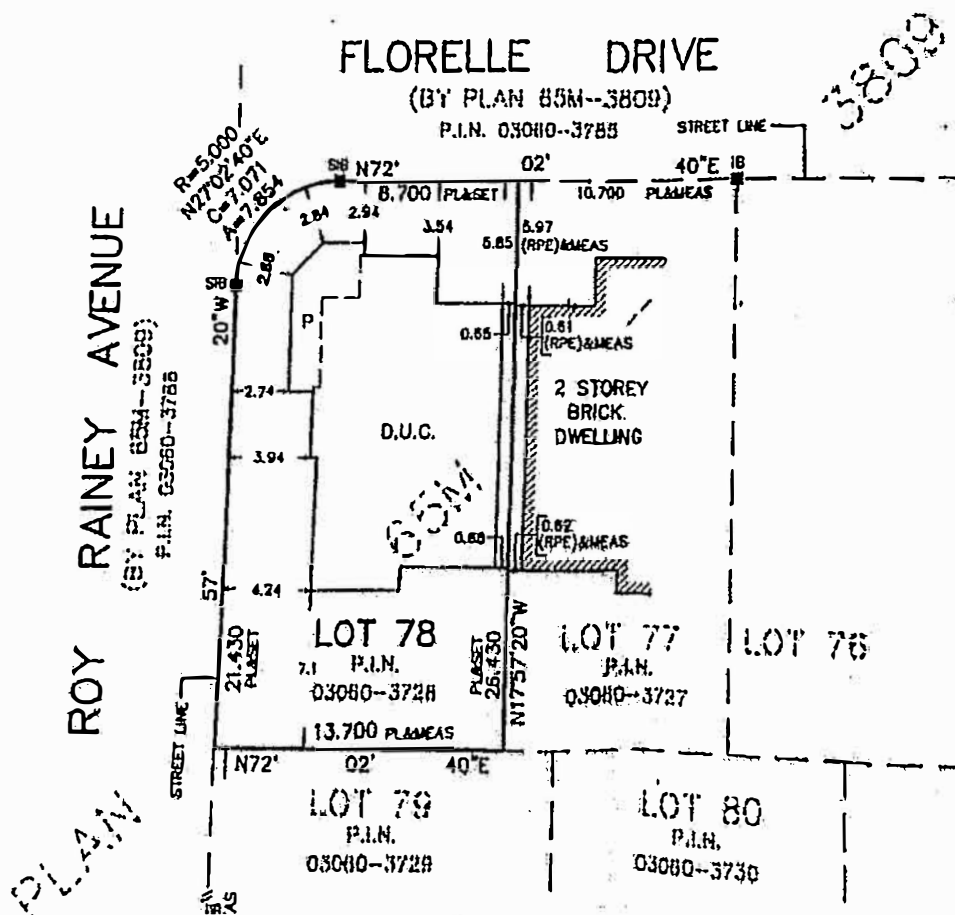
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NOTES

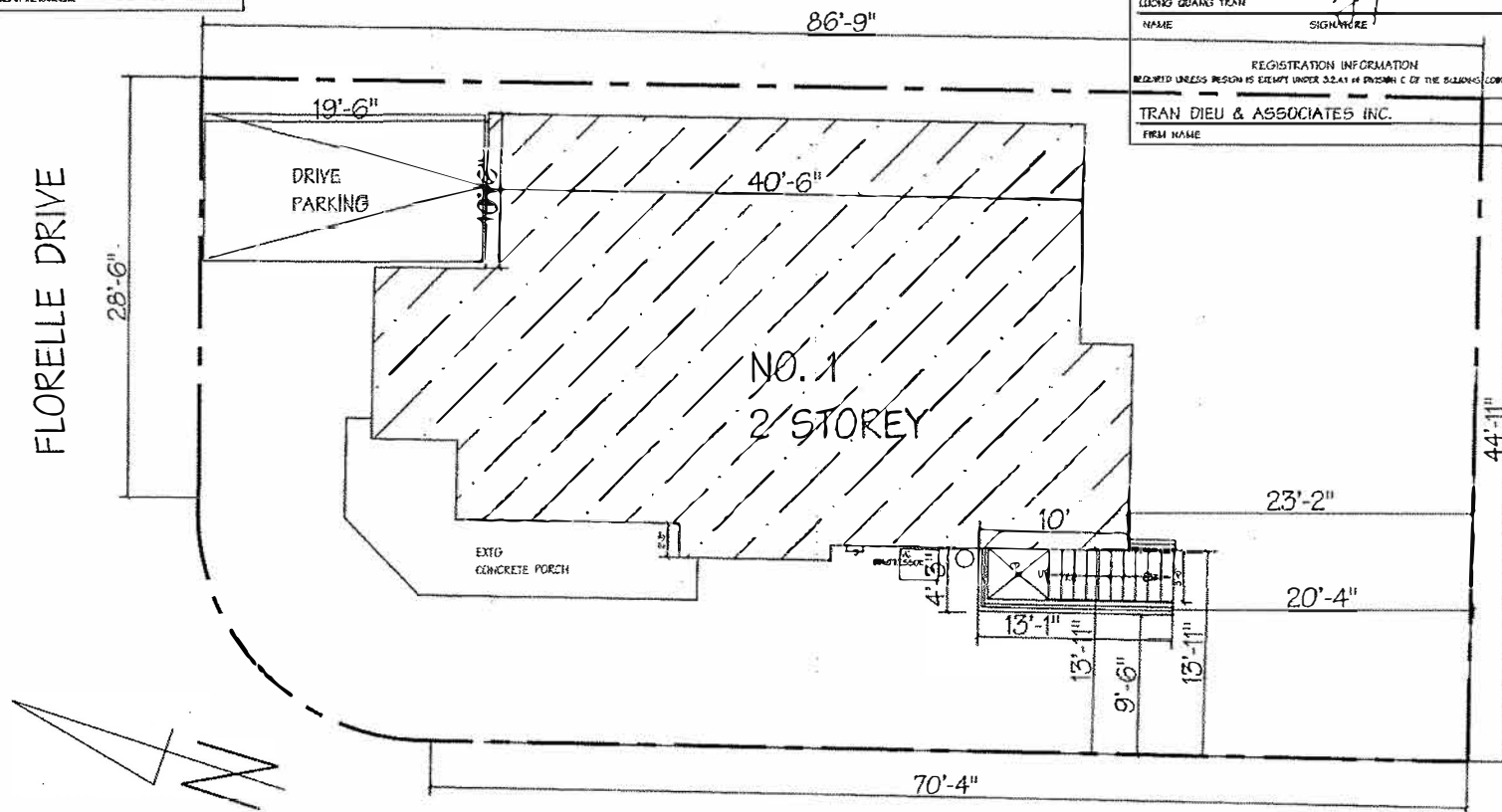
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<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.</p>	
<p>QUALIFICATION INFORMATION</p> <p>REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.41 OF DIVISION C OF THE BUILDING CODE.</p>	
<p>LEONARD GRAMES TEAM</p>	<p>20848</p>
<p>NAME</p>	<p>SIGNATURE</p>
<p>REGISTRATION INFORMATION</p> <p>REQUIRED UNLESS DESIGNER IS EXEMPT UNDER 3.2.41 OF DIVISION C OF THE BUILDING CODE.</p>	
<p>TRAN DIEU & ASSOCIATES INC.</p>	<p>27068</p>
<p>FIRM NAME</p>	<p>BCIN</p>



