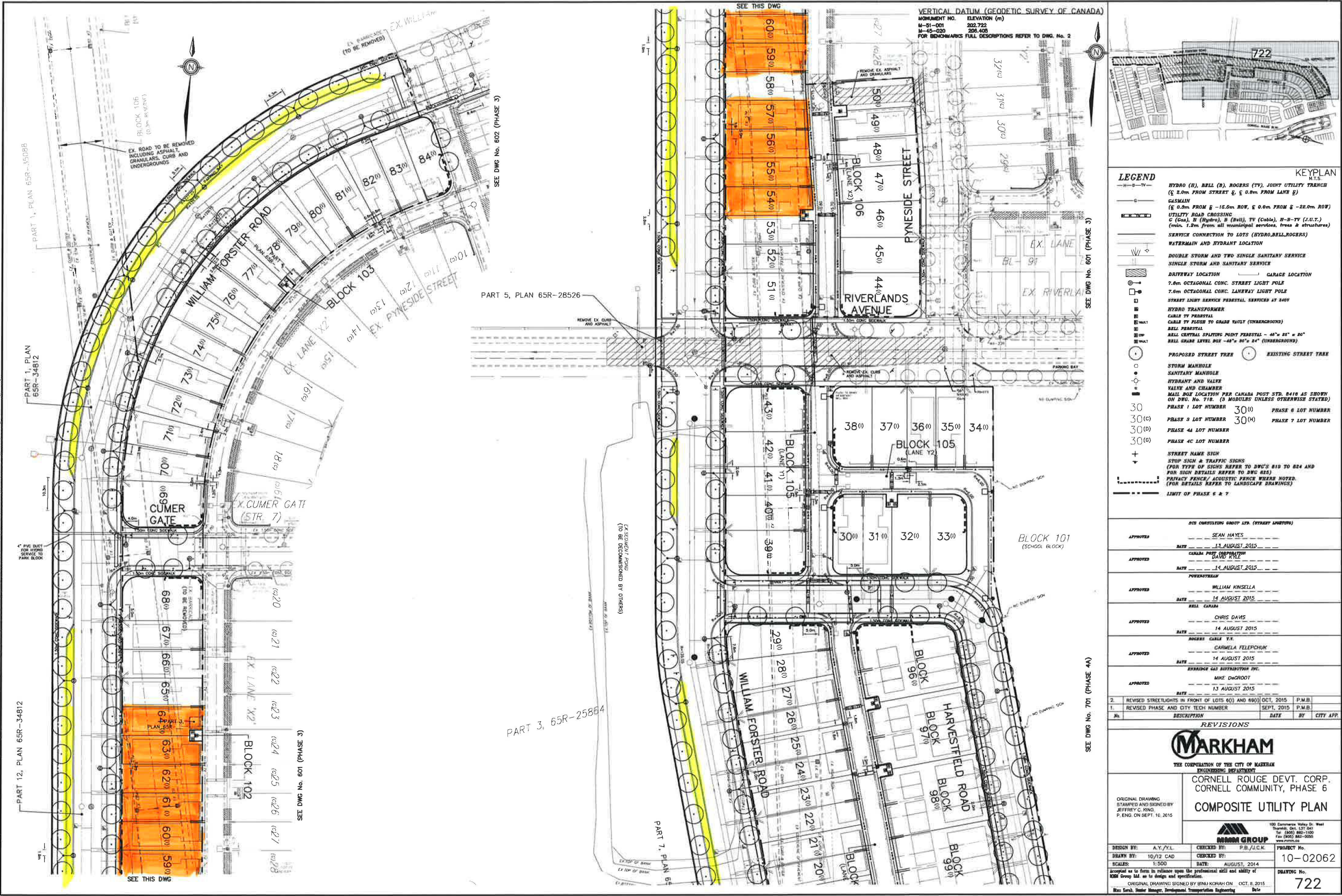




METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART OF LOT 13,  
CONCESSION 9

FORSTER ROAD  
WILLIAM (NAME CHANGED BY BY-LAW No. 2015-162, INST. No. YR2406037)

RIVERLANDS AVENUE  
(DEDICATED BY REGISTERED PLAN 65M-4513)

PART 10  
PLAN 65R-34812

LOT 12, CONCESSION 9

PART 3  
PLAN 65R-34812  
PIN 70013-0962  
(DEDICATED BY  
BY-LAW No. 49-93,  
INST. No. R616781)  
(NAMED RIVERLANDS  
AVENUE BY  
BY-LAW No. 2015-74,  
INST. No. YR2298750)

RIVERLANDS AVENUE  
(DEDICATED BY REGISTERED PLAN 65M-4093)

CUMER GATE  
(DEDICATED BY REGISTERED PLAN 65M-4513)

CUMER GATE  
(DEDICATED BY REGISTERED PLAN 65M-4093)

LANE X  
(DEDICATED BY REGISTERED PLAN 65M-4093)  
PIN 70013-0401

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

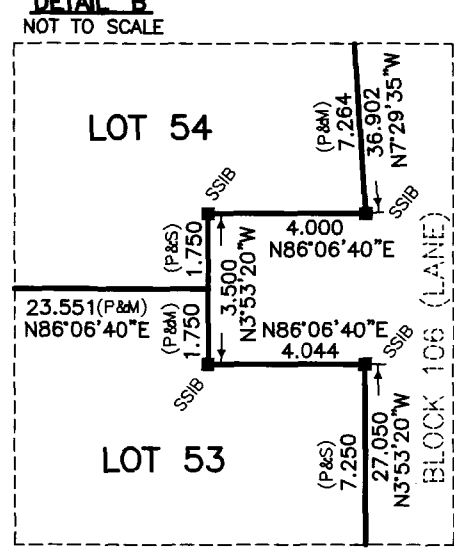
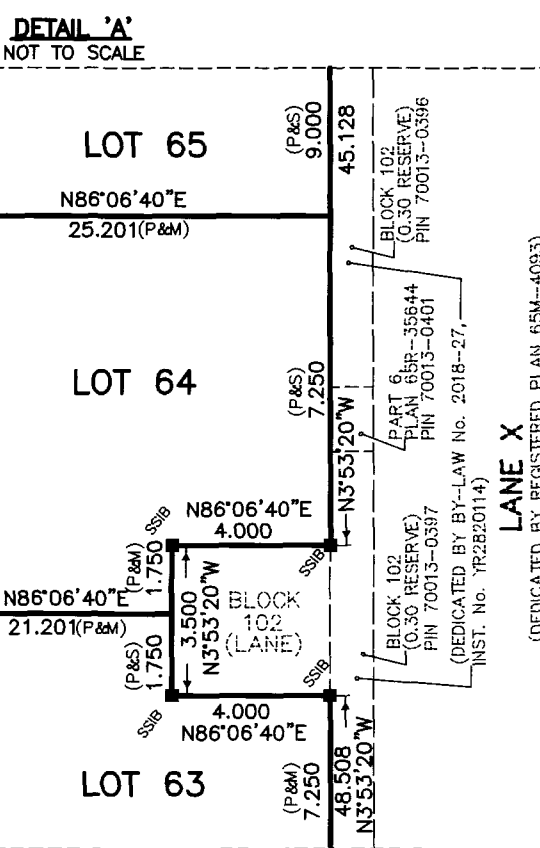
See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'

See DETAIL 'A'



SURVEYOR'S REAL PROPERTY REPORT  
PART 1  
PLAN SHOWING  
LOTS 51 TO 68, BOTH INCLUSIVE  
REGISTERED PLAN 65M-4513  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK  
SCALE : 1:300

© COPYRIGHT SCHAEFFER DZALDOV BENNETT LTD.

SURVEYOR'S REAL PROPERTY REPORT  
PART 2  
THIS PLAN MUST BE READ WITH SURVEYOR'S REAL PROPERTY  
REPORT DATED AUGUST 29, 2018.

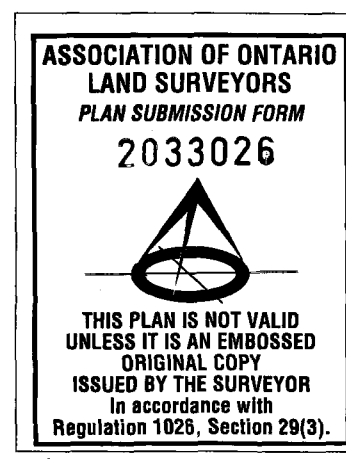
NOTES  
DENOTES  
PLANTED MONUMENT  
FOUND MONUMENT  
SHORT STANDARD IRON BAR  
IRON BAR  
SCHAEFFER DZALDOV BENNETT LTD.  
REGISTERED PLAN 65M-4513  
MEASURED  
SET  
DWELLING UNDER CONSTRUCTION  
PART LIMIT WITHIN DEMISING WALL

BEARINGS SHOWN HEREON ARE REFERRED TO THE WEST LIMIT OF BLOCK 106 (LANE)  
AS SHOWN ON REGISTERED PLAN 65M-4513, HAVING A BEARING OF N3°53'20"W.  
ALL FOUND MONUMENTS ARE NUMBERED 922.  
ALL MEASUREMENTS TO DWELLINGS ARE TAKEN TO CONCRETE FOUNDATIONS.

THIS REPORT WAS PREPARED FOR FOREST HILL HOMES  
AND OTHER APPLICABLE PARTIES TO CURRENT TRANSACTIONS ONLY.  
AND THE UNDERSIGNED IS NOT LIABLE FOR ANY FUTURE TRANSACTIONS.

SURVEYOR'S CERTIFICATE  
I CERTIFY THAT :  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE  
SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE  
UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 26th DAY OF OCTOBER, 2017.

