

Memorandum to the City of Markham Committee of Adjustment
September 10, 2018

File: A/130/18
Address: 2 La Tache Crescent, Markham
Applicant: Poetry Living Limited (Abbey Lane)
Agent: Foresight Development Consultants Ltd. (James Stevenson)
Hearing Date: Wednesday September 26, 2018

The following comments are provided on behalf of the West Team. The applicant is requesting relief from the below requirements of By-law 177-96: R2-LA*580, as amended:

a) Section 6.2.1 a) iv):

deck floors to be no higher than the floor level of the second storey of the main building on the lot, whereas the By-law requires that deck floors to be no higher than the floor level of the first storey of the main building on the lot, as it relates to proposed decks for townhouses on Blocks 1-4 on Plan of Subdivision 19TM-15003.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, "The owner wants a larger deck."

Zoning Preliminary Review Not Undertaken

The applicant has confirmed that a Zoning Preliminary Review (ZPR) has been completed to confirm the variances required for the proposed decks.

Public Input Summary

No written submissions were received as of September 10, 2018. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

Comments

Planning staff have reviewed the application with respect to Section 45 (1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, and have no concern with this application. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

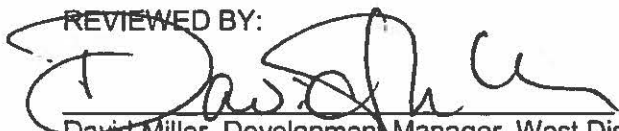
Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Carlson Tsang, Planner II, West District

REVIEWED BY:



David Miller, Development Manager, West District

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/130/18

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as "Appendix B" received on August 28th, 2018 to this Staff Report, to the satisfaction of the Director of Planning and Urban Design or designate;

PREPARED BY:



Carlson Tsang, Planner II, West District

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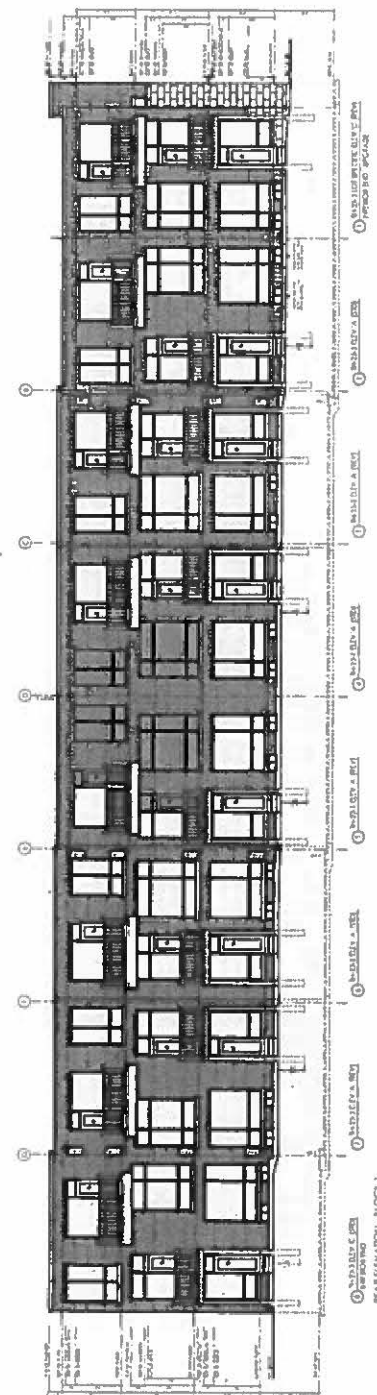
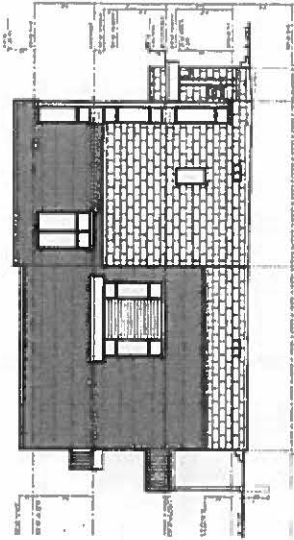
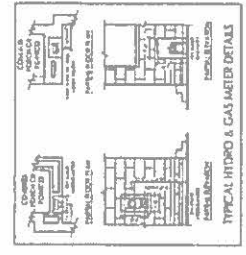
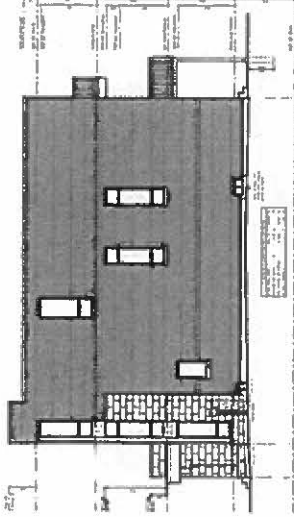
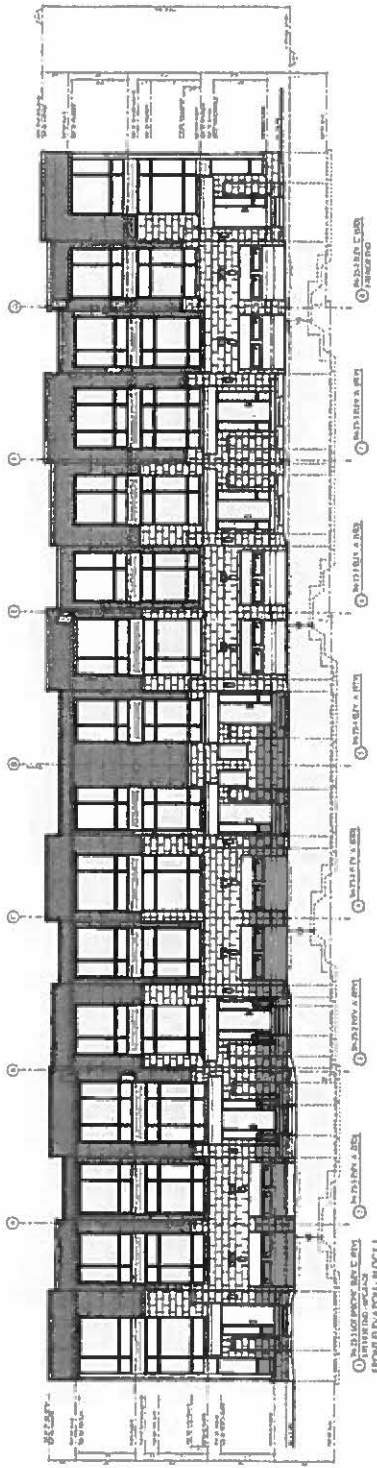
APPENDIX