ROY RAINEY AVE.



TRAN DIEU & ASSOCIATES INC.
32 MEYERSTOWN CRT. UNIT 4, SCARBOROUGH, ONTARIO
M1S 5M6 TEL: (416) 298-3270 FAX: (416) 298-3203

TITLE:
1 FLORELL DR. MARKHAM.
PROPOSED BASEMENT APARTMENT

DRAWN BY: C.Z.	PROJECT No.
CHECKED BY: C.T.	
SCALE: 1/8"=1'-0"	DATE:

DRAWING No	A0
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION C OF THE BUILDING CODE

LIVING QUANG TRAN 20848
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION C OF THE BUILDING CODE

TRAN DIEU & ASSOCIATES INC. 27068
 FIRM NAME BCIN

TABLE: 11.5.1.1.C (PART 11 OBC, BUILDING OLDER THAN 5 YRS)

C152= HORIZONTAL FIRE SEP=15 min.
 WHERE PROVIDE INTERCONNECTED
 SMOKE ALARM.


C136&147= 30MIN. FIRE SEPARATION, FOR SHARE EXIT

PROVIDE DUCT TYPE SMOKE DETECTOR @
 @ RETURN AIR PLENUMN. SMOKE DETECTOR SHALL
 INSTALL IN SUCH WAY UPON ACTIVATION OF SMOKE
 DETECTOR SHALL SHUT DOWN FURNACE

SMOKE ALARM TO BE INTERCONNECTED.

IMPORTANT NOTES & REQUIREMENT FOR TWO DWELLING UNIT (UNDER REQUIREMENT OF PART 11 OBC)

- RETROFIT UNDER PART 11 OBC:
- SHARE EXIT REQUIRED 30 MIN. FIRE SEPARATION (WITH INTER CONNECTED SMOKE ALARM)
- HORIZONTAL SEPARATION BETWEEN UNITS= 15MIN. FIRE SEPARATION (WITH INTER CONNECTED SMOKE ALARM)
- EXISTING FURNACE MAY SERVICE BOTH UNITS PROVIDE A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WITH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING UNIT UPON ACTIVATION OF SUCH DETECTOR.
- MINIMUM 5% OF LIVING/DINING FLOOR AREA OF NATURAL LIGHT (GLASS AREA) TO BE PROVIDE.
- MINIMUM OF 2.5% OF BEDROOM AND OTHER FINISHED ROOMS FLOOR AREAS OF NATURAL LIGHT.
- MIN. 3 SQ.FT CLEAR OPENING OF NATURAL VENTILATION REQUIRED FOR BATHROOMS. OR MECHANAL EXHAUST VENTED PROVIDE A 1 AIR CHANGE PER HOUR IS ACCEPTABLE.
- MIN. LIVING AREA=13.5 SQ.METER, OR 11 SQ.METER IF LIVING COMBINEED WITH DINNING OR KITCHEN.
- MIN. DINING AREA=7 SQ.METER OR OR 3.25 SQ.METER IF COMBINED W/ OTHER SPACE
- KITCHEN AREA= MIN. 3.7 SQ.METER
- AT LEAST ONE BEDROOM=9.8 SQ.METER OR 8.8 SQ.METER IF A BUILT IN CLOSET IS PROVIDED. OR 4.2 SQ.METER IF THE BEDROOM AREA IS COMBINED W/ ANOTHER SPACE.
- OTHER BEDROOMS=7 SQ.METER OR 6 SQ.METER IF A BUILT IN CLOSET IS PROVIDE. 4.2 SQ.METER IF THE BEDROOM IS COMBINED W/ ANOTHER SPACE

STATUS:	ISSUED:	TITLE: 1 FLORELL DR. MARKHAM. PROPOSED BASEMENT APPARTMENT
 TRAN DIEU & ASSOCIATES INC. 50 WYNDHURST CRT. UNIT 4, SCARBOROUGH, ONTARIO M1S 5A2 TEL: (416) 298 6370 FAX: (416) 298 6903		DRAWN BY: CHECKED BY: SCALE: 3/16"=1'-0"
		DRAWING No. NOTES

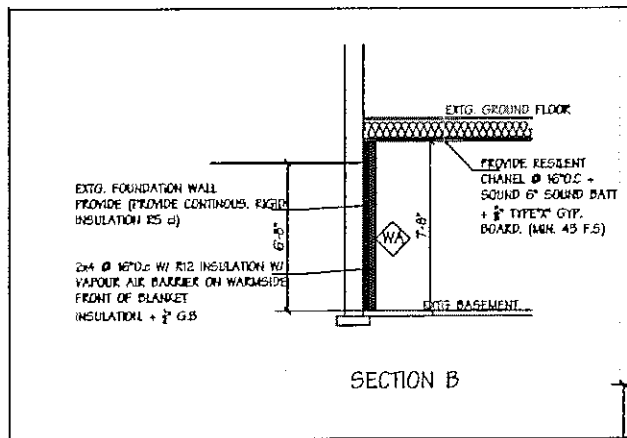
GENERAL CONDITION:

GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITION ON SITE AND REPORT IMMEDIATELY ANY DISCREPANCIES TO TRAN DIEU & ASSOCIATES BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF TRAN DIEU & ASSOCIATES INC. AND MUST BE RETURNED ON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM TRAN DIEU & ASSOCIATES INC.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE TO O.B.C.