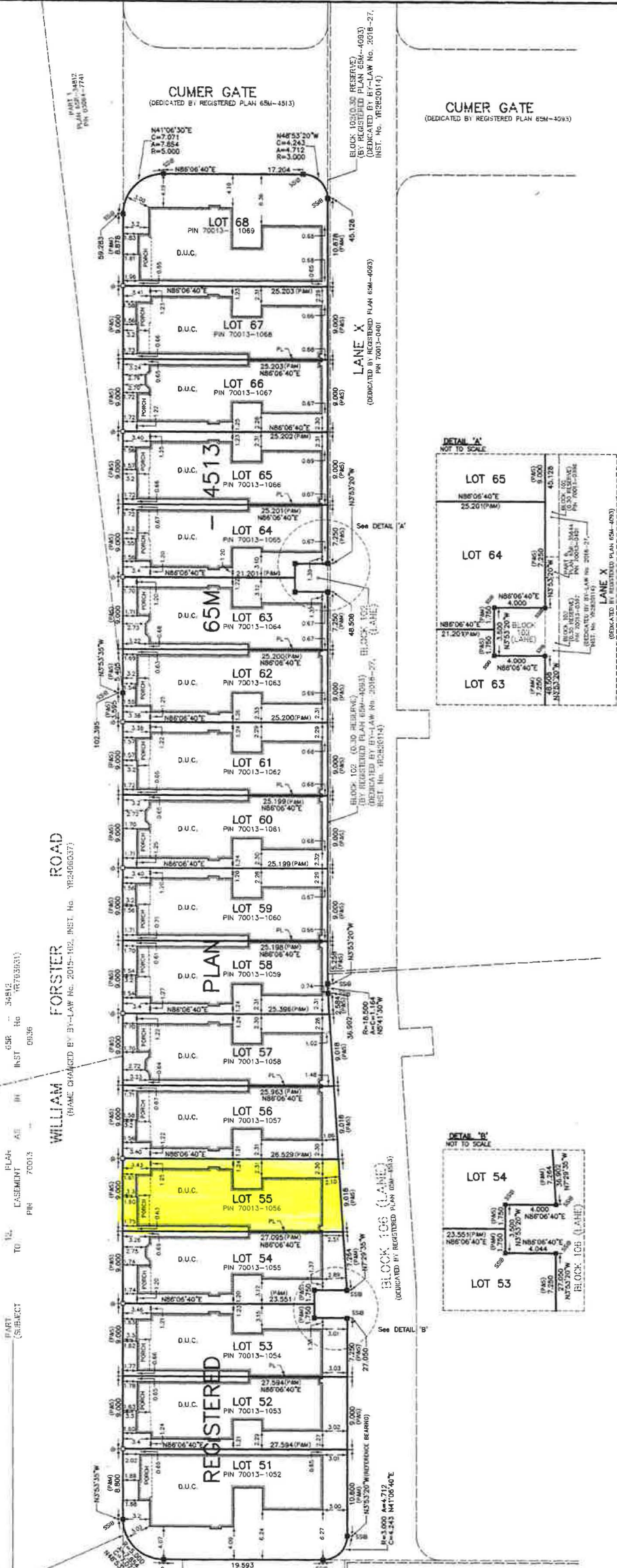
DATE : AUGUST 29, 2018.



SCHAEFFER DZALDOV BENNETT LTD.  
ONTARIO LAND SURVEYORS  
64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL.(416)987-0101  
DRAWN ACAD/LW CHECKED JZ SCALE 1:300 JOB NO. 02-610-06

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART OF LOT 12 CONCESSION



SURVEYOR'S REAL PROPERTY REPORT  
PART 1  
PLAN SHOWING  
LOTS 51 TO 68, BOTH INCLUSIVE  
REGISTERED PLAN 65M-4513  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK  
SCALE : 1:300

SURVEYOR'S REAL PROPERTY REPORT  
PART 2  
THIS PLAN MUST BE READ WITH SURVEYOR'S REAL PROPERTY REPORT DATED AUGUST 29, 2018.

NOTES  
DENOTES  
PLANTED MONUMENT  
FOUND MONUMENT  
SHORT STANDARD IRON BAR  
IRON BAR  
SCHAEFFER DZALDOV BENNETT LTD.  
REGISTERED PLAN 65M-4513  
MEASURED  
SET  
DWELLING UNDER CONSTRUCTION  
PART LIMIT WITHIN DEMISING WALL

BEARINGS SHOWN HEREON ARE REFERRED TO THE WEST LIMIT OF BLOCK 106 (LANE) AS SHOWN ON REGISTERED PLAN 65M-4513, HAVING A BEARING OF N3°53'20"W.

ALL FOUND MONUMENTS ARE NUMBERED 922.

ALL MEASUREMENTS TO DWELLINGS ARE TAKEN TO CONCRETE FOUNDATIONS.

THIS REPORT WAS PREPARED FOR FOREST HILL HOMES AND OTHER APPLICABLE PARTIES TO CURRENT TRANSACTIONS ONLY, AND THE UNDERSIGNED IS NOT LIABLE FOR ANY FUTURE TRANSACTIONS.

SURVEYOR'S CERTIFICATE  
I CERTIFY THAT :  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 26th DAY OF OCTOBER, 2017.

DATE : AUGUST 29, 2018.

SCHAEFFER DZALDOV BENNETT LTD.  
ONTARIO LAND SURVEYORS  
64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL:(416)987-0101  
DRAWN ACAD/LW CHECKED JZ SCALE 1:300 JOB NO. 02-610-06



THE PLANNING  
PARTNERSHIP LTD.

### Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/ Drawings comply with the architectural control guidelines approved by the Town of Markham and on file with the Development Services Commission. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: H. K. K.

Date: / SEP 26 2016

Reviewed For:

☒ Final Review  
☐ Preliminary Review

## LOT GRADING



REVIEWED  
REVIEWED AS MODIFIED  
REVISE AND RE-SUBMIT FOR REVIEW  
NOT REVIEWED

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect.

Builder to verify lateral elevations prior to digging foundation.

Date SEP 19 2016 By Paul J. Blachy

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

CLIENT

FOREST HILL HOMES

PROJECT/LOCATION

CORNELL ROUGE  
MARKHAM, ONTARIO/ PH-4D

DRAWING

## SITE PLAN

## BUILDING STATISTICS

|                                  |                |
|----------------------------------|----------------|
| REG. PLAN No                     | 65M-4513       |
| ZONE                             | R2 * 190 * 192 |
| LOT NUMBER                       | 55             |
| LOT AREA(m) <sup>2</sup>         | N/A            |
| BLDG AREA (m) <sup>2</sup>       | N/A            |
| COVERAGE(%)                      | N/A            |
| No. OF STOREYS                   | 2              |
| MEAN HEIGHT(m)                   | 8.06 M         |
| PEAK HEIGHT(m)                   | N/A            |
| LANDSCAPED AREA(M <sup>2</sup> ) | N/A            |
| FRONT YARD                       |                |

**LEGEND**

|                                                                                       |                                                      |
|---------------------------------------------------------------------------------------|------------------------------------------------------|
| FF                                                                                    | FINISHED FLOOR ELEVATION                             |
| TW                                                                                    | TOP OF FOUNDATION WALL                               |
| BS                                                                                    | TOP OF BASEMENT SLAB                                 |
| UF                                                                                    | UNDERSIDE FOOTING                                    |
| USF(REAR)                                                                             | UNDERSIDE FOOTING REAR                               |
| USFG                                                                                  | UNDERSIDE FOOTING GARAGE                             |
| TEF                                                                                   | TOP OF ENGINEERED FILL                               |
| R                                                                                     | NUMBER OF RISERS                                     |
| WOD                                                                                   | WALKOUT DECK                                         |
| LOB                                                                                   | LOOK OUT BASEMENT                                    |
| WOB                                                                                   | WALKOUT BASEMENT                                     |
| REV                                                                                   | REV PLAN                                             |
| >                                                                                     | DOOR LOCATION                                        |
|  | BELL VAULT                                           |
|  | CALBE TV                                             |
|  | CATCH BASIN                                          |
|  | DOUBLE CATCH BASIN                                   |
|  | ENGINEERED FILL                                      |
|  | HYDRANT                                              |
|  | STREET LIGHT                                         |
|  | WATER VALVE                                          |
|  | MAIL BOX                                             |
|  | TRANSFORMER                                          |
|  | WATER CONNECTION                                     |
|  | STORM + SAN. CONNECTION<br>(2 LOTS)                  |
|  | STORM + SAN. CONNECTION<br>(1 LOT)                   |
|  | A/C CONDENSER                                        |
|  | ROOF DOWNSPOUT TO SPLASH PAD                         |
|  | SWALE DIRECTION                                      |
|  | CHAIN LINK FENCE                                     |
|  | PRIVACY FENCE                                        |
|  | SOUND BARRIER                                        |
|  | FOOTINGS TO BE EXTENDED<br>TO 1.25 (MIN) BELOW GRADE |
|  | MAX 3:1 SLOPE                                        |

|                             |
|-----------------------------|
| ISSUED OR REVISION COMMENTS |
|-----------------------------|

[illegible]

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

RECALCULATED UNLESS DESIGN IS EXEMPT UNDER 3.2.5. OF DIVISION C OF THE BUILDING CODE

JAMES PIGGOTT 25146

REQUIRED UNLESS DESIGN INDICATES OTHERWISE UNDER 3.2.4. OF DIVISION C OF THE  
UNIFORM CODE

|               |       |
|---------------|-------|
| JAMES PIGGOTT | 34700 |
|---------------|-------|

James Pliggott

### Residential Design Consultant

**3A King Street South, Suite 4  
Cookstown Ont. L0L 1L0  
(705) 458 8493**

|                |                   |
|----------------|-------------------|
| DRAWN BY<br>JP | DATE<br>JULY 2010 |
|----------------|-------------------|

|                |                  |
|----------------|------------------|
| SCALE<br>1:250 | PROJECT No<br>NO |
|----------------|------------------|

|         |    |
|---------|----|
| FILE    | 55 |
| LOTR 55 | 55 |

NOTES:

BUILDER TO ENSURE THAT THE WATER BOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES.