B

Project Name	
Project Location	
Project Number	
Project Date	
Project Status	
Project Manager	
Project Engineer	
Project Architect	
Project Designer	
Project Drafter	
Project Checker	
Project Approver	

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Project Location	
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Project Status	
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Project Approver	

A4





Architectural drawings and specifications for the building project, including details of the facade and structural elements.

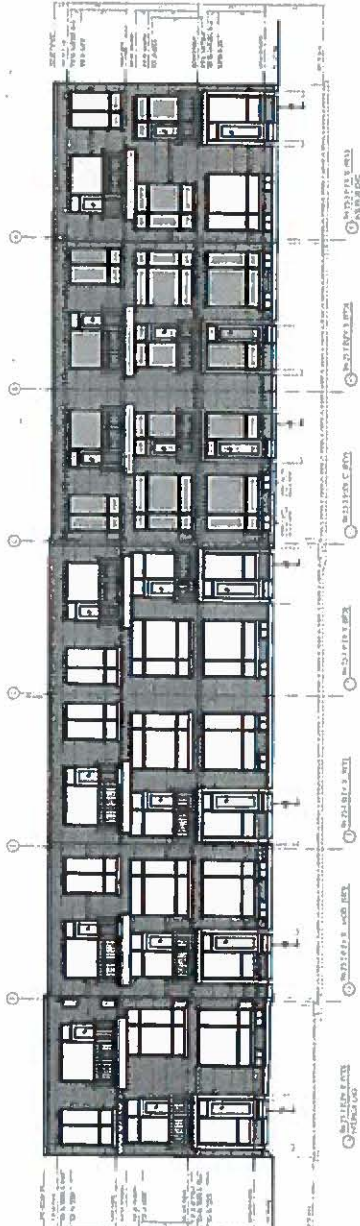
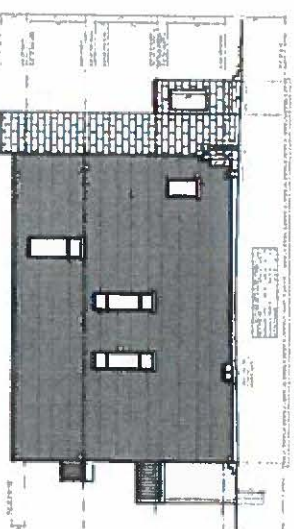
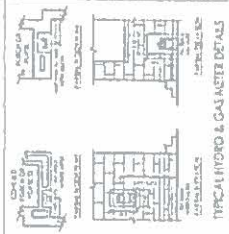
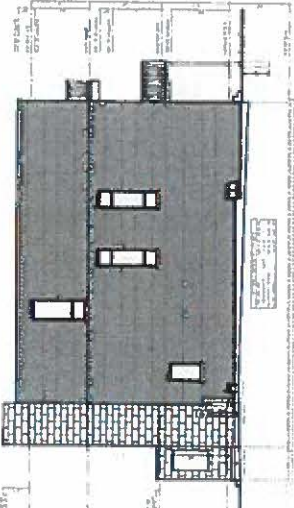
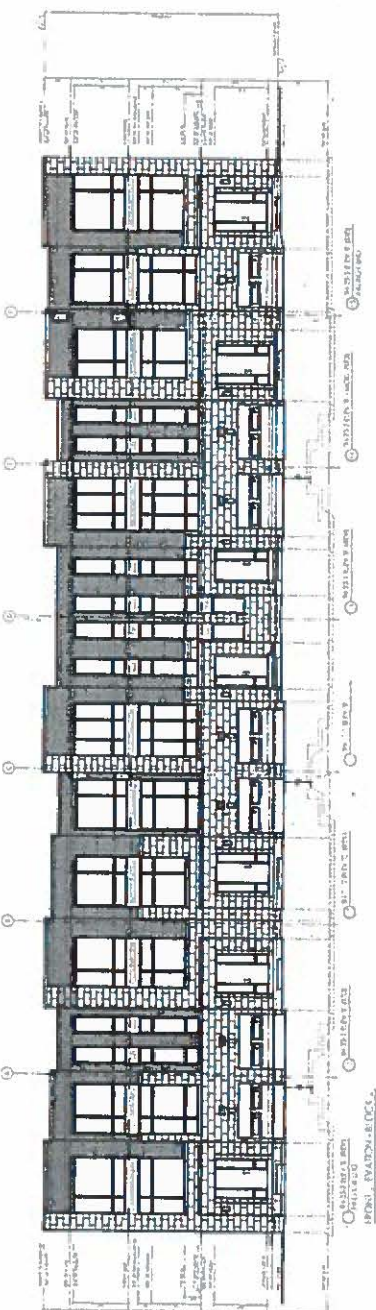
Architectural drawings and specifications for the building project, including details of the facade and structural elements.

Architectural drawings and specifications for the building project, including details of the facade and structural elements.