THE ENGINEER (DESIGNERS) ARE NOT RESPONSIBLE FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED DRAWINGS PERFORMED BY THE CONTRACTOR.



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REGISTERED BUILDING DESIGNER & ENGINEER UNDER SUBCLASS OF DIVISION C OF THE BUILDING CODE

DESIGNER'S NAME: **TRAN DIEU & ASSOCIATES INC.** REGISTRATION NO.: **27068**

PROJECT NAME: **PROPOSED BASEMENT APARTMENT** PROJECT NO.: **20848**

LEGEND:

- L1: 2L-15"x4"x8" (MIN. 6" BEARING.)
- L2: 1L-15"x4"x8" + 2-2x10 (MIN. 6" BEARING.)

NEW PARTITION
2x4 @ 16" O.C. + SOUND BATT @ 16" O.C. + 5/8" TYPE-X G.B. BOTH SIDE (1HR. F.S.)

EXISTING WALL TO REMAIN.

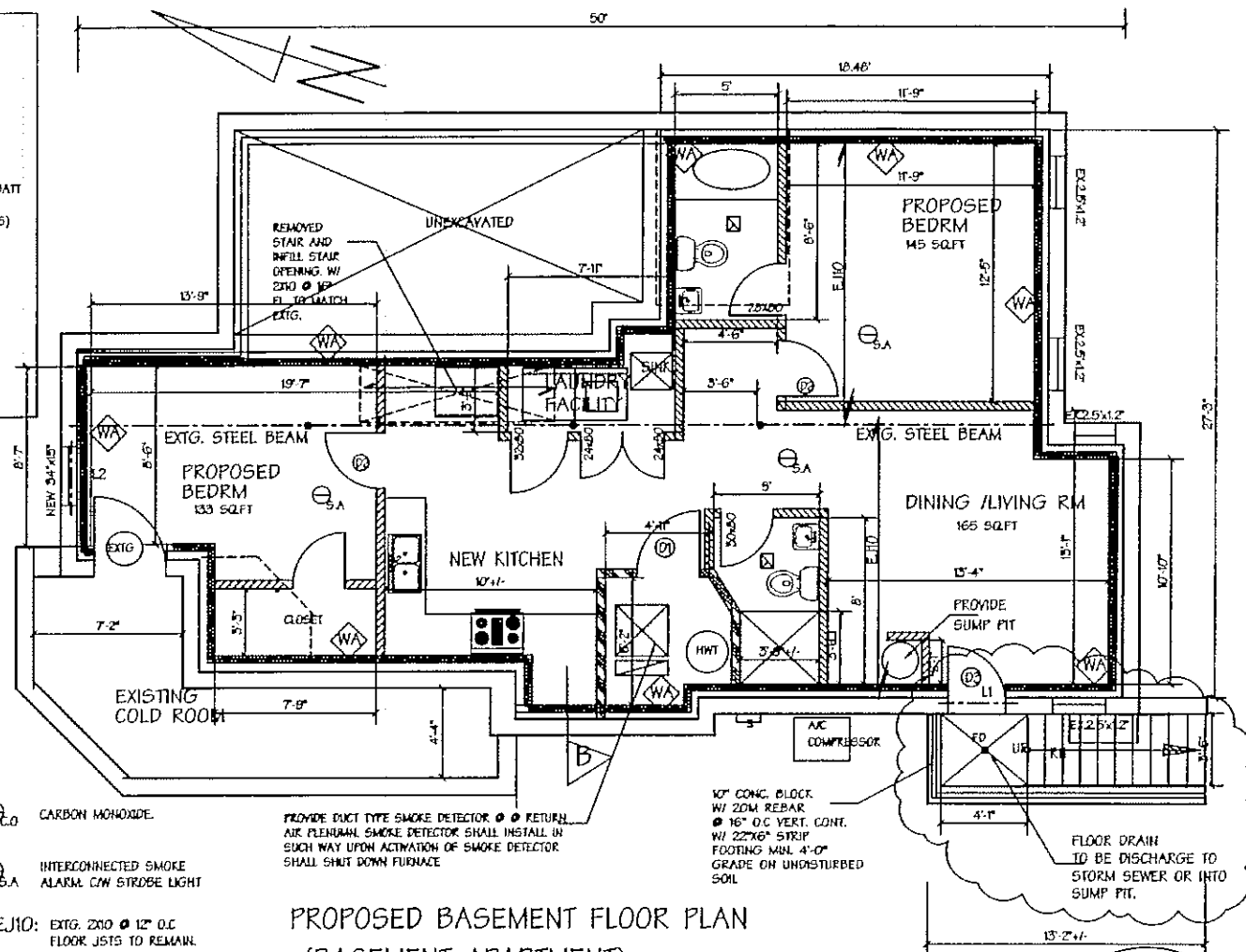
- (D1) 36"x80" SOLID CORE DOOR 20MIN. F.P.R. C/W SELF CLOSURE LATCHES
- (D2) 32"x80"
- (D3) 36"x80" EXTERIOR INSULATED DOOR C/W 23"x48" GLASS PANEL

EXTG. FOUNDATION WALL
PROVIDE (PROVIDE CONTINUOUS, RIGID INSULATION R5 @) + 2x4 @ 16" O.C. W/ R12 INSULATION W/ VAPOUR AIR BARRIER ON WARM SIDE, FRONT OF BLANKET INSULATION + 1/2" G.B.