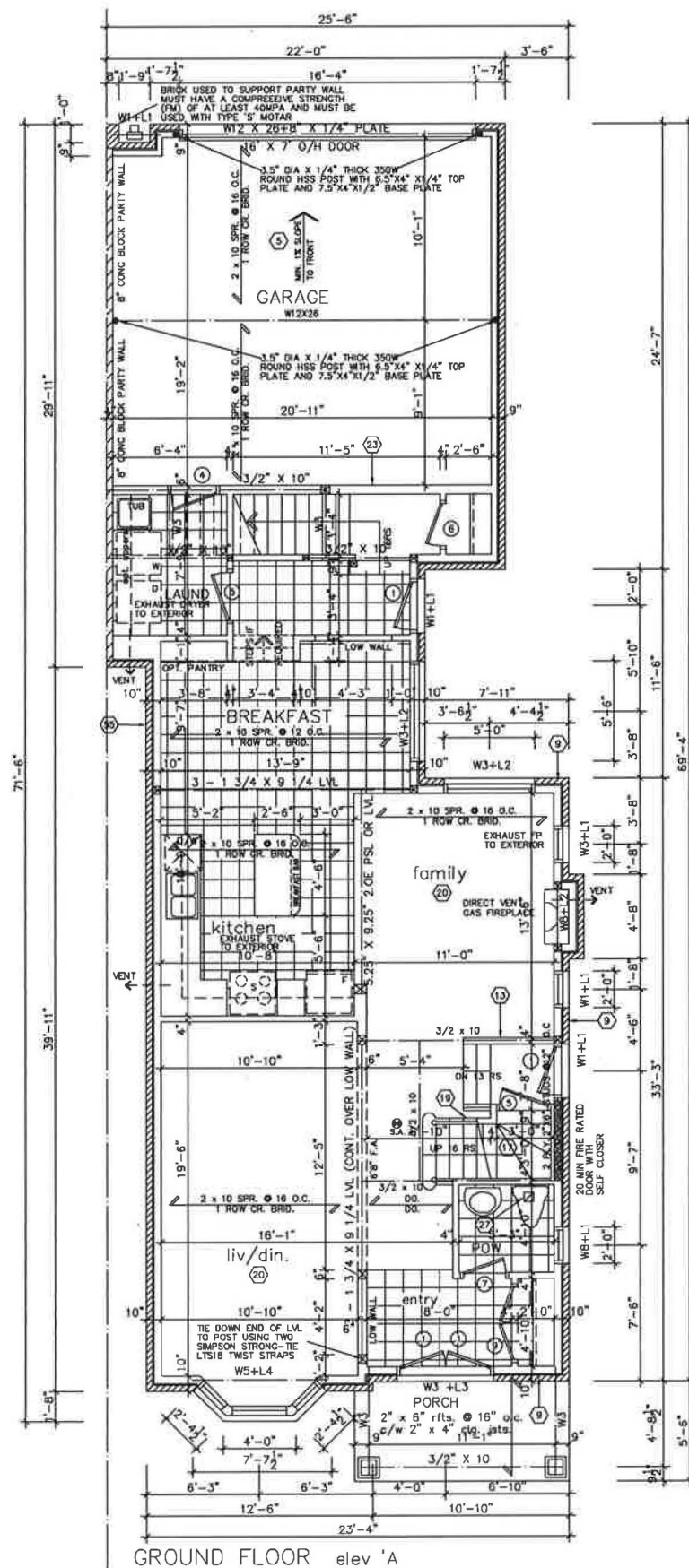
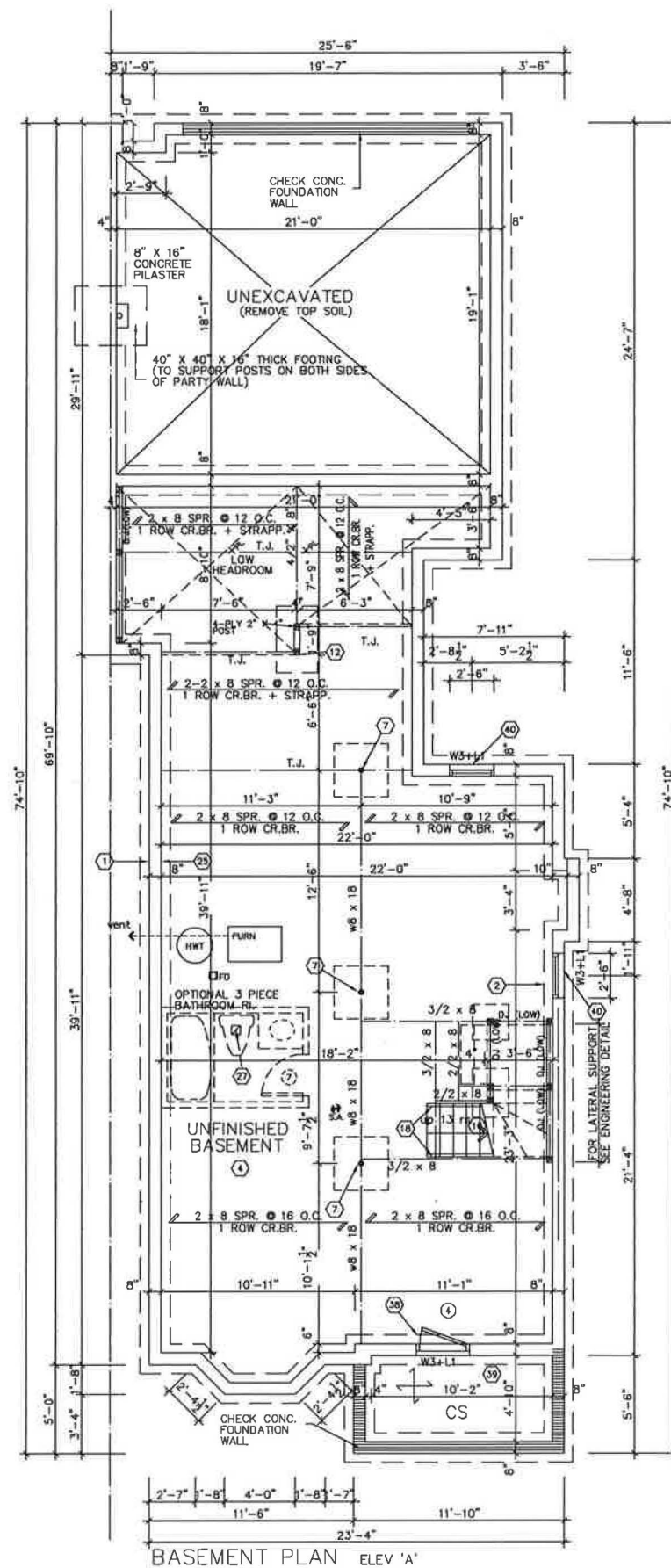
"DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA. SPLASH PAD"

"BASE CURB ELEVATION TO BE CHECKED VS. GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE"

"FOR DETAILS OF PRIVACY FENCE REFER TO LANDSCAPE DRAWINGS"

"BUILDER TO ENSURE WATER BOX IS ACCESSIBLE AND OPERATIONAL"





LATEST DWG 24/7/2017

GFA= 2599 SF EL 'A B C'

COV= 1590 SF EL 'A'  
1630 SF EL 'B & C'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

|                                                                                                                                                                 |  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| QUALIFICATION INFORMATION<br>REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.2.5 OF DIVISION C OF THE<br>BUILDING CODE<br>JAMES PIGGOTT<br>NAME SIGNATURE 25146<br>BSH |  |
| REGISTRATION INFORMATION<br>REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.2.4 OF DIVISION C OF THE<br>BUILDING CODE<br>JAMES PIGGOTT<br>FIRM NAME 34700<br>BSH       |  |

|    |            |                               |
|----|------------|-------------------------------|
| 6  | —          | —                             |
| 5  | —          | —                             |
| 4  | —          | —                             |
| 3  | —          | —                             |
| 2  | 24/7/2017  | Foundation hydro meter alcove |
| 1  | 11/10/2016 | STRUCTURAL REVISIONS          |
| NO | DATE       | DESCRIPTION                   |

## REVISIONS

GENERAL NOTES:

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DESIGN CONSULTANT BEFORE PROCEEDING WITH THE WORK.

LATEST APPROVED DRAWINGS ONLY TO  
BE USED FOR CONSTRUCTION.  
DRAWINGS NOT TO BE SCALED.