Room	Area	Volume	Notes
Room 1	10.00	10.00	
Room 2	10.00	10.00	
Room 3	10.00	10.00	
Room 4	10.00	10.00	
Room 5	10.00	10.00	
Room 6	10.00	10.00	
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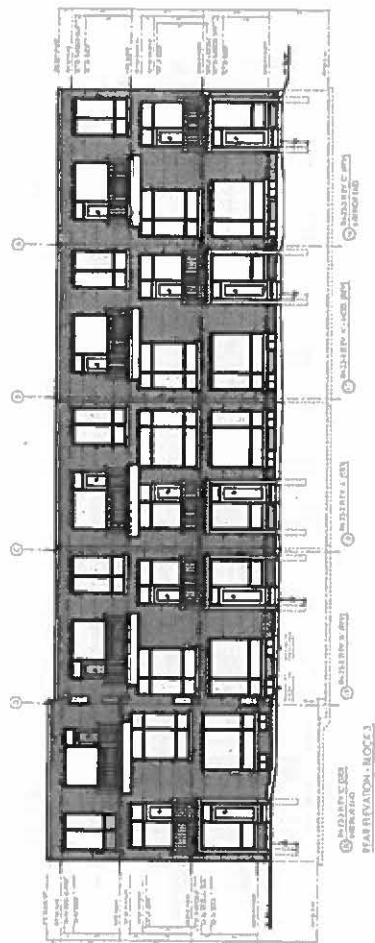
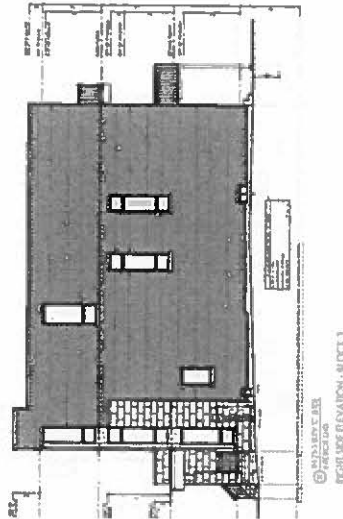
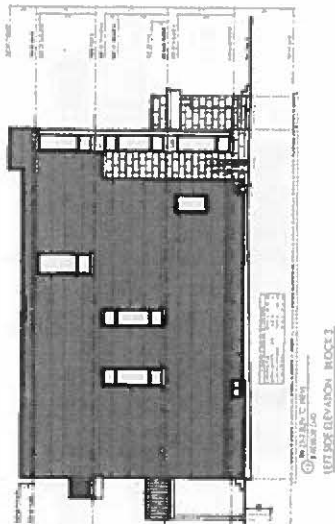
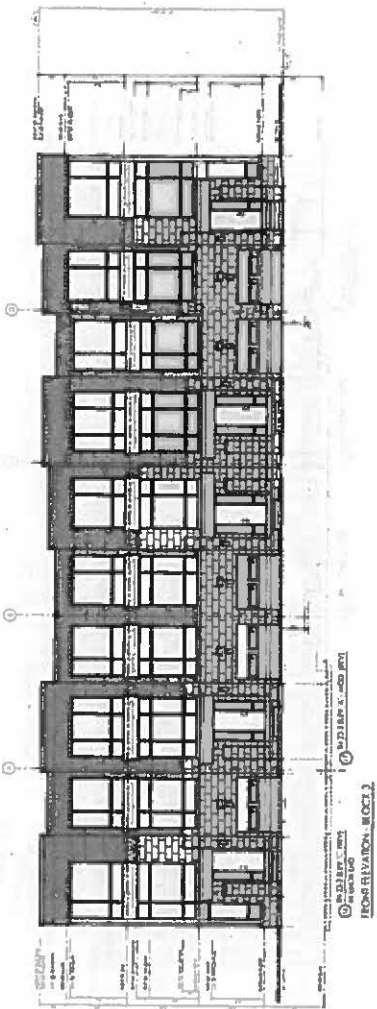
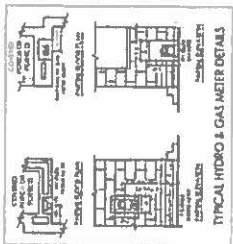
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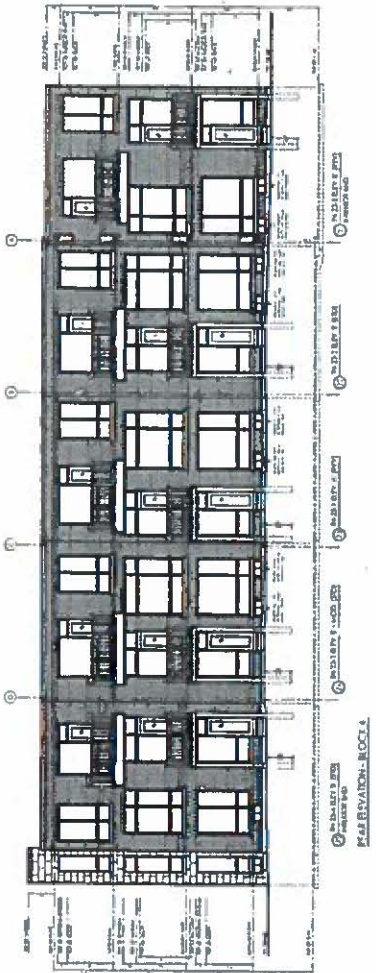
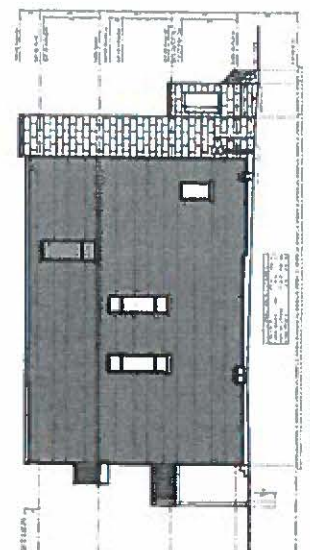