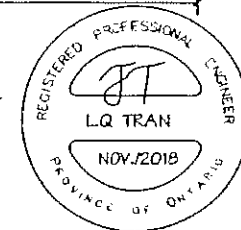
- EL0 CARBON MONOXIDE.
- EL1 INTERCONNECTED SMOKE ALARM C/W STROBE LIGHT
- EL10: EXTG. 2x10 @ 12" O.C. FLOOR JOISTS TO REMAIN.
- NEW 80 CFM MECH. EXHAUST FAN (TYP), 5" EXHAUST DUCT

PROVIDE DUCT TYPE SMOKE DETECTOR @ RETURN AIR PLUMBING SMOKE DETECTOR SHALL INSTALL IN SUCH WAY UPON ACTIVATION OF SMOKE DETECTOR SHALL SHUT DOWN FURNACE

PROPOSED BASEMENT FLOOR PLAN (BASEMENT APARTMENT)



SEE BASEMENT WALKOUT DETAIL
SEE DWG




TITLE: 1 FLORELL DR. MARKHAM PROPOSED BASEMENT APARTMENT	DRAWN BY: C.Z.	PROJECT NO.	DRAWING NO.
	CHECKED BY: C.T.		A1
	SCALE: 3/16"=1'-0"	DATE:	

GENERAL CONDITIONS:
CONTRACTOR SHALL COMPLY WITH ALL BUILDING AND CITY CODES AND ALL APPLICABLE BY-LAWS AND ORDINANCES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MARKHAM.
ALL CONSTRUCTION AND MATERIALS SHALL BE THE PROPERTY OF TRAN DIEU & ASSOCIATES INC. AND SHALL BE RETURNED TO TRAN DIEU & ASSOCIATES INC. UPON COMPLETION OF PROJECT.
ALL WORK SHALL BE COMPLETED IN ACCORDANCE TO O.C.B.C. AND ALL APPLICABLE BY-LAWS AND ORDINANCES AND ALL CONSTRUCTION SHALL BE SUBJECT TO THE APPROVALS OF THE CITY OF MARKHAM.

GENERAL CONDITIONS:
 GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS BY SITE AND EXISTING HANDSHEETS AND RECONSTRUCTED TO TRAN DIEU & ASSOCIATES BEFORE PROCEEDING WITH THE WORK.
 ALL DIMENSIONS AND RELATED DOCUMENTS ARE THE PROPERTY OF TRAN DIEU & ASSOCIATES INC. AND MUST BE RETURNED IN ORIGINAL, REPRODUCTION OF DIMENSIONS AND RELATED DOCUMENTS IN PART OR WHOLE IS FORWARDED WITHOUT WRITTEN PERMISSION FROM TRAN DIEU & ASSOCIATES INC.
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 THE ENGINEER (DESIGNER) IS NOT RESPONSIBLE FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED DIMENSIONS PERFORMED BY THE CONTRACTOR.

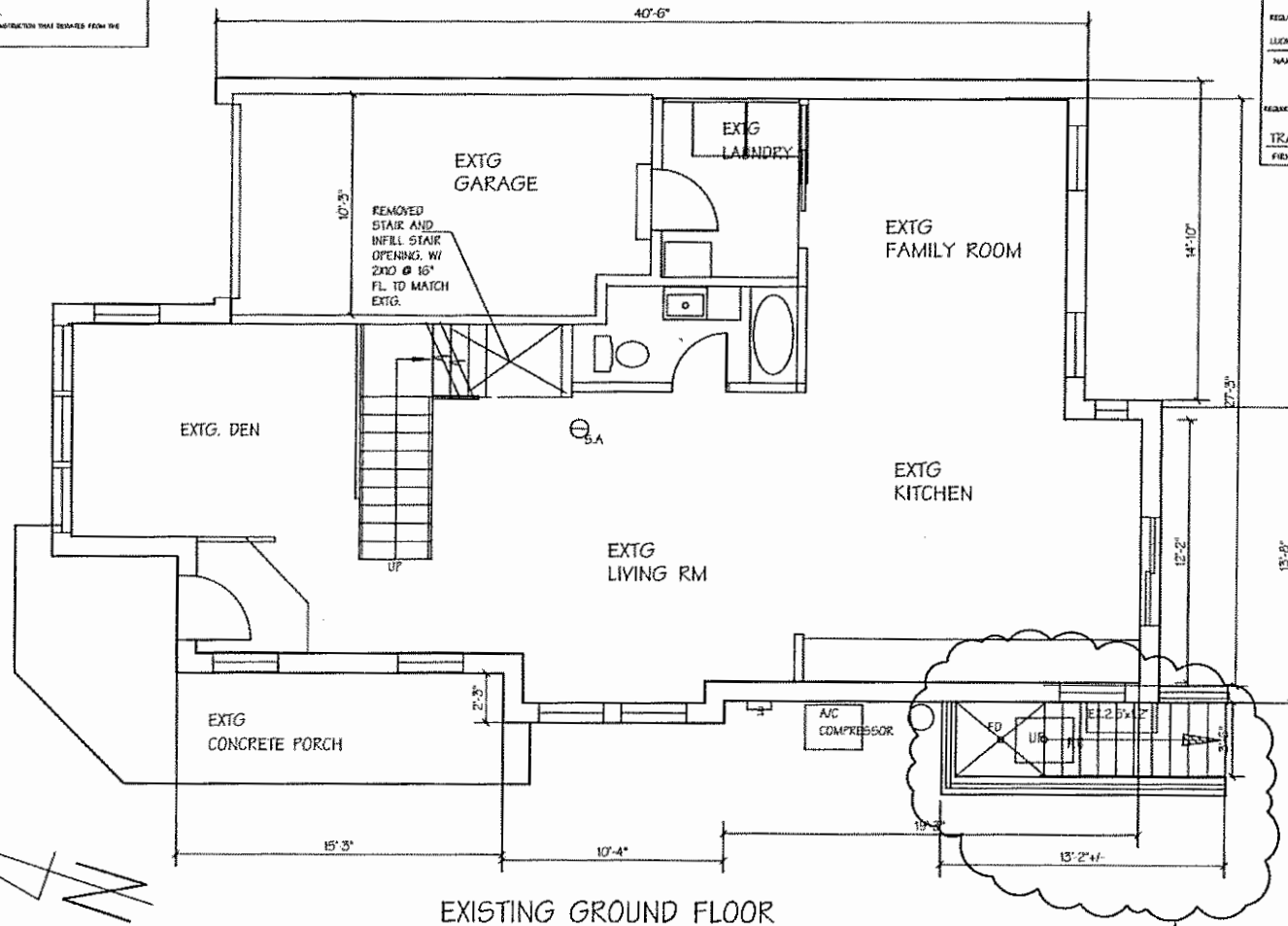
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QUALIFICATION INFORMATION
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LIVING QUAIR TRAN  20848
 NAME SIGNATURE BCIN

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TRAN DIEU & ASSOCIATES INC. 27068
 FIRM NAME BCIN