James Piggott  
Residential Design Consultant

3A King Street South, Suite 4  
Cookstown Ont. L0L 1L0  
(705) 458 8433

## FOREST HILL HOMES

2700 Dufferin St. Unit 34  
Toronto, Ont. M6B 4J3

PROJECT CO-ORDINATOR  
J PIGGOTT

|                 |                    |
|-----------------|--------------------|
| DRAWN BY:<br>JP | DATE:<br>SEPT 2016 |
|-----------------|--------------------|

|             |       |
|-------------|-------|
| CHECKED BY: | DATE: |
|-------------|-------|

SCALE:  
3/16" = 1' 0"

PROJECT NAME: CORNEL

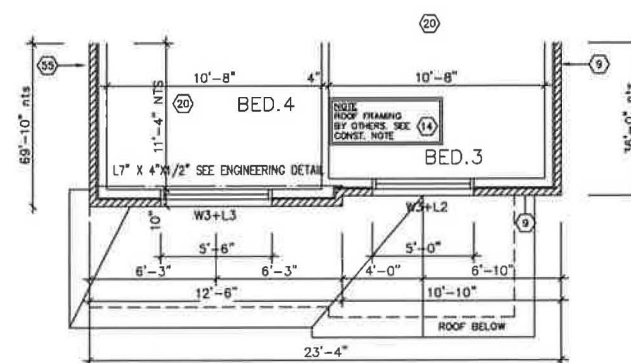
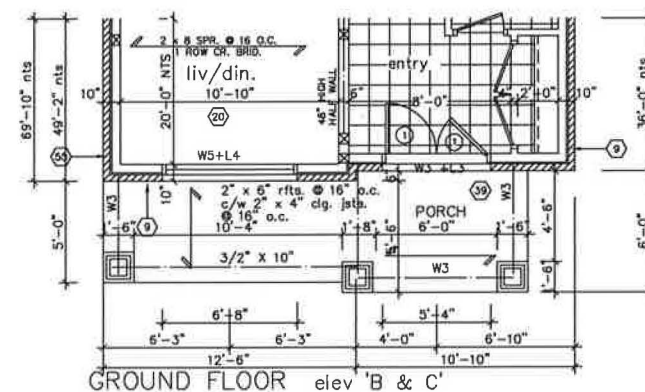
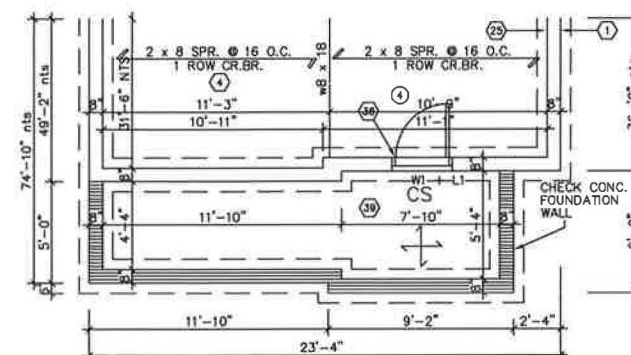
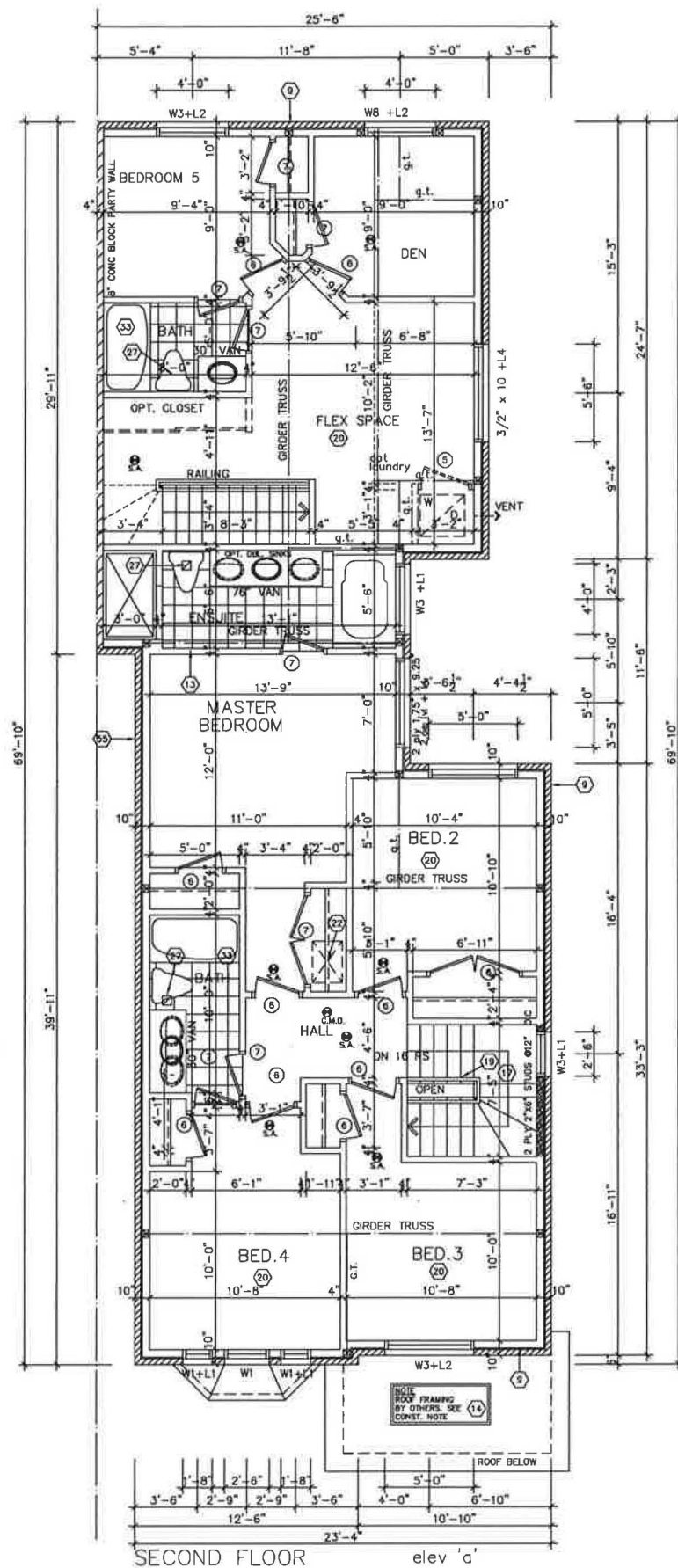
MODEL TYPE: MODEL TYPE 30-11

SHEET NAME:

PLANS

|              |          |
|--------------|----------|
| PROJECT NO.: | DWG NO.: |
|              | A1       |

FILE NAME: 30-11P



LATEST DWG 11/10/2016

GFA= 2599 SF EL 'A B C'

COV= 1590 SF EL 'A'  
1630 SF EL 'B & C'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.3. OF DIVISION C OF THE BUILDING CODE

DESIGNER'S SIGNATURE: JAMES PIGGOTT 25146

REGISTERED INFORMATION: JAMES PIGGOTT 34700

| 6  | -          | -                    |
|----|------------|----------------------|
| 5  | -          | -                    |
| 4  | -          | -                    |
| 3  | -          | -                    |
| 2  | -          | -                    |
| 1  | 11/10/2016 | STRUCTURAL REVISIONS |
| NO | DATE       | DESCRIPTION          |

#### REVISIONS

#### GENERAL NOTES:

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DESIGN CONSULTANT BEFORE PROCEEDING WITH THE WORK.

LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. DRAWINGS NOT TO BE SCALED.