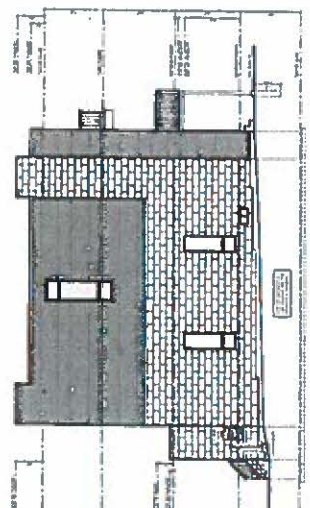
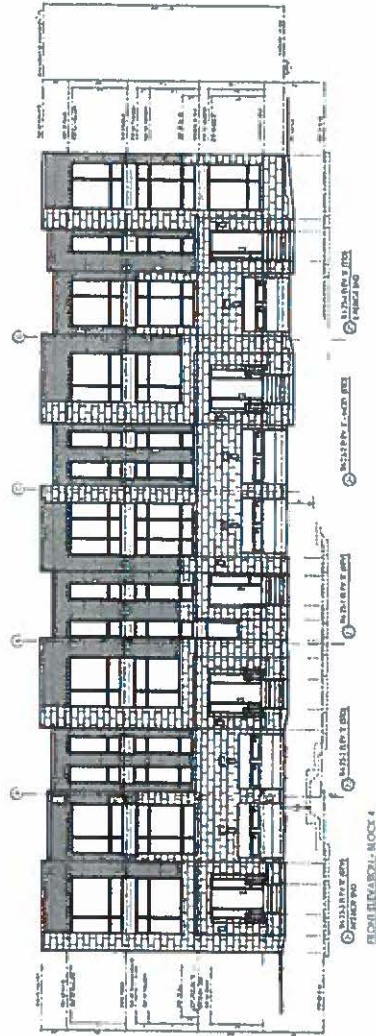
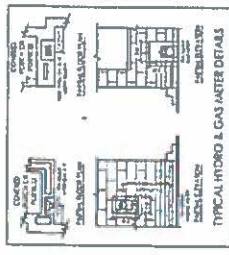
Architectural drawings are the primary means of communication between the architect and the construction team. They are a visual representation of the design and are used to convey the architect's intent to the construction team. The drawings are a critical part of the design process and are used to ensure that the construction team understands the architect's vision and can build the project accordingly.