EXISTING GROUND FLOOR

PROPOSED BASEMENT
 WALKOUT DETAIL
 SEE DWG



TITLE: 1 FLORELL DR. MARKHAM. PROPOSED BASEMENT APPARTMENT	DRAWN BY: C.Z.	PROJECT No.	DRAWING No
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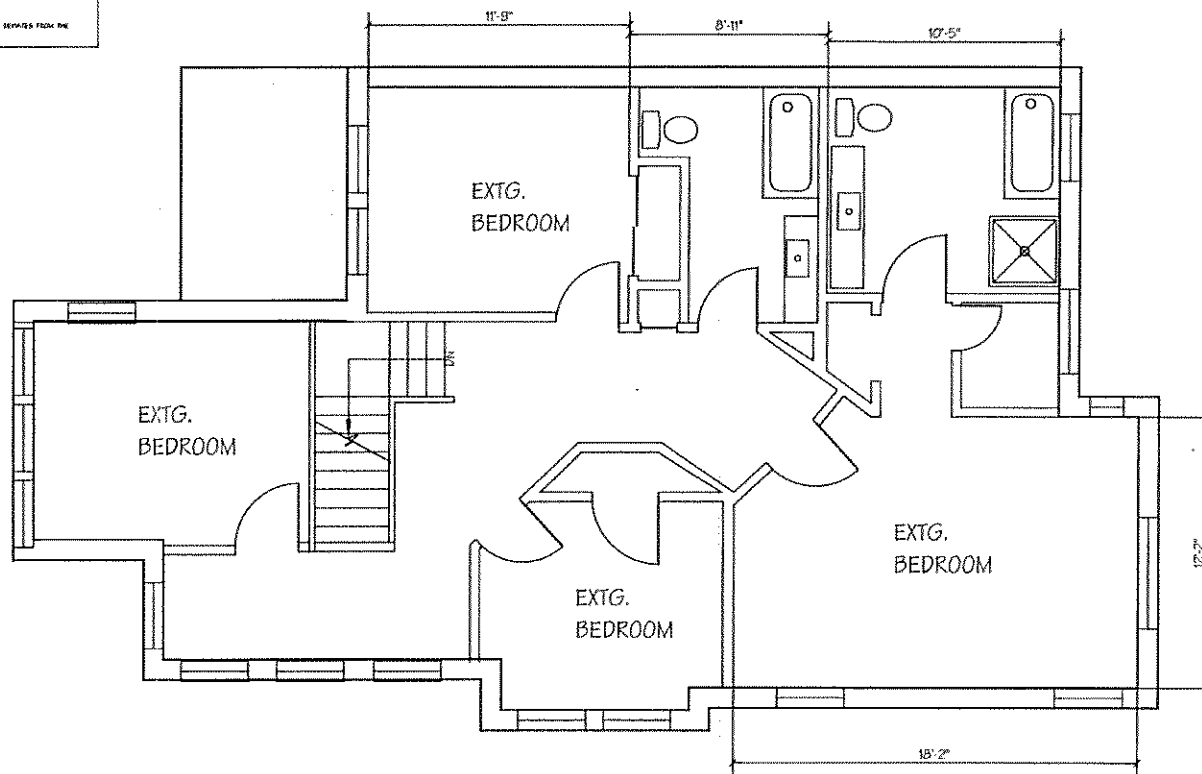
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LUONG GIANG TRAN *LT* 20848
 NAME SIGNATURE PCN

REGISTRATION INFORMATION
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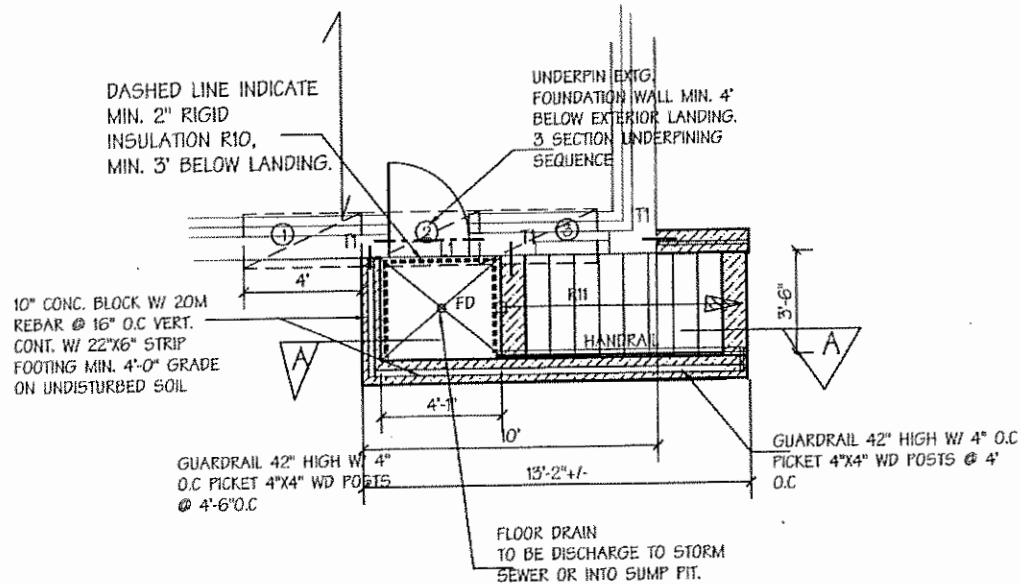
TRAN DIEU & ASSOCIATES INC. 27068
 FIRM NAME PCN



EXISTING SECOND FLOOR PLAN



TITLE: 1 FLORELL DR. MARKHAM. PROPOSED BASEMENT APARTMENT	DRAWN BY: C.Z.	PROJECT No.	DRAWING No
	CHECKED BY: C.T.		A3
	SCALE: 3/16"=1'-0"	DATE:	



DETAIL OF BASEMENT WALK OUT PLAN

LINTEL L1:

2L6-L5"x4"x $\frac{1}{2}$ "
(MIN. 6" BEARING.)

T1: TIE NEW FOUNDATION WALL TO EXTG. W/ 15M REBAR 8" LG. MIN. 4" INTO FND @ 16" O.C VERTICAL



GENERAL CONDITION:

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QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.41 OF DIVISION C OF THE BUILDING CODE

LUONG QUANG TRAN

LT

20848

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.41 OF DIVISION C OF THE BUILDING CODE

TRAN DIEU & ASSOCIATES INC.