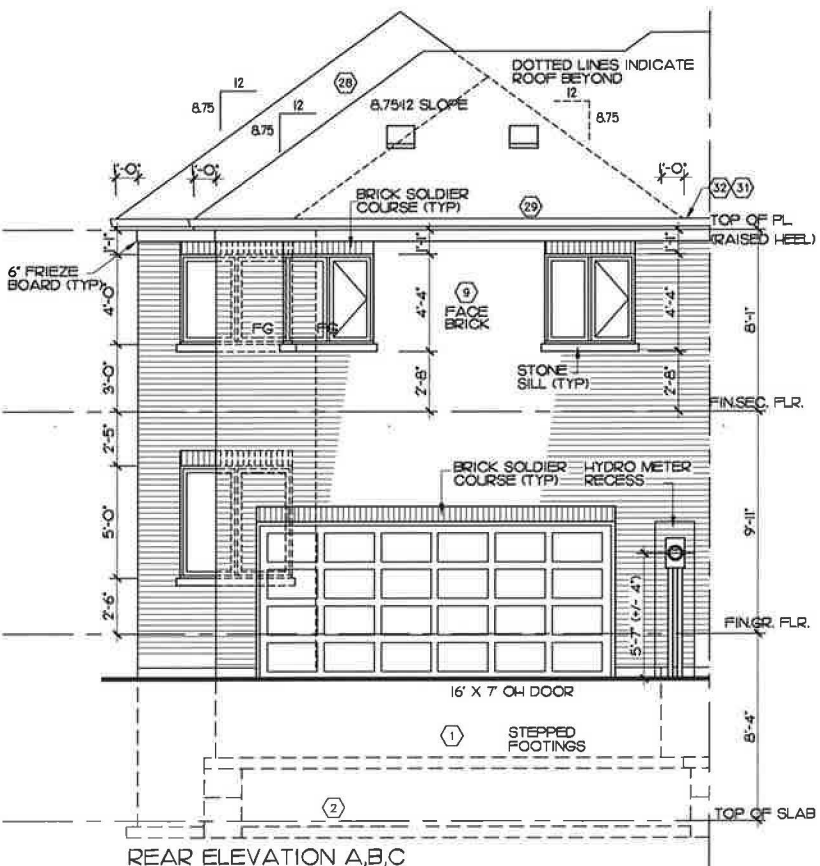
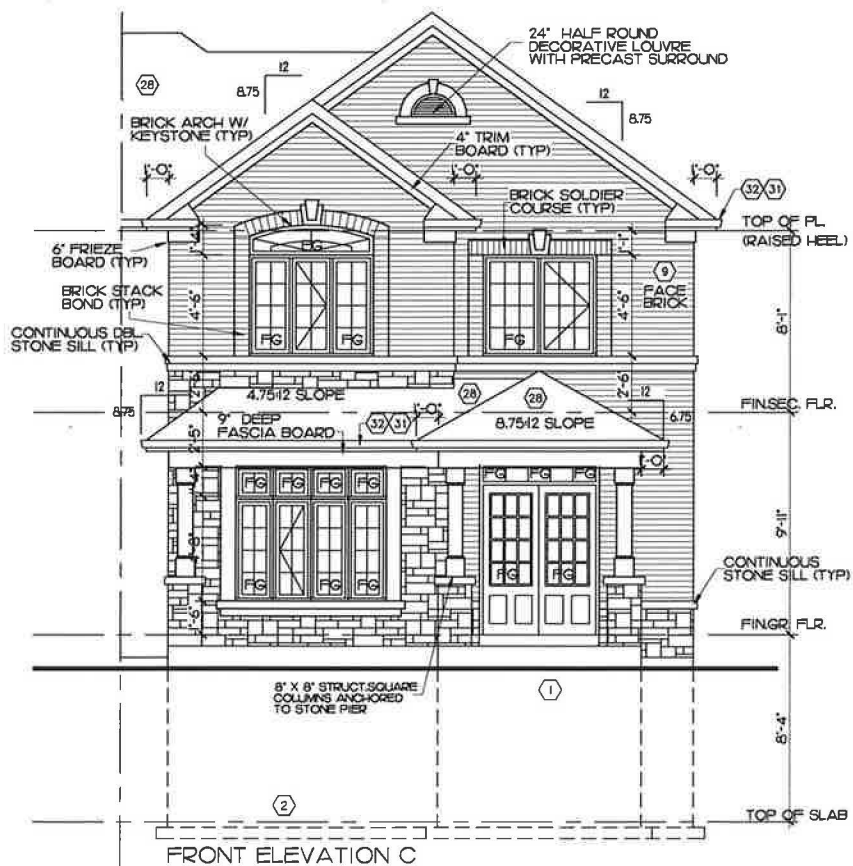
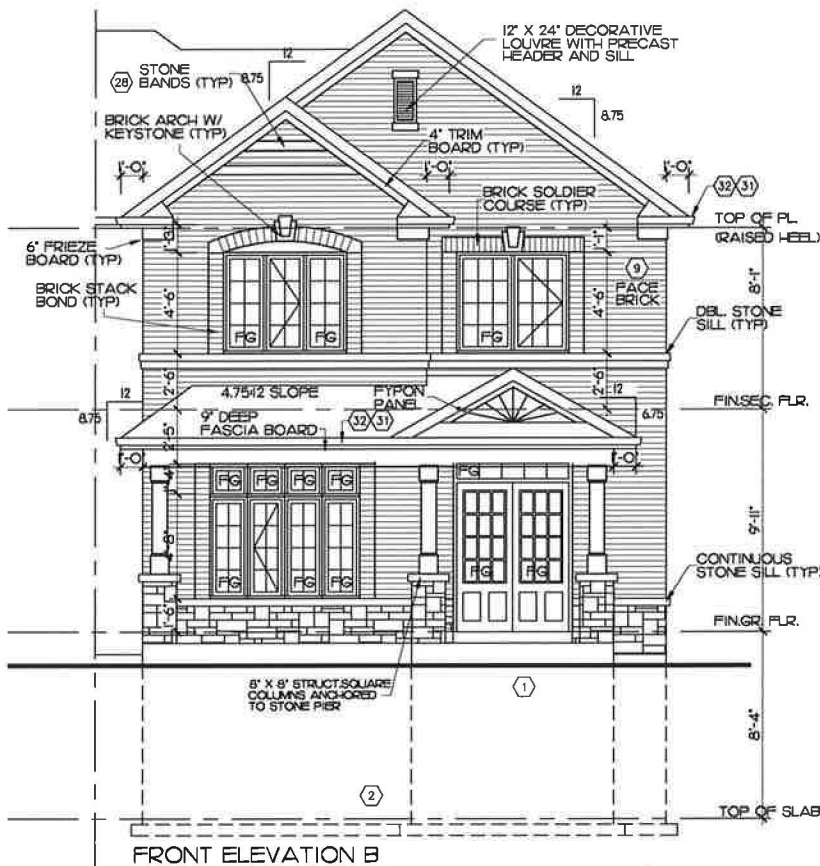
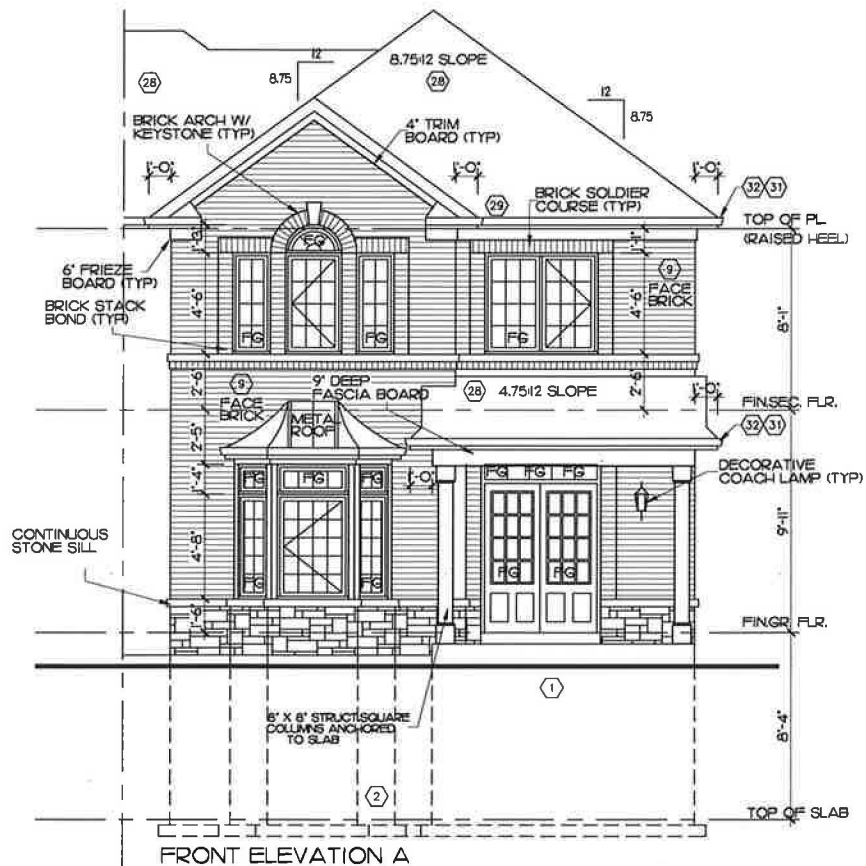
James Piggott  
Residential Design Consultant  
3A King Street South, Suite 4  
Cookstown Ont. L0L 1L0  
(705) 458 8433

#### FOREST HILL HOMES

2700 Dufferin St. Unit 34  
Toronto, Ont. M6B 4J3

|                                   |                    |
|-----------------------------------|--------------------|
| PROJECT CO-ORDINATOR<br>J PIGGOTT |                    |
| DRAWN BY:<br>JP                   | DATE:<br>SEPT 2016 |
| CHECKED BY:                       | DATE:              |
| SCALE:<br>3/16" = 1'-0"           |                    |

|                                 |                |
|---------------------------------|----------------|
| PROJECT NAME:<br>CORNEL         |                |
| MODEL TYPE:<br>MODEL TYPE 30-11 |                |
| SHEET NAME:<br>PLANS            |                |
| PROJECT NO.:                    | DWG NO.:<br>A2 |
| FILE NAME:<br>30-11P            |                |



THE PLANNING  
PARTNERSHIP LTD.  
Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/Drawings comply with the architectural control guidelines approved by the Town of Markham and on file with the Development Services Commission. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: \_\_\_\_\_  
Date: \_\_\_\_\_  
Reviewed For:  
☐ Final Review  
☐ Preliminary Review

LATEST DWG: 9/10/2015

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4. OF DIVISION C OF THE BUILDING CODE

DESIGNER'S SIGNATURE  
JAMES PIGGOTT  
NAME  
25146  
BON

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4. OF DIVISION C OF THE BUILDING CODE

DESIGNER'S SIGNATURE  
JAMES PIGGOTT  
NAME  
34700  
BON

| 6  | -    | -           |
|----|------|-------------|
| 5  | -    | -           |
| 4  | -    | -           |
| 3  | -    | -           |
| 2  | -    | -           |
| 1  | -    | -           |
| NO | DATE | DESCRIPTION |

#### REVISIONS

#### GENERAL NOTES:

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DESIGN CONSULTANT BEFORE PROCEEDING WITH THE WORK.

LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.  
DRAWINGS NOT TO BE SCALED.