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9	REVISION			
10	REVISION			

Project Name:
 Address:
 Block:
 Lot:
 Date:
 Scale:
 Sheet:
 A4



Leung, Justin

To: Tsang, Carlson
Subject: RE: September 26 COA reports

From: Tsang, Carlson
Sent: Monday, September 24, 2018 9:07 AM
To: Leung, Justin <JLeung@markham.ca>
Cc: Hayes, Greg <GHayes@markham.ca>
Subject: RE: September 26 COA reports

Hi Justin,

The purpose of this email is to correct the following error in the staff report dated September 10, 2018.

Error - Applicant's Stated Reason(s) for Not Complying with Zoning - *According to the information provided by the applicant, "The owner wants a larger deck."*

Correction – Through the Zoning Review completed by the City, it was determined that the proposed deck do not comply with the zoning by-law. The location of the kitchen and dining room are on the second storey therefore requiring a variance to allow the deck to be permitted from the second store

Please circulate this email to Committee members to ensure they acknowledge the correction prior to the meeting. Please also include this email in the staff report online to ensure accurate information is presented to the public.

Thanks,

Carlson Tsang, BURP
Planner II – West Development District
101 Town Centre Boulevard
Markham, Ontario L3R 9W3
Phone: 905-477-7000, Ext 2945
Fax: 905-479-7768
Ctsang@markham.ca