27068

FIRM NAME

BCIN

STATUS:	ISSUED:	TITLE:
		1 FLORELL DR. MARKHAM. PROPOSED BASEMENT APPARTMENT
 51 WATKINS RD. UNIT 4, SCARBOROUGH, ONTARIO M1S 5A4 TEL: (416) 298-6272 FAX: (416) 298-6438		DRAWING NO. A4
DRAWN BY:	CHECKED BY:	PROJECT No.
SCALE: 1/4"=1'-0"	DATE:	



10" CONC. BLOCK W/
20M REBAR @ 16" O.C.
VERT. CONT. W/ 22"x6"
STRIP FOOTING MIN.
4'-0" GRADE ON
UNDISTURBED SOIL

GUARDRAIL
42" HIGH W/
4" O.C PICKET
4"x4" WD POSTS @ 4'-6" O.C

ALL EXTERIOR
CONC. SLAB AND
STAIRS TO BE 32 Mpa
W/ 5-8%
AIR ENTRAINMENT

STAIR:
MIN. RISE 7 7/8"
MIN. TREAD 9 1/2"

CONC. SLAB AND
STAIRS TO BE 32 Mpa
W/ 5-8%
AIR ENTRAINMENT

CONNECT DRAIN TO STORM
SEWER IF AVAILABLE, NOT
WEEPING TILE, STORM NOT
AVAILABLE CONNECT TO
SUMP PIT.

MIN. 2" RIGID
INSULATION R10,
MIN. 3' BELOW LANDING.

EXISTING
FOUNDATION
WALL

UNDERPIN
EXTG. FND
TO NATURAL
UNDISTURB SOIL
(MIN. 4' BELOW
EXTERIOR LANDING

10" CONC. BLOCK

10M@ 12"
O.C. DOWELS

10M NOSING,
TYPICAL

10M@ 12" O.C
BOTH WAY

10" CONC. BLOCK

10M@ 12"
O.C. DOWELS

STEP FOOTING SHOWN
MAXIMUM RISE=2'-0"
MINIMUM RUN= 2'-0"

SECTION A-A

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR
THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE
REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO
BE A DESIGNER.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 32.4.1 OF DIVISION C OF THE BUILDING CODE

LUC NG QUANG TRAN

Signature

20848

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 32.4.1 OF DIVISION C OF THE BUILDING CODE

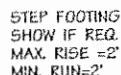
TRAN DIEU & ASSOCIATES INC.

27068

FIRM NAME

BCIN

STATUS:	ISSUED:	TITLE: 1 FLORELL DR. MARKHAM. PROPOSED BASEMENT APPARTMENT
<p>TRAN DIEU & ASSOCIATES INC. 120 HURONTARIO ST. UNIT 4, SCARBOROUGH, ONTARIO M1S 2B1 TEL: (416) 291-8200 FAX: (416) 291-8205</p>		<p>DRAWN BY: _____</p> <p>CHECKED BY: _____</p> <p>SCALE: 3/4"=1'-0"</p>
		<p>DRAWING NO: A5</p> <p>PROJECT NO: _____</p> <p>DATE: _____</p>



A technical cross-section diagram of a column base. A vertical column is shown above a horizontal 'EXTG. BASEMENT SLAB'. Below the slab, a layer of '2" NON-SHRINK GROUT' is indicated. The main body of the column below the slab is filled with '2200 PSI FOURED CONCRETE UNDERPINNING THE FULL WIDTH OF EXTG. FIG.'. A horizontal line separates the new concrete from the old structure, labeled 'CLEAN 1/5 OF EXTG. FIG. PRIOR TO POURING OF NEW CONCRETE.'. On the left, a vertical dimension line indicates a depth of 'MIN. 4'-0" BELOW GRADE'.

1. UNDERPINNING SHALL BE DONE USING 15Mpa (2200 psi) CONCRETE @ 28 DAYS
2. UNDERPINNING SHALL BE DONE IN 4' LENGTHS AS SHOWN ON DETAIL ELEVATION
3. NUMBER ON ELEVATION ABOVE INDICATE STAGES IN WHICH UNDERPINNING SHALL PROCEED IN ALL SECTIONS #1, FOLLOWED BY ALL SECTION #2 ETC. RAM DRY PACK CONCRETE IN PLACE AND LEAVE FOR 24 HOURS BEFORE PROCEEDING WITH NEXT STAGE.
4. UNDERPINNING FOR EXISTING WALL IS SHOWN FOR ASSUMED CONDITION AND ANY VARIATION BETWEEN ACTUAL JOB CONDITIONS AND DETAILS SHOWN IN THESE DRAWINGS MUST BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH ANY WORKS.
5. SHORING AND BRACING WHERE NECESSARY TO ENSURE THE SAFETY AND STABILITY OF EXISTING STRUCTURE DURING UNDERPINNING.
6. CONTRACTOR SHALL CHECK EXISTING FLOOR DRAIN, CLEAN OUT AND RUN OFF, NEW LEVEL OF DRAINAGE SHOULD HAVE PROPER SLOPE TO DRAIN.


CUT 4" WIDE ALTERATION PORTION (SPACED 8'-0")
AS SHOWN ON ELEVATION OF UNDERPINNING DETAIL.
ALLOW 7 DAYS PRIOR TO COMMENCEMENT OF STAGE (2)
ALLOW 7 DAYS PRIOR TO COMMENCEMENT OF STAGE (3)


WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE (7:10) OF THE SOIL OR THE UNDERPINNING EXCEEDS 4'-0" OF LATEROALLY UNSUPPORTED HEIGHT, THE UNDERPINNING AND ALL RELATED CONSTRUCTION SHALL BE DESIGNED BY PROFESSIONAL ENGINEER.

MIN. CONCRETE STRENGTH SHALL BE 4050 PSI
@ 28 DAYS W/ 5-8% AIR ENTRAINMENT.