### James Piggott

#### Residential Design Consultant

3A King Street South, Suite 4  
Cookstown Ont. L0L 1L0  
(705) 458 8433

### FOREST HILL HOMES

2700 Dufferin St. Unit 34  
Toronto, Ont. M6B 4J3

PROJECT CO-ORDINATOR  
J PIGGOTT

DRAWN BY: JP DATE: SEPT 2016

CHECKED BY: DATE:

SCALE:  
3/16" = 1'-0"

PROJECT NAME:

**CORNEL**

UNIT TYPE:

**UNIT TYPE 30-11**

SHEET NAME:

**ELEVATIONS**

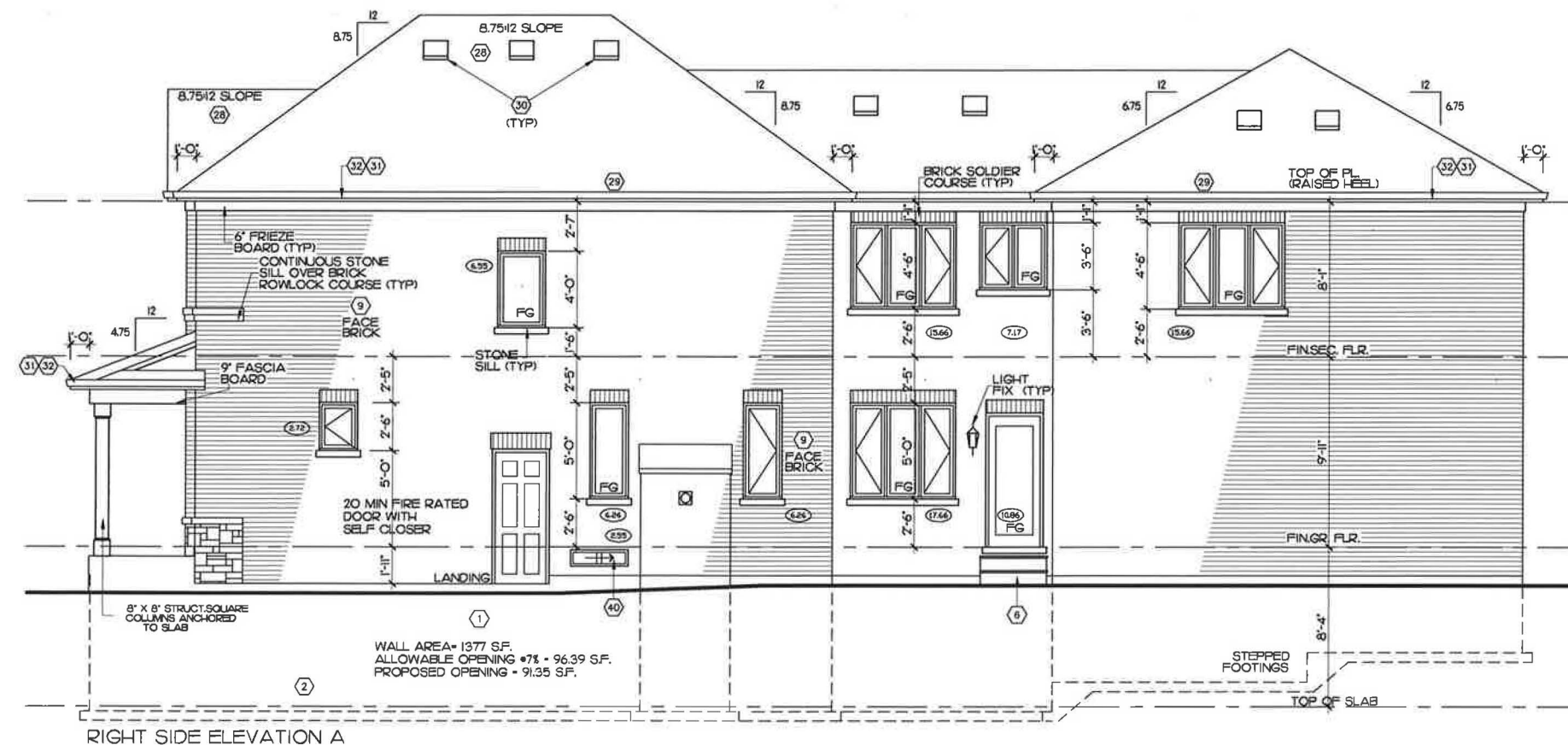
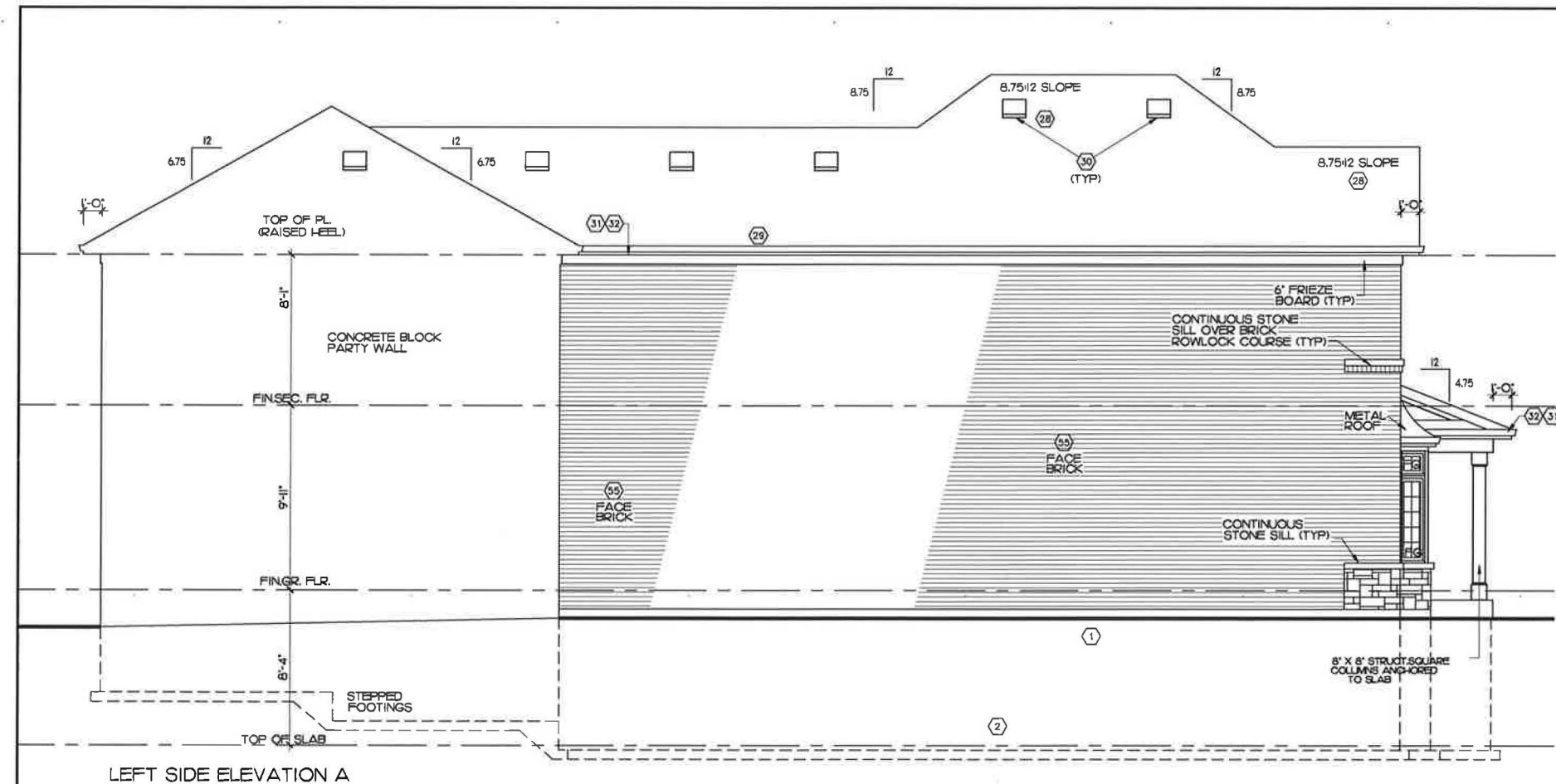
PROJECT NO.:

DWG NO.:

**A3**

FILE NAME:

**30-11E**



THE PLANNING  
PARTNERSHIP LTD.  
Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/ Drawings comply with the architectural control guidelines approved by the Town of Markham and on file with the Development Services Commission. This stamp is **ONLY** for the purposes of design control and carries no other professional obligation.

Reviewed By: \_\_\_\_\_  
Date: \_\_\_\_\_  
Reviewed For:  
☐ Final Review  
☐ Preliminary Review

|            |           |
|------------|-----------|
| LATEST DWG | 9/10/2015 |
|------------|-----------|

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5 OF DIVISION C OF THE BUILDING CODE

|               |           |       |
|---------------|-----------|-------|
| JAMES PIGGOTT |           | 25146 |
| NAME          | SIGNATURE | BON   |

REGISTRATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER A.2.4, OF DIVISION C OF THE

|               |  |       |
|---------------|--|-------|
| BUILDING CODE |  |       |
| JAMES PIGGOTT |  | 34700 |
| FIRM NAME     |  | BON   |

|    |      |             |
|----|------|-------------|
| 6  | -    | -           |
| 5  | -    | -           |
| 4  | -    | -           |
| 3  | -    | -           |
| 2  | -    | -           |
| 1  |      |             |
| NO | DATE | DESCRIPTION |

## REVISIONS

GENERAL NOTES:

GENERAL NOTES:  
CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DESIGN CONSULTANT BEFORE PROCEEDING WITH THE WORK.

LATEST APPROVED DRAWINGS ONLY TO  
BE USED FOR CONSTRUCTION.

DRAWINGS NOT TO BE SCALED.

## James Piggott

**Residential Design Consultant**

**3A King Street South, Suite 4  
Cookstown Ont. L0L 1L0  
(705) 458 8433**

## FOREST HILL HOMES

**2700 Dufferin St. Unit 34  
Toronto, Ont. M6B 4J3**

PROJECT CO-ORDINATOR

J PIGGOTT

DRAWN BY:

✓P

DATE: \_\_\_\_\_

SEPT 2016

CHECKED BY \_\_\_\_\_

DATE:

SCALE:

 $3/16" = 1'-0"$ 

PROJECT NAME:

**CORNEL**

UNIT TYPE:

UNIT TYPE 30-11

SHEET NAME:

## ELEVATIONS

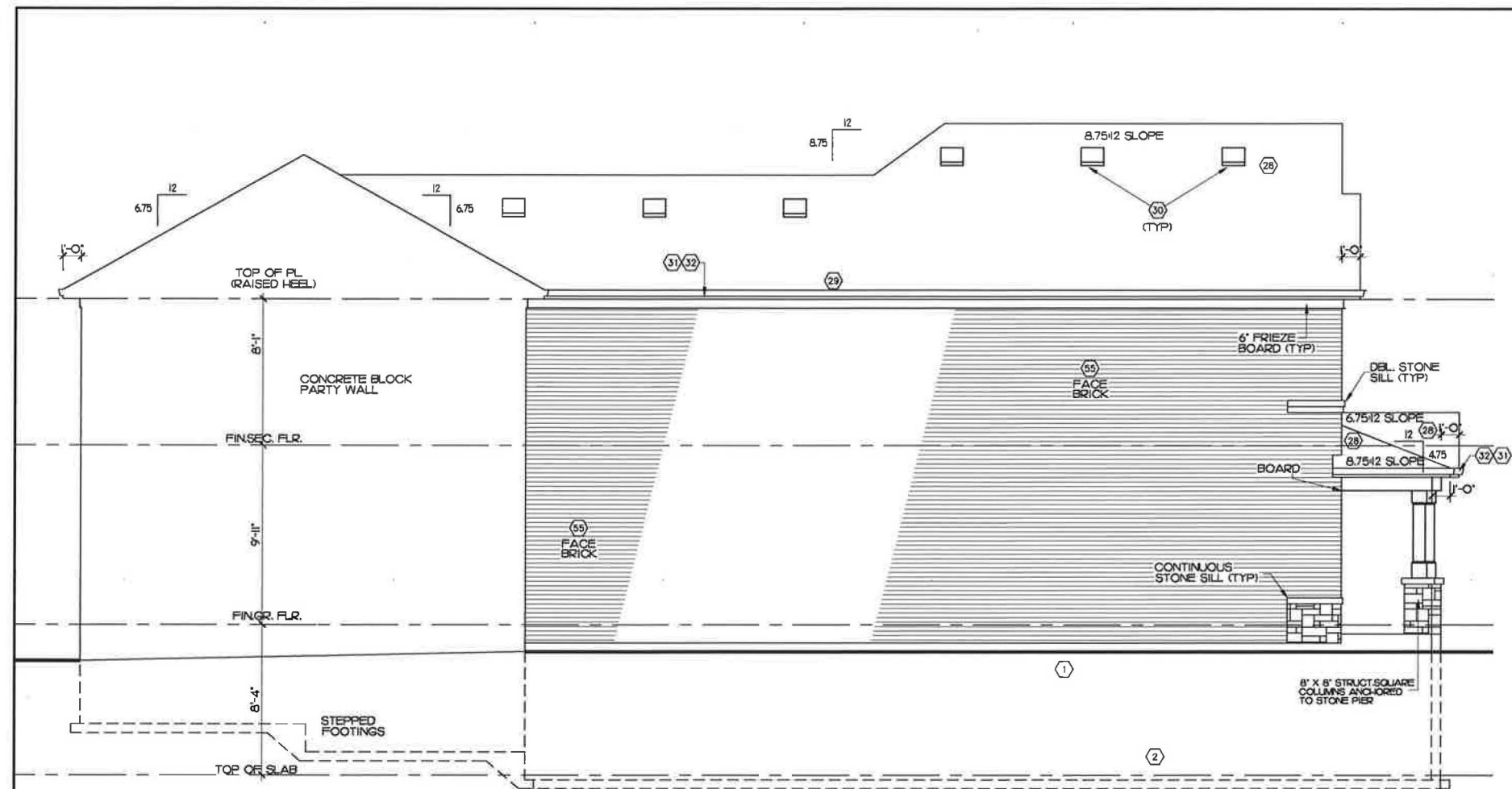
PROJECT NO.:

DWG NO.:

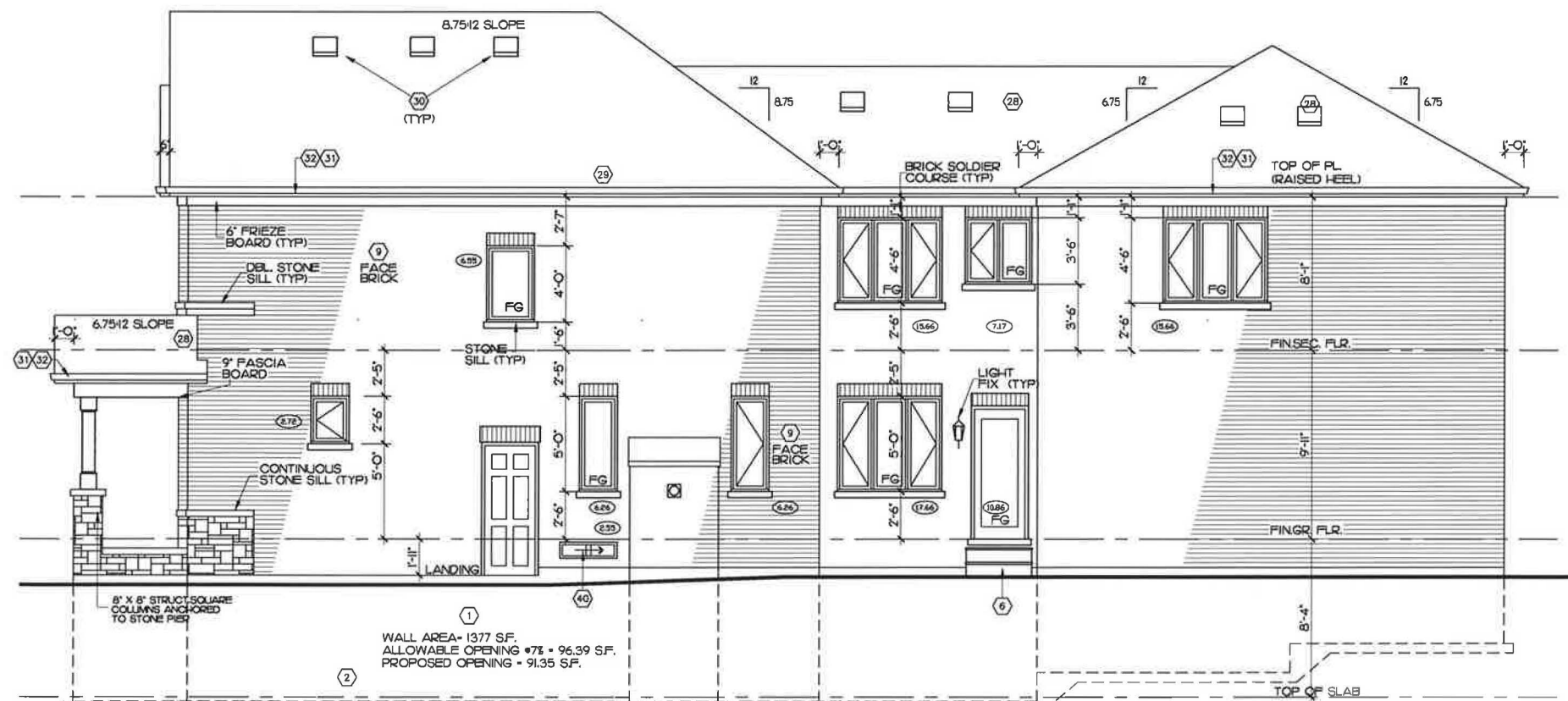
**A4**

FILE NAME:

**30-11E**



LEFT SIDE ELEVATION B



RIGHT SIDE ELEVATION B OPT.1 SECOND FLOOR

THE PLANNING  
PARTNERSHIP LTD.  
Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/Drawings comply with the architectural control guidelines approved by the Town of Markham and on file with the Development Services Commission. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: \_\_\_\_\_  
Date: \_\_\_\_\_  
Reviewed For:  
☐ Final Review  
☐ Preliminary Review

LATEST DWG 9/10/2015

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 1.2.3.4 OF DIVISION C OF THE BUILDING CODE

JAMES PIGGOTT 25146  
NAME SIGNATURE BON

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 1.2.3.4 OF DIVISION C OF THE BUILDING CODE

JAMES PIGGOTT 34700  
NAME SIGNATURE BON

| 6  | -    | -           |
|----|------|-------------|
| 5  | -    | -           |
| 4  | -    | -           |
| 3  | -    | -           |
| 2  | -    | -           |
| 1  | -    | -           |
| NO | DATE | DESCRIPTION |

#### REVISIONS

#### GENERAL NOTES:

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DESIGN CONSULTANT BEFORE PROCEEDING WITH THE WORK.

LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.  
DRAWINGS NOT TO BE SCALED.