SHORE AND BRACE WHERE NECESSARY TO ENSURE THE SAFETY AND STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

ALL FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED
SOIL OR COMPACTED GRANULAR FILL.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OATHED BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION	
REQUIRED UNDER DESIGN IS EXEMPT UNDER 3.2.41 OF DIVISION C OF THE BUILDING CODE.	
LEADS QUALIFYING TEAM	20848
NAME	SIGNATURE
	
BCIN	
REGISTRATION INFORMATION	
REQUIRED UNDER DESIGN IS EXEMPT UNDER 3.2.41 OF DIVISION C OF THE BUILDING CODE.	
TRAN DIEU & ASSOCIATES INC.	27068
FIRM NAME	BCIN

STATUS:	ISSUED:	TITLE: 1 FLORELL DR. MARKHAM. PROPOSED BASEMENT APPARTMENT	DRAWING No A6	NO.	ISSUED REVISION	DATE	<u>GENERAL CONDITION:</u> GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITION ON SITE AND REPORT IMMEDIATELY ANY DISCREPANCIES TO TRAN DIEU & ASSOCIATES BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF TRAN DIEU & ASSOCIATES INC. AND MUST BE RETURNED ON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM TRAN DIEU & ASSOCIATES INC. ALL WORK SHALL BE PERFORMED IN ACCORDANCE TO O.B.C. THE ENGINEER (DESIGNERS) ARE NOT RESPONSIBLE FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED DRAWINGS PERFORMED BY THE CONTRACTOR.
 TRAN DIEU & ASSOCIATES INC. 60 WEYBRIGHT CRT., UNIT 4, SCARBOROUGH, ONTARIO M1S 5A5 TEL: (416) 299-6370 FAX: (416) 299-6803		CHECKED BY:	DATE:				

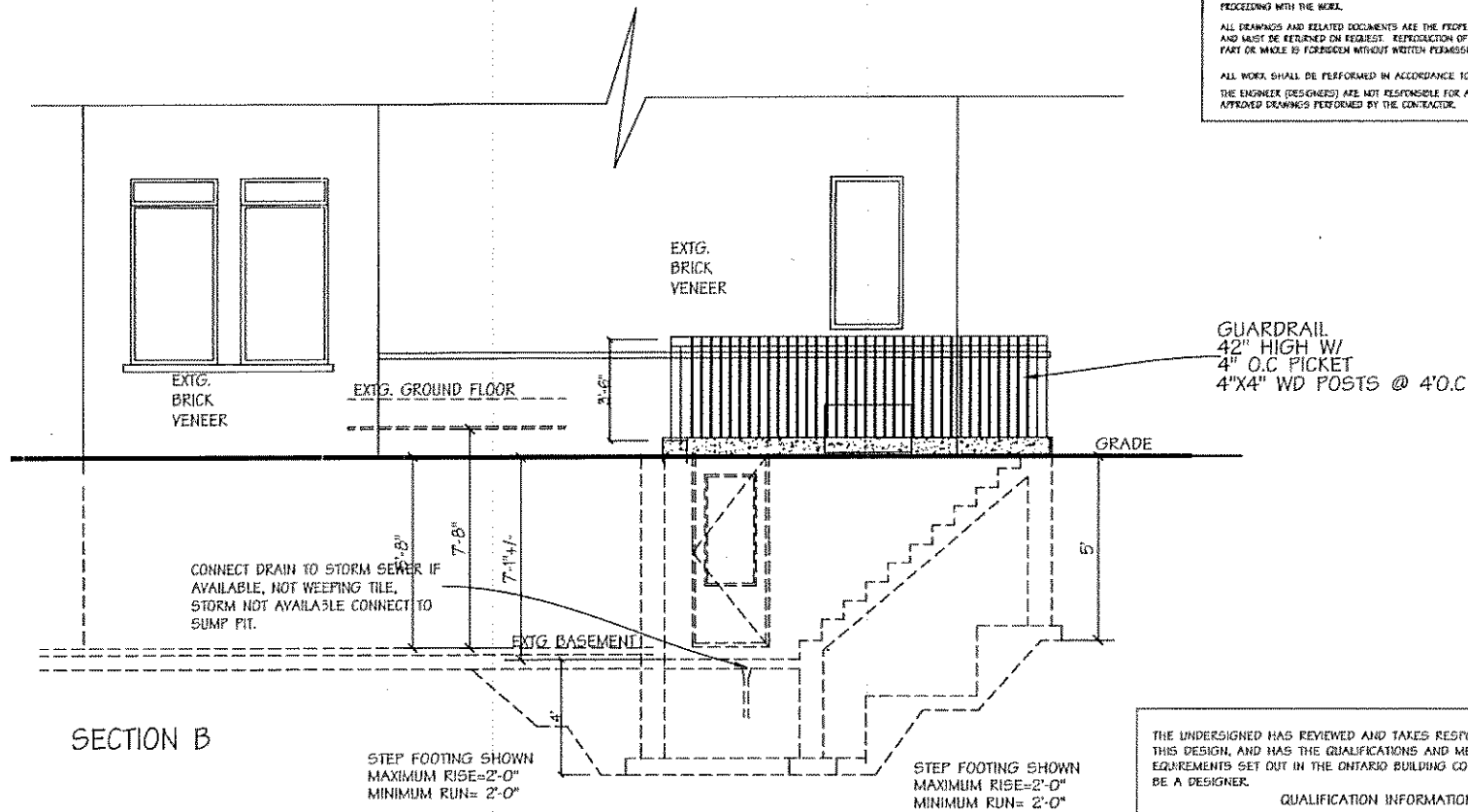
GENERAL CONDITION:

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ALL WORK SHALL BE PERFORMED IN ACCORDANCE TO O.B.C.

THE ENGINEER (DESIGNER) ARE NOT RESPONSIBLE FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED DRAWINGS PERFORMED BY THE CONTRACTOR.