### James Piggott

Residential Design Consultant

3A King Street South, Suite 4  
Cookstown Ont. L0L 1L0  
(705) 458 8433

### FOREST HILL HOMES

2700 Dufferin St. Unit 34  
Toronto, Ont. M6B 4J3

PROJECT CO-ORDINATOR

J PIGGOTT

DRAWN BY:

JP

DATE:

SEPT 2016

CHECKED BY:

DATE:

SCALE:

3/16" = 1'-0"

PROJECT NAME:

CORNEL

UNIT TYPE:

UNIT TYPE 30-11

SHEET NAME:

ELEVATIONS

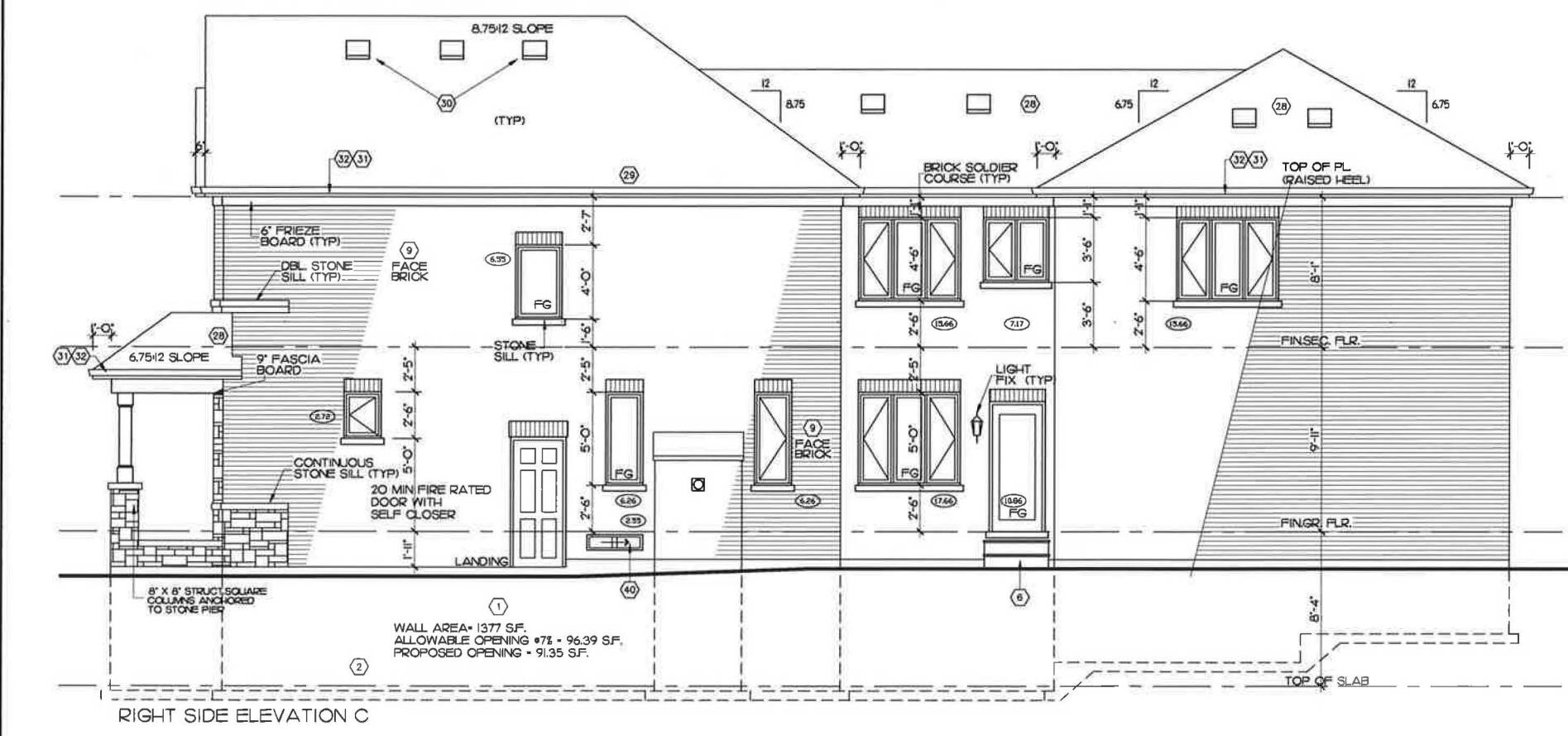
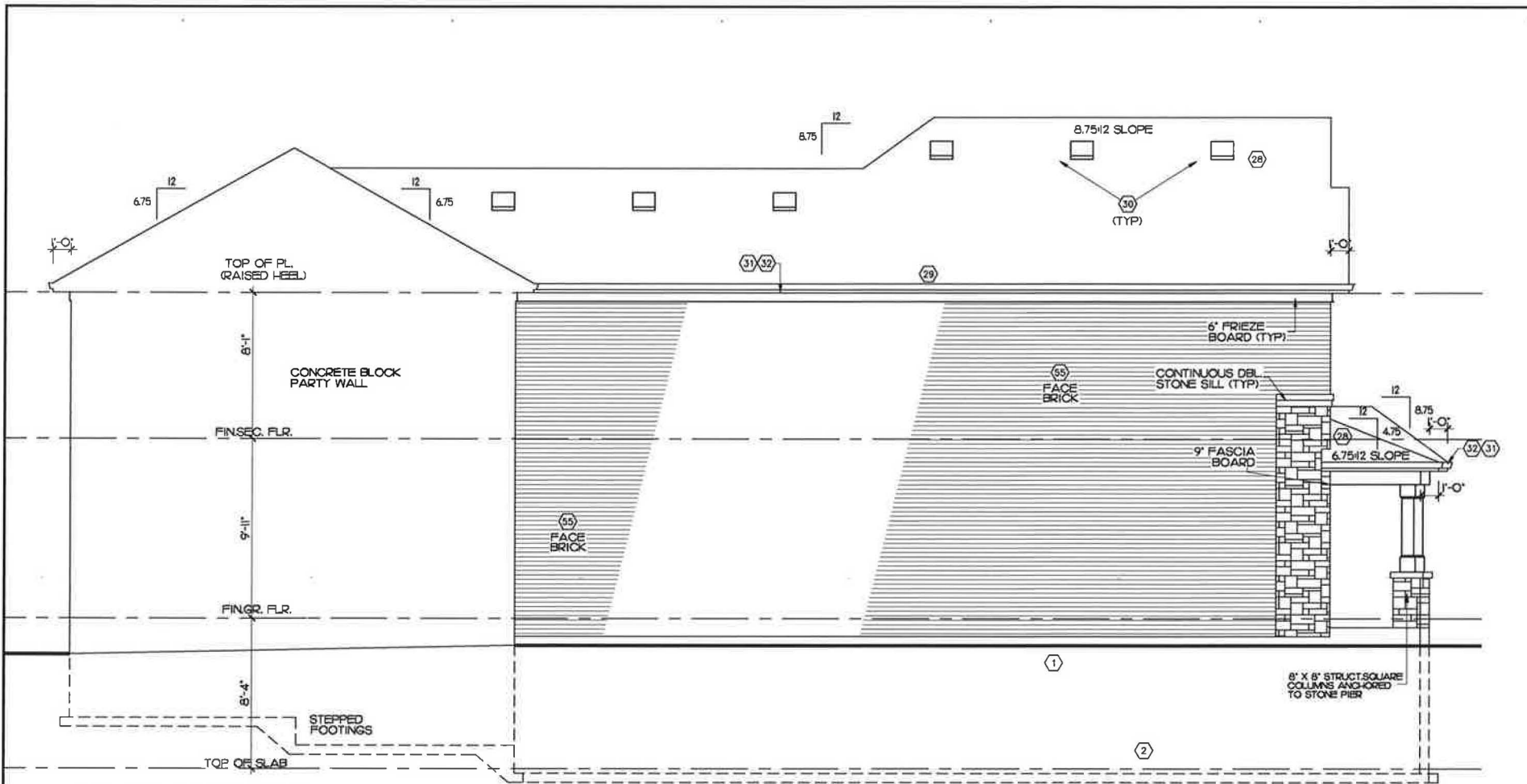
PROJECT NO.:

DWG NO.:

A5

FILE NAME:

30-11E



THE PLANNING PARTNERSHIP LTD.  
Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/Drawings comply with the architectural control guidelines approved by the Town of Markham and on file with the Development Services Commission. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: \_\_\_\_\_  
Date: \_\_\_\_\_  
Reviewed For: \_\_\_\_\_  
☐ Final Review  
☐ Preliminary Review

LATEST DWG 9/10/2015

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.2.5.4 OF DIVISION C OF THE BUILDING CODE

QUALIFYING DESIGNER  
JAMES PIGGOTT 25146  
NAME SIGNATURE BORN

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.2.5.4 OF DIVISION C OF THE BUILDING CODE

REGISTRATION INFORMATION  
JAMES PIGGOTT 34700  
FIRM NAME BORN

|    |      |             |
|----|------|-------------|
| 6  | -    | -           |
| 5  | -    | -           |
| 4  | -    | -           |
| 3  | -    | -           |
| 2  | -    | -           |
| 1  | -    | -           |
| NO | DATE | DESCRIPTION |

REVISIONS

GENERAL NOTES:  
CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DESIGN CONSULTANT BEFORE PROCEEDING WITH THE WORK.  
LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.  
DRAWINGS NOT TO BE SCALED.

**James Piggott**  
Residential Design Consultant  
3A King Street South, Suite 4  
Cookstown Ont. L0L 1L0  
(706) 458 8433

**FOREST HILL HOMES**

2700 Dufferin St. Unit 34  
Toronto, Ont. M6B 4J3

PROJECT CO-ORDINATOR  
J PIGGOTT

DRAWN BY: JP DATE: SEPT 2016

CHECKED BY: DATE:

SCALE:  
3/16" = 1'-0"

PROJECT NAME:  
**CORNEL**

UNIT TYPE:  
**UNIT TYPE 30-11**

SHEET NAME:  
**ELEVATIONS**

PROJECT NO.: DWG NO.:  
**A6**

FILE NAME:  
**30-11E**

OPT. DOOR  
WHERE  
GRADE PERMITS

19'2"

OPT. UPPERS

W

D

FUTURE DOOR  
SEPARATION

UP

opt.pantry

STEPS IF REQ.

EXISTING HALF WALL TO BE CLOSED