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION C OF THE BUILDING CODE

LUONG QUANG TRAN  20848
NAME SIGNATURE BCIN


REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION C OF THE BUILDING CODE

TRAN DIEU & ASSOCIATES INC. 27068
FIRM NAME BCIN

SECTION B

PARTIAL SIDE ELEVATION WEST ELEVATION

STATUS:	ISSUED:	TITLE: 1 FLORELL DR. MARKHAM. PROPOSED BASEMENT APPARTMENT
 TRAN DIEU & ASSOCIATES INC. <small>733 BAYVIEW AVE. SUITE 4, SCARBOROUGH, ONTARIO M1S 5V6 TEL: (416) 293-4700 FAX: (416) 293-4705</small>		DRAWING NO. A7
DRAWN BY: CHECKED BY: SCALE: 1/4"=1'-0"		PROJECT NO.: DATE:

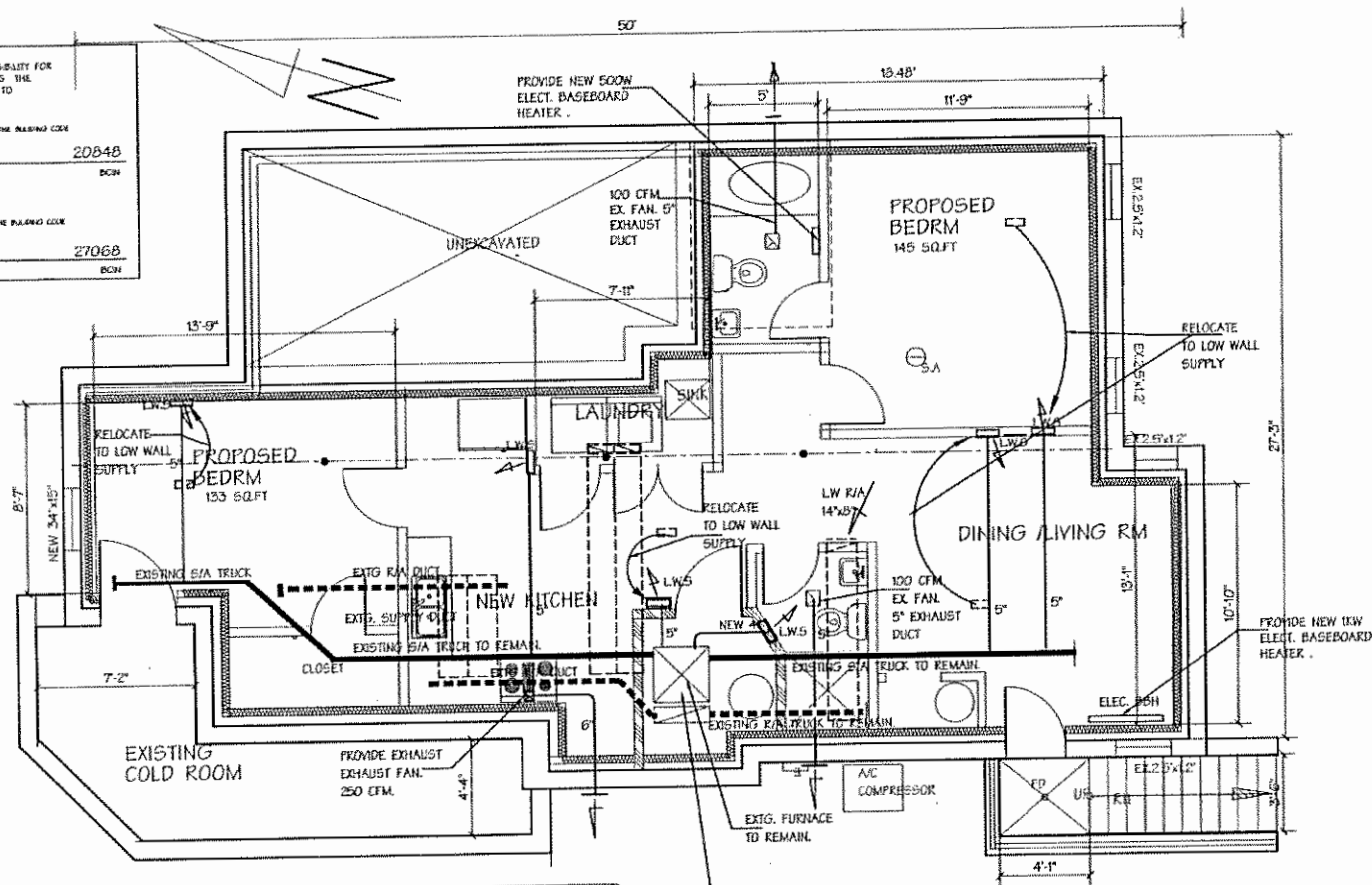
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION C OF THE BUILDING CODE

DESIGNER'S NAME: **TRAN DIEU & ASSOCIATES INC.** 27068
 FIRM NAME: **TRAN DIEU & ASSOCIATES INC.** 27068

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION C OF THE BUILDING CODE

DESIGNER'S NAME: **TRAN DIEU & ASSOCIATES INC.** 27068
 FIRM NAME: **TRAN DIEU & ASSOCIATES INC.** 27068



LEGEND:

- EXISTING SUPPLY DUCT TO REMAIN
- EXISTING RETURN AIR DUCT TO REMAIN
- 4x10 LOW WALL SUPPLY 10' ABOVE FLOOR

EXISTING HVAC SYSTEM TO REMAIN. W/ MINOR ALTERATION TO DIFFUSER TO PROVIDE LOW WALL SUPPLY

PROVIDE DUCT TYPE SMOKE DETECTOR @ @ RETURN AIR FLEXIBLE SMOKE DETECTOR SHALL INSTALL IN SUCH WAY UPON ACTIVATION OF SMOKE DETECTOR SHALL SHUT DOWN FURNACE

PROPOSED BASEMENT FLOOR PLAN (BASEMENT APARTMENT)

GENERAL CONDITIONS:
 GENERAL CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND SET CONDITIONS ON SITE AND PROJECT HANDLING AND DELIVERABLES TO TRAN DIEU & ASSOCIATES INC. PRIOR TO THE WORK.
 ALL DIMENSIONS AND RELATED REQUIREMENTS ARE THE PROPERTY OF TRAN DIEU & ASSOCIATES INC. AND MUST BE OBSERVED IN FULL. REPRESENTATION OF DIMENSIONS AND RELATED REQUIREMENTS IN THIS SET SHALL BE FOR INFORMATION ONLY. TRAN DIEU & ASSOCIATES INC. SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED DIMENSIONS PROVIDED BY THE CONTRACTOR.



TITLE: 1 FLORELL DR. MARKHAM.
 PROPOSED BASEMENT APARTMENT

DRAWN BY: C.Z. PROJECT No. DRAWING No.
 CHECKED BY: C.T. M1
 SCALE: 3/16"=1'-0" DATE:



