

Memorandum to the City of Markham Committee of Adjustment

December 20, 2018

File: A/175/18
Address: 37 Chumleigh Cres, Thornhill
Applicant: Mehdi Dadar
Agent: Land & Building Experts (Aarthi Thaya)
Hearing Date: Wednesday January 23, 2019

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of By-law 2612, RSD1, as amended:

- a) **By-law 119-71, Section 1(a):**
a secondary suite in the basement of an existing residential dwelling, whereas the Bylaw permits no more than one semi-detached dwelling on one lot;
- b) **Parking By-law 28-97, Section 3.0:**
a minimum of 2 parking spaces, whereas the By-law requires a minimum of 3 parking spaces;

as they relate to a proposed basement apartment.

BACKGROUND

Property Description

The 383.45 m² (4,127.42 ft²) subject property is located on the west side of Chumleigh Crescent, north of Steeles Avenue and east of Don Mills Road. The property is developed with a 156.45 m² (1,684 ft²) two-storey semi-detached dwelling, which according to assessment records was constructed in 1973. The property currently provides a total of two parking spaces, one in the garage and one on the driveway.

Proposal

The applicant is requesting permission for a secondary suite in the basement of the existing dwelling. The proposed secondary suite would have direct and separate access provided by a door on the north side of the building.

Provincial Policies

Strong Communities through Affordable Housing Act - Province of Ontario

In 2011, the Strong Communities through Affordable Housing Act amended various sections of the Ontario Planning Act to facilitate the creation of second units by:

- Requiring municipalities to establish Official Plan policies and Zoning By-law provisions allowing secondary units in detached, semi-detached and row houses, as well as in ancillary structures
- Providing authority for the Minister of Municipal Affairs and Housing to make regulations authorizing the use of, and prescribing standards for, second units.

Under the *Strong Communities through Affordable Housing Act*, 'Second Units' also known as secondary suites are defined as "self-contained residential units with kitchen and bathroom facilities within dwellings or within structures accessory to dwellings."

Official Plan and Zoning

2014 Official Plan (partially approved on Nov 24/17, and further updated on April 9/18)

The 2014 Official Plan designates the subject property "Residential – Low Rise", which provides for low rise housing forms including townhouse dwellings. The definition of a "Secondary Suite" in the 2014 Official Plan is "a second residential unit in a detached house, semi-detached house or row house that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking, sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons."

Section 8.13.8 states that it is the policy of Council that in considering an application to amend the zoning by-law to permit the establishment of a secondary suite where provided for in the 2014 Official Plan, that Council shall be satisfied that an appropriate set of development standards are provided for in the zoning by-law including: The building type in which the secondary suite is contained;

- a) The percentage of the floor area of the building type devoted to the secondary suite;
- b) The number of dwelling units permitted on the same lot
- c) The size of the secondary suite;
- d) The applicable parking standards; and
- e) The external appearance of the main dwelling

As part of the City initiated zoning by-law consolidation project, Council recently considered the issue of second suites within the City. On May 29th, 2018, Council voted not to permit second suites as of right in any single detached, semi-detached, or townhouse dwelling.

Zoning By-law 2612

The subject property is zoned 'RSD1' First Density Semi-Detached Residential under By-law 2612, as amended, which does not permit a secondary suite.

Parking Standards By-law 28-97

The proposed secondary suite also does not comply with the standard of the Parking By-law 28-97 with respect to the number of parking spaces provided. Further details of the parking requirement is provided in the comment section below.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant on the application form, "a) Section 4.1.2.6 of City of Markham's Official Plan permit second suites. Existing zoning by-law does not comply with section 35(i) of the Planning Act. B) As per City of Markham's Parking Standards, a total of 3 parking spaces are required. Although there is 3 parking spaces available as per presumed lot lines, in the absence of a survey, we cannot ensure there is no encroachment onto the right of way."

Zoning Preliminary Review Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. Consequently, it is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variances in the application contains errors, or if the need for additional variances are identified during the Building Permit review process, further variance application(s) may be required to address the outstanding matters and there will be a delay in application processing.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Secondary Suites

Engineering staff confirmed that the existing sanitary sewer system has adequate capacity to accommodate the secondary suite and the Fire and Emergency Services Department has no objections provided the secondary suite is registered with the City and complies with Building and Fire Codes. Should this application be approved, the applicant will be required to obtain a building permit which ensures the secondary suite will be in compliance with Building Code and Fire Code regulations.

The City of Markham is committed to promoting affordable and shared housing opportunities. Secondary suites help the City increase the availability of affordable housing forms and provide support to achieve its affordable housing target required by the Province. Planning staff are of the opinion that the application meets the criteria under Section 8.13.8 of the 2014 Official Plan for the establishment of a secondary suite and therefore have no objections.

Reduced Parking Spaces

Parking Standards By-law 28-97 requires two parking spaces be provided for the principal dwelling unit, plus one additional space for an accessory dwelling unit or secondary suite. The existing single-car garage and driveway currently provide a total two parking spaces.

Requiring an additional parking space will result in changes to the property, such as reduced soft landscaping and increased hard surface area within the front yard; both of which is likely to detract from the visual appearance of the property and have a negative impact on the streetscape. Furthermore, this will reduce the amount of soft surface area that currently provides for the infiltration of rain water, which is an important part of good stormwater management practices.

Staff are of the opinion that to ensure the second suite remains inconspicuous from the street, and that the character of the dwelling and neighbourhood does not change, no additional parking should be required. Staff are also of the opinion that the parking issue may be considered "self-regulating", as the unit would only be of interest to a tenant that does not require a parking space, in the event that both parking spaces are required for use by the owner of the dwelling. It is noted that no overnight parking is permitted on this street, and violators would be ticketed nightly.

PUBLIC INPUT SUMMARY

No written submissions were received as of December 20, 2018. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



David Miller, Development Manager, West District
File Path: Amanda\File\ 18 258144 \Documents\District Team Comments Memo

APPENDIX "A"
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/175/18

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on December 17, 2018, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.
4. That the Owner register the home as a two-unit house with the City of Markham Fire & Emergency Services Department, and satisfy any and all conditions for registration, to the satisfaction of the Fire Chief.

CONDITIONS PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

LAND & BUILDING EXPERTS
 1215 HAWK WING CIRCLE, GAITHERSBURG, MD 20878
 410-485-1100
 www.landandbuildingexperts.com



TITLE: EXISTING SITE PLAN
PROJECT: ALTERATION TO AN EXISTING 2 STOREY SINGLE FAMILY DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT
ADDRESS: 37 CHUMBLEIGH CRESCENT THORNHILL, ON LOT 4G5

| No. | Date | Issued for |
|-----|------------|---------------|
| 1 | 11/28/2018 | CLIENT REVIEW |
| | | |
| | | |
| | | |
| | | |



ALL INFORMATION ON THIS PLAN IS UNLAWFUL TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM LAND & BUILDING EXPERTS.
 SCALE: 1/8" = 1'-0"
 DATE: NOV 2018
 DRAWN BY: F.E.
 CHECKED BY: F.E.
A-1

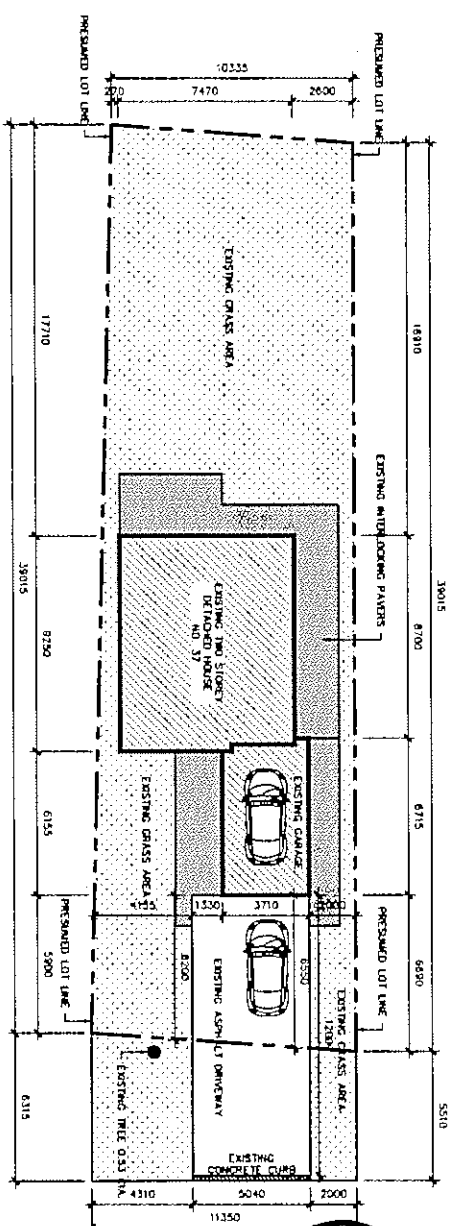
EXECUTION ORDER NO. 18-20862-EP
 HEREBY, PURSUANT TO REMEDY ANY CONTRAVENTION OF THE FIRE CODE, CHAPTER (2) OF SUBSECTION (1) OF SECTION 21 OF THE FIRE PROTECTION AND PROTECTION ACT, 1997, S3, 1897, C.F. IT IS ORDERED THAT
 WORK PREPARED IN THIS ORDER IS ORDERED NOT TO CONTRAVENE THE FIRE CODE, CHAPTER (2) OF SUBSECTION (1) OF SECTION 21 OF THE FIRE PROTECTION AND PROTECTION ACT, 1997, S3, 1897, C.F. IT IS ORDERED THAT
 REPAIRS, ALTERATIONS OR INSTALLATIONS ARE CARRIED OUT IN COMPLIANCE WITH AN ORDER MADE UNDER SUBSECTION 21 (1) OR FOR THE PURPOSES OF COMPLYING WITH THE FIRE CODE, THE REPAIRS, ALTERATIONS OR INSTALLATIONS ARE CARRIED OUT IN COMPLIANCE WITH THE BUILDING CODE ACT, 1993, S3, 1897, C.F. IT IS ORDERED THAT THE WORK IN THIS ORDER MUST BE COMPLETED BY JANUARY 21 2019

PLANNING

| SPACES | SIZE (m) | NUMBER OF SPACES |
|-----------------|-------------|------------------|
| ENCLOSED GARAGE | 3.28 X 4.20 | ONE SPACE |
| DRIVEWAY | 0.37 X 5.04 | ONE SPACE |

NOTE:
 THE PLANNING IS FOR REFERENCE ONLY. SURVEYORS DATA NOT AVAILABLE AT THIS TIME. ALL MEASUREMENTS WERE TAKEN FROM THE SITE/BUILDING. DO NOT SCALE FOR PROPERTY LINE LOCATION.
 NO WORK PROPOSED OUTSIDE THE HOUSE AT THIS TIME.

EXISTING SITE PLAN
 SCALE 1/8" = 1'-0"



CHUMBLEIGH CRESCENT
CITY OF MARYLAND RECEIVED DEC 17 2018 COMMITTEE OF ADJUSTMENT

- EXISTING ITEMS LEGEND:
- HWL HOT WATER TANK
 - FR FURNACE
 - HA HANDRAIL
 - W WASHER
 - D DRYER
 - REF REFRIGERATOR
 - HM WASHROOM
 - S STOVE
 - CF EXHAUST FAN
 - ⑤ INTERCONNECTED SMOKE ALARM
 - ⊕ CARBON MONOXIDE ALARM
 - ⊖ RETURN AIR REGISTER ON LOW WALL
 - ⊕ AIR SUPPLY REGISTER FLOOR MOUNTED
 - BOX COLUMN

EXISTING CEILING SCHEDULE

| | |
|---------------------|-------------------------|
| CEILING CEILING | WALLBOARD |
| 12.5mm Gypsum Board | 15mm STUDS @ 400mm O.C. |
| 15.5mm Gypsum Board | 15mm STUDS @ 400mm O.C. |
| 15.5mm Gypsum Board | 15mm STUDS @ 400mm O.C. |

EXISTING WALL SCHEDULE

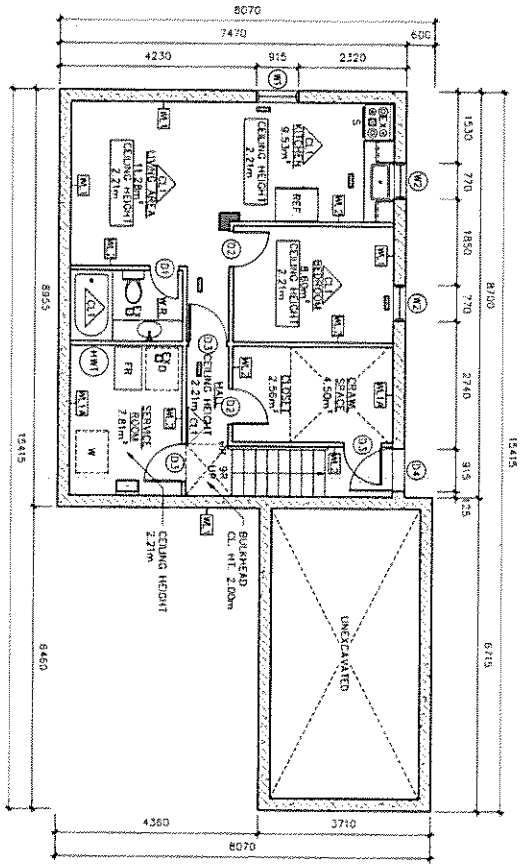
| | |
|-------------------------------|--------------------------|
| EXISTING FOUNDATION WALL WITH | REF 2.47 BATT INSULATION |
| 12.5mm Gypsum Board | 15mm STUDS @ 400mm O.C. |
| 12.5mm Gypsum Board | 15mm STUDS @ 400mm O.C. |
| EXISTING FOUNDATION WALL | |
| EXISTING INTERIOR WALL | |

EXISTING WINDOW SCHEDULE

| | | | | |
|-----|--------|--------------|-----|---------|
| NO. | TYPE | SIZE | QTY | REMARKS |
| W1 | SLIDER | 910mmx1400mm | 1 | |
| W2 | SLIDER | 770mmx1400mm | 2 | |

EXISTING DOOR SCHEDULE

| | | | | |
|-----|----------|--------------|-----|---------|
| NO. | TYPE | SIZE | QTY | REMARKS |
| D1 | BATHROOM | 610mmx1210mm | 1 | |
| D2 | INTERIOR | 760mmx1210mm | 2 | |
| D3 | UTILITY | 810mmx1210mm | 3 | |
| D4 | EXTERIOR | 810mmx1210mm | 1 | |



EXISTING BASEMENT FLOOR PLAN
SCALE 1:100

PROPOSED BY: **LAND & BUILDING EXPERTS**
 1515 Finch Ave. E. Toronto, ON M1T 2C2
 417-960-8949 landbuildingexperts.com

REGISTERED PROFESSIONAL ENGINEER
 LAND & BUILDING EXPERTS
 1/19/17
 01/19/17
 01/19/17

TITLE: **EXISTING BASEMENT FLOOR PLAN**

PROJECT: **ALTERATION TO AN EXISTING 2 STOREY SINGLE FAMILY DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT**

ADDRESS: **37 CHUMLEIGH CRESCENT THORNHILL, ON L3T 4G5**

| No. | Date | Issued for |
|-----|------------|---------------|
| 1 | 11/28/2018 | CLIENT REVIEW |

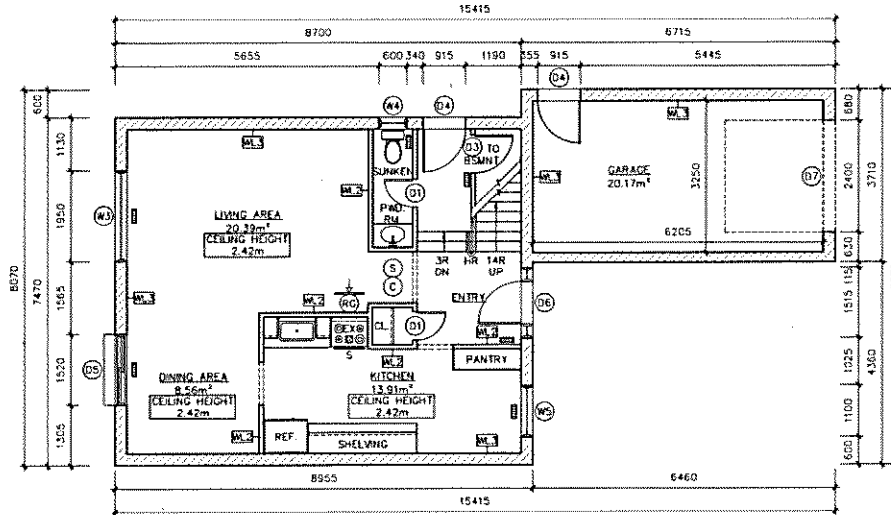
ALL INFORMATION IS FOR THE PROJECT ONLY. THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

DATE: NOV 2018
 DRAWN BY: K
 CHECKED BY: L.L.

A-2

EXISTING ITEMS LEGEND:

| | | | |
|-----|--------------|-------|-----------------------------------|
| REF | REFRIGERATOR | (S) | INTERCONNECTED SMOKE ALARM |
| CL | CLOSET | (C) | CARBON MONOXIDE ALARM |
| HR | HANDRAIL | (RCR) | RETURN AIR REGISTER ON LOW WALL |
| PWD | POWDER ROOM | (S) | AIR SUPPLY REGISTER FLOOR MOUNTED |
| EX | EXHAUST FAN | | |
| ST | STOVE | | |



1 EXISTING FIRST FLOOR PLAN
SCALE: 1:100

| EXISTING WALL SCHEDULE | |
|------------------------|-------------------------------------|
| | EXISTING INTERIOR WALL |
| | EXISTING BRICK WALL ON WOOD FRAMING |

| EXISTING WINDOW SCHEDULE | | | | |
|--------------------------|--------|---------------|-----|---------|
| NO. | TYPE | SIZE | QTY | REMARKS |
| W3 | SLIDER | 1950mmx1115mm | 1 | ----- |
| W4 | SLIDER | 600mmx800mm | 1 | ----- |
| W5 | SLIDER | 1100mmx960mm | 1 | ----- |

| EXISTING DOOR SCHEDULE | | | | |
|------------------------|----------|----------------|-----|------------------|
| NO. | TYPE | SIZE | QTY | REMARKS |
| D1 | BATHROOM | 610mmx2030mm | 2 | ----- |
| D3 | UTILITY | 610mmx2030mm | 1 | ----- |
| D4 | EXTERIOR | 915mmx2030mm | 2 | WEATHER STRIPPED |
| D5 | SLIDER | 2-760mmx2030mm | 1 | WEATHER STRIPPED |
| D6 | EXTERIOR | 915mmx2030mm | 1 | WITH SIDE LIGHTS |
| D7 | GARAGE | 2400mmx2130mm | 1 | ----- |

PREPARED BY:
LAND & BUILDING EXPERTS
1115 Finch Ave E, Toronto, ON M3J 0C2
447 842 8478 landbuilding@gmail.com



TITLE: **EXISTING FIRST FLOOR PLAN**

PROJECT: **ALTERATION TO AN EXISTING 2 STOREY SINGLE FAMILY DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT**

ADDRESS: **37 CHUMLEIGH CRESCENT
THORNHILL, ON L3T 4G5**

| No. | Date | Issued for |
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SCALE: 1:100 DWG No:

DATE: NOV 2018

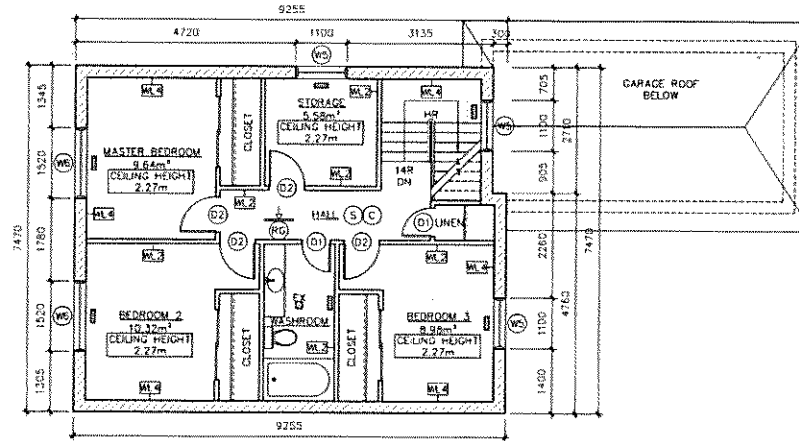
DRAWN BY: P.R.

CHECKED BY: E.L.

A-3

EXISTING ITEMS LEGEND:

- CL CLOSET
- HR HANDRIL
- PWD. POWDER ROOM
- EXHAUST FAN
- Ⓢ INTERCONNECTED SMOKE ALARM
- Ⓢ CARBON MONOXIDE ALARM
- RETURN AIR REGISTER ON HIGH WALL
- AIR SUPPLY REGISTER FLOOR MOUNTED



1 EXISTING SECOND FLOOR PLAN
A-4 SCALE 1:100

| EXISTING WALL SCHEDULE | |
|------------------------|---|
| W.1 | EXISTING INTERIOR WALL |
| W.2 | EXISTING ALUMINUM SIDING WALL ON WOOD FRAMING |

| EXISTING WINDOW SCHEDULE | | | | |
|--------------------------|--------|-----------------|------|---------|
| NO. | TYPE | SIZE | QTY. | REMARKS |
| W5 | SLIDER | 1100mm X 960mm | 1 | ----- |
| W6 | SLIDER | 1520mm X 1000mm | 1 | ----- |

| EXISTING DOOR SCHEDULE | | | | |
|------------------------|----------|----------------|------|---------|
| NO. | TYPE | SIZE | QTY. | REMARKS |
| D1 | BATHROOM | 610mm X 2030mm | 2 | ----- |
| D2 | INTERIOR | 760mm X 2030mm | 4 | ----- |

PREPARED BY:
LAND & BUILDING EXPERTS
5211 Finch Ave. E., Toronto, ON M3J 0C2
417.340.8449 landbuilding@gmail.com



| | |
|----------|--|
| TITLE: | EXISTING SECOND FLOOR PLAN |
| PROJECT: | ALTERATION TO AN EXISTING 2 STOREY SINGLE FAMILY DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT |
| ADDRESS: | 37 CHUMLEIGH CRESCENT THORNHILL, ON L3T 4G5 |

| No. | Date | Issued for |
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| SCALE: 1:100 | DWG. NO. |
| DATE: NOV 2018 | |
| DRAWN BY: P.R. | A-4 |
| CHECKED BY: E.L. | |

- CASING ITEMS LEGEND:**
- Ⓢ HOT WATER TANK
 - Ⓣ WASHROOM
 - Ⓤ FURNACE
 - Ⓟ STOVE
 - Ⓠ EXHAUST FAN
 - Ⓡ HANGING CABINET
 - Ⓢ AIRCONNECTED SMOKE ALARM
 - Ⓣ RETRIBRATOR
 - Ⓤ CARBON MONOXIDE ALARM
 - Ⓟ RETURN AIR REGISTER ON LOW WALL
 - Ⓠ AIR SUPPLY REGISTER
 - Ⓡ FLOOR MODIFIED
 - Ⓢ BOX COLUMN

GLASS AREA CALCULATION

| ROOM | GLASS AREA | NATURAL LIGHT PERCENTAGE |
|-------------------------------|----------------------|--------------------------|
| BEDROOM (9.67m ²) | 770mm x 1630mm | 3.62% |
| KITCHEN (9.53m ²) | 1200mm x 790mm | 15.11% |
| | (1.4m ²) | |

EXISTING CEILING SCHEDULE

| | |
|------------------|--|
| EXISTING CEILING | 12.5mm GYPSUM WALLBOARD |
| | 15mm X 180mm FLOOR JOISTS @ 400mm O.C. |
| | 3.5mm CEACRE TILE FLOORING |

PROPOSED CEILING SCHEDULE FOR CLOSET/STAIR SPACE

| | |
|---------------------------|--|
| PROPOSED CEILING SCHEDULE | 12.5mm GYPSUM WALLBOARD |
| | 15mm X 180mm FLOOR JOISTS @ 400mm O.C. |
| | 3.5mm CEACRE TILE FLOORING |

PROPOSED WINDOW SCHEDULE

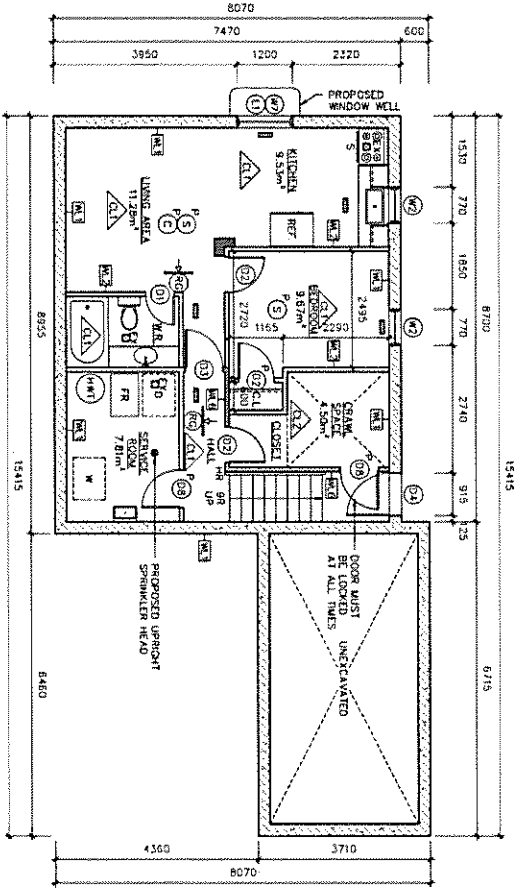
| NO. | TYPE | SIZE | QTY | REMARKS |
|-----|--------|-----------------|-----|---------|
| W7 | SLIDER | 1200mm x 1100mm | 1 | |

PROPOSED DOOR SCHEDULE

| NO. | TYPE | SIZE | QTY | REMARKS |
|-----|---------|----------------|-----|-------------------------------------|
| D8 | UNITARY | 810mm x 2030mm | 2 | 20 MIN. FIRE RATED WOOD SILL CLOSER |

PROPOSED WALL SCHEDULE

| NO. | DESCRIPTION | WOOD DESCRIPTION |
|-----|------------------------------------|------------------|
| W1 | 180mm x 1200mm x 2.40m x 180mm SPT | |



PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/100

NOTES FOR COMPLIANCE ALTERNATIVE:

SINCE THE DETAILING HAS BEEN IN EXISTENCE FOR MORE THAN 5 YEARS THE FOLLOWING DBC PART 11 COMPLIANCE ALTERNATIVES ARE PROPOSED:

CISION FOR HORIZONTAL FIRE SEPARATION:

IN EVERY DWELLING UNIT AND IN COMMON AREAS, ALL SERVICE AREAS SHALL BE SEPARATED FROM THE REST OF THE UNIT BY A MINIMUM 1.5 HOUR FIRE RATED WALL WITH 1.5 HOUR FIRE RATED DOORS. FIRE SEPARATION IS ACCEPTABLE.

CISION FOR VERTICAL FIRE SEPARATION:

1. SMOKE ALARMS ARE INSTALLED IN EVERY ROOM, BATHROOM AND SERVICE AREA AND CONNECTED TO THE SERVICE AREA AND BATHROOM ARE INTERCONNECTED.

2. SMOKE ALARMS ARE INTERCONNECTED TO THE SERVICE AREA AND BATHROOM ARE INTERCONNECTED.

3. WHERE SERVICE ROOMS ARE SPRINKLERED, THE FIRE RESISTANCE RATING OF THE VERTICAL FIRE SEPARATION IS WAIVED WHERE SPRINKLERED.

GENERAL NOTES:

1. A SMOKE DETECTOR SHALL BE INSTALLED IN THE AIR DUCT SYSTEM WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM.
2. CARBON MONOXIDE ALARMS MUST BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
3. INTERCONNECTED SMOKE ALARMS COMPARED TO SMOKE ALARMS THAT ARE NOT INTERCONNECTED, COMPARED THAT MEETS NFPA 72 SHALL BE INSTALLED IN CONFORMANCE WITH CAN/ULC-5531.
4. RANGE HOOD EXHAUST SHALL HAVE THROUGH DUCT TO OUTDOORS.
5. EXHAUST FAN IN WASHROOM SHALL HAVE WINDUP EXHAUST HOOD OR 50 GPM AND 1200mm DIA. ALL SUPPLY AND RETURN AIR COULDS IN HABITABLE SPACE SHALL BE PROVIDED WITH A GAP BEGATH, USING LATCHED DOORS, OR INSTALLING A RETURN DOOR NET FOR THE RETURN OF AIR FROM ALL ROOMS.
6. CONNECT WINDOW WELL DRAIN TO APPLIANCHION WAPPER WITH FILTER CLOTH. NOTE THAT IT SHOULD BE CONNECTED TO THE EXISTING WEEPIG AT GAPS IN BETWEEN BRIMMALS SHOULD BE FULLY COMPARTMENTED AND WHERE THERE IS WOOD EXPOSED IN THE CEILING NEAR THE WINDOW IT SHOULD BE COVERED WITH 12.5mm TYPE X GYPSUM WALLBOARD.

DESIGNED BY:

LAND & BUILDING EXPERTS

1515 The Forks, London, ON N1T 4G5
519-837-1111
www.landandbuilding.com

TITLE: PROPOSED BASEMENT FLOOR PLAN

PROJECT: ALTERATION TO AN EXISTING 2 STOREY SINGLE FAMILY DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

ADDRESS: 37 CHUMBLEIGH CRESCENT THORNHILL, ON L3T 4G5

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SCALE: 1/100

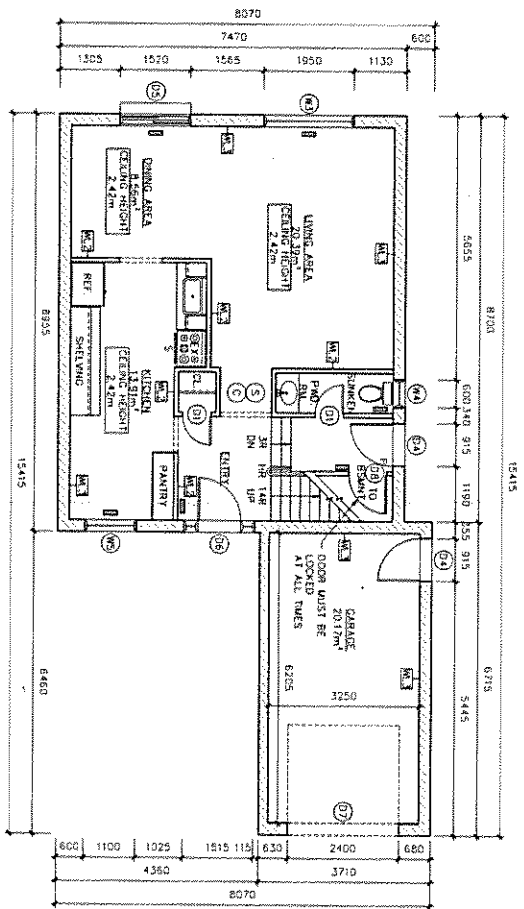
DATE: NOV 2018

DRAWN BY: P.A.

CHECKED BY: T.L.

A-5

- EXISTING ITEMS LEGEND
- REF. ROFRIGERATOR
 - CL. CLOSET
 - MR. HALLWAY
 - PR. POWDER ROOM
 - EX. EXHAUST FAN
 - STOVE
- ⑤ INTERCONNECTED SMOKE ALARM
 - ⑥ CARBON MONOXIDE ALARM
 - ⑦ RETIRED AIR REGISTER ON LOW WALL
 - ⑧ AIR SUPPLY REGISTER FLOOR MOUNTED



PROPOSED FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

| NO. | TYPE | SIZE | QTY | REMARKS |
|-----|--------|----------------|-----|---|
| 04 | URINAL | 810mm x 1200mm | 2 | 20 MIN. FLOOR CLEANING REQUIRED WITH SELF-CLOSERS |

NOTES FOR COMPLIANCE ALTERNATIVE:

SINCE THE DWELLING HAS BEEN IN EXISTENCE FOR MORE THAN 5 YEARS THE FOLLOWING ONE PART 11 COMPLIANCE ALTERNATIVES ARE PROPOSED:

①. CHIMNEY/ROOF HORIZONTAL FIRE SEPARATION.

②. INTERCONNECTED SMOKE ALARMS/RET. AIR REGISTER INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREA.

③. COMPLIANCE WITH OBC, 910.9.15.10.

④. COMPLIANCE WITH OBC, 910.9.15.10.

⑤. COMPLIANCE WITH OBC, 910.9.15.10.

- GENERAL NOTES:
- A SMOKE DETECTOR SHALL BE INSTALLED IN THE AIR SUPPLY SYSTEM WHICH WOULD DRAW OFF THE FUEL GAS FROM THE BURNER AND NOT THE EXHAUST SYSTEM UPON ACTIVATION OF SUCH ALARM.
 - CARBON MONOXIDE ALARMS MUST BE INSTALLED AS INTERCONNECTED SMOKE ALARMS CONFORMING TO CAN/ULC S531, EQUIPPED WITH A VISUAL SIGNAL COMPONENT THAT MEETS WITH 72 SHALL BE CONFORMED IN COMPLIANCE WITH CAN/ULC-S531.
 - DOORS SHALL BE CLOSED WITH 1 HR.
 - LOAD BEARING COMPONENTS SUCH AS BEAMS, STEEL JOISTS, WALLS, CEILING SHALL BE PROTECTED WITH 1 HR. FIRE RATED GYPSUM WALLBOARD.
 - EXHAUST FAN IN WASHROOM SHALL HAVE MINIMUM EXHAUST RATE OF 50 CFM AND WITH 125mm DIA. EXHAUST FAN IN BATHROOM SHALL HAVE MINIMUM EXHAUST RATE OF 50 CFM AND WITH 125mm DIA. EXHAUST FAN SHALL BE PROVIDED WITH A GAP BETWEEN DOOR AND EXHAUST HOOD OR INSTALLING A RETURN DOOR INLET FOR THE RETURN OF AIR FROM ALL ROOMS.

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REGISTERED PROFESSIONAL ENGINEER
E. LABRUE
10000278
ON/AL/11/11/18

TITLE: **PROPOSED FIRST FLOOR PLAN**

PROJECT: **ALTERATION TO AN EXISTING 2 STOREY SINGLE FAMILY DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT**

ADDRESS: **37 CHUMBLEIGH CRESCENT THORNHILL, ON L3T 4G5**

| No. | Date | Issued for |
|-----|------------|---------------|
| 1 | 11/28/2018 | CLIENT REVIEW |

DATE: NOV 2018

DRAWN BY: E.L.

CHECKED BY: E.L.

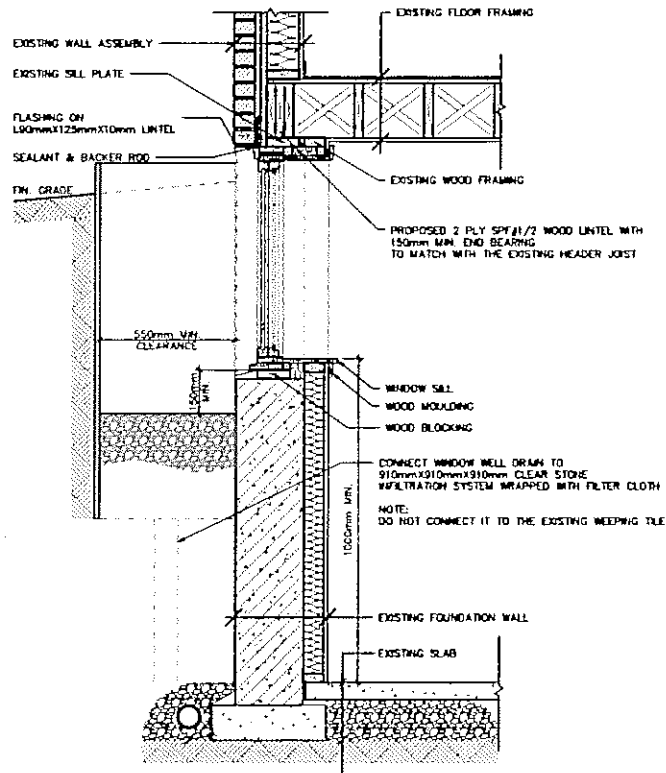
SCALE: 1/8" = 1'-0"

DATE: NOV 2018

DRAWN BY: E.L.

CHECKED BY: E.L.

A-6



1 WINDOW WELL DETAIL (TYP.)
SCALE: NOT TO SCALE

PREPARED BY:
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5111 Finch Ave. E., Toronto, ON M2S 0C7
417 540 8699 landbuilding@gmail.com



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| TITLE: | WINDOW WELL DETAIL (TYP.) |
| PROJECT: | ALTERATION TO AN EXISTING 2 STOREY SINGLE FAMILY DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT |
| ADDRESS: | 37 CHUMLEIGH CRESCENT THORNHILL, ON L3T 4G5 |

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| SCALE: NOT TO SCALE | DATE: NOV 2018 |
| DRAWN BY: P.A. | CHECKED BY: E.L. |
| | A-7 |

APPLICABLE PART 11 COMPLIANCE ALTERNATIVES FOR BASEMENT SEPARATION ALTERNATIVES

PART 11 COMPLIANCE ALTERNATIVES TO PART 6 REQUIREMENTS 6.2.4.7 RETURN-AIR SYSTEM

- (1) EXCEPT AS PROVIDED IN SENTENCE (14), RETURN-AIR FROM A DUCTING UNIT SHALL NOT BE RECONNECTED TO ANY OTHER DUCTING UNIT.
- (2) RETURN-AIR FROM A DUCTING UNIT SHALL NOT BE RECONNECTED TO ANY OTHER DUCTING UNIT.
- (3) RETURN-AIR FROM A DUCTING UNIT SHALL NOT BE RECONNECTED TO ANY OTHER DUCTING UNIT.
- (4) RETURN-AIR FROM A DUCTING UNIT SHALL NOT BE RECONNECTED TO ANY OTHER DUCTING UNIT.

PART 11 COMPLIANCE ALTERNATIVE C102 TO OBC §5.1.1

- (1) WINDOW ROOM HEIGHT SHALL NOT BE LESS THAN TWENTY OVER THE FINISHED FLOOR LEVEL AS MEASURED FROM THE FINISHED FLOOR LEVEL.
- (2) WINDOW ROOM HEIGHT SHALL NOT BE LESS THAN TWENTY OVER AT LEAST ONE OF THE RECORDED FLOOR AREAS PROVIDED THAT ANY PART OF THE WINDOW ROOM SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.

OBC 9.10.1.1 EGRESS WINDOWS OR DOORS FOR BEDROOMS

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (2) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (3) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (4) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.

OBC 9.10.1.2 EGRESS WINDOWS OR DOORS FOR BEDROOMS

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (2) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (3) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (4) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.

OBC 9.10.1.3 EGRESS WINDOWS OR DOORS FOR BEDROOMS

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (2) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (3) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (4) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.

OBC 9.10.1.4 EGRESS WINDOWS OR DOORS FOR BEDROOMS

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (2) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (3) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (4) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EGRESS WINDOWS OR DOORS FOR BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.

OBC 9.10.8.8 FLOORS OF EXTERIOR PASSAGEWAYS

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), THE FLOOR ASSEMBLY OF EXTERIOR PASSAGEWAYS USED AS PART OF A MEANS OF EGRESS SHALL HAVE A FIVE-MINUTE FIRE-RESISTANCE RATING OF NOT LESS THAN 45 MIN OR BE OF EQUIVALENT STRENGTH.
- (2) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), THE FLOOR ASSEMBLY OF EXTERIOR PASSAGEWAYS USED AS PART OF A MEANS OF EGRESS SHALL HAVE A FIVE-MINUTE FIRE-RESISTANCE RATING OF NOT LESS THAN 45 MIN OR BE OF EQUIVALENT STRENGTH.
- (3) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), THE FLOOR ASSEMBLY OF EXTERIOR PASSAGEWAYS USED AS PART OF A MEANS OF EGRESS SHALL HAVE A FIVE-MINUTE FIRE-RESISTANCE RATING OF NOT LESS THAN 45 MIN OR BE OF EQUIVALENT STRENGTH.

PART 11 COMPLIANCE ALTERNATIVE C147 TO THE ABOVE OBC 9.10.8.1, 9.10.8.3, 9.10.8.8

- (1) EXCEPT AS PROVIDED IN (8), 30 MIN RATING IS ACCEPTABLE.
- (2) EXCEPT AS PROVIDED IN (8), 30 MIN RATING IS ACCEPTABLE.
- (3) EXCEPT AS PROVIDED IN (8), 30 MIN RATING IS ACCEPTABLE.
- (4) EXCEPT AS PROVIDED IN (8), 30 MIN RATING IS ACCEPTABLE.

OBC 9.10.9.14 SEPARATION OF RESIDENTIAL SUITES

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (2) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (3) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (4) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.

OBC 9.10.9.15 SEPARATION OF PUBLIC CORRIDORS

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF PUBLIC CORRIDORS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (2) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF PUBLIC CORRIDORS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (3) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF PUBLIC CORRIDORS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (4) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF PUBLIC CORRIDORS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.

PART 11 COMPLIANCE ALTERNATIVE C152 TO THE ABOVE OBC 9.10.9.14(1) AND (3); 9.10.9.15(1)

- (1) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.
- (2) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.
- (3) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.
- (4) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.

OBC 9.10.10.3 SEPARATION OF SERVICE ROOMS

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF SERVICE ROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (2) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF SERVICE ROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (3) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF SERVICE ROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (4) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF SERVICE ROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.

PART 11 COMPLIANCE ALTERNATIVE C153 TO THE ABOVE OBC 9.10.10.3

- (1) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.
- (2) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.
- (3) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.
- (4) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.

OBC 9.10.5.1 PERMITTED OPENINGS IN WALL AND CEILING MEMBRANES

- (1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (4), A WEAPENED FORMING PART OF AN ASSEMBLY REQUIRED TO HAVE A FIVE-MINUTE FIRE-RESISTANCE RATING SHALL NOT BE PERMITTED TO HAVE PERFORATIONS EXCEPT AS PROVIDED IN SENTENCES (2) AND (4).
- (2) EXCEPT AS PROVIDED IN SENTENCES (2) AND (4), A WEAPENED FORMING PART OF AN ASSEMBLY REQUIRED TO HAVE A FIVE-MINUTE FIRE-RESISTANCE RATING SHALL NOT BE PERMITTED TO HAVE PERFORATIONS EXCEPT AS PROVIDED IN SENTENCES (2) AND (4).
- (3) EXCEPT AS PROVIDED IN SENTENCES (2) AND (4), A WEAPENED FORMING PART OF AN ASSEMBLY REQUIRED TO HAVE A FIVE-MINUTE FIRE-RESISTANCE RATING SHALL NOT BE PERMITTED TO HAVE PERFORATIONS EXCEPT AS PROVIDED IN SENTENCES (2) AND (4).
- (4) EXCEPT AS PROVIDED IN SENTENCES (2) AND (4), A WEAPENED FORMING PART OF AN ASSEMBLY REQUIRED TO HAVE A FIVE-MINUTE FIRE-RESISTANCE RATING SHALL NOT BE PERMITTED TO HAVE PERFORATIONS EXCEPT AS PROVIDED IN SENTENCES (2) AND (4).

OBC 9.10.13.4 FIRE STOP FLASHES

- (1) FIRE STOP FLASHES IN CEILING WEAPENED ROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (2) FIRE STOP FLASHES IN CEILING WEAPENED ROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (3) FIRE STOP FLASHES IN CEILING WEAPENED ROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
- (4) FIRE STOP FLASHES IN CEILING WEAPENED ROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.

PART 11 COMPLIANCE ALTERNATIVE C170 TO THE ABOVE OBC 9.10.13.4, 9.10.5.1

- (1) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.
- (2) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.
- (3) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.
- (4) EXCEPT AS PROVIDED IN (8), 30 MIN FIRE SEPARATION IS ACCEPTABLE.

GENERAL NOTES:

1. A SMOKE DETECTOR SHALL BE INSTALLED IN THE AIR DUCT SYSTEM WHICH SERVES THE ROOMS TO BE PROTECTED BY THE DETECTOR.
2. CARBON MONOXIDE ALARMS MUST BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
3. EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
4. EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
5. EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
6. EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
7. EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
8. EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
9. EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
10. EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.
11. EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), SEPARATION OF RESIDENTIAL SUITES SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT IS CONSIDERED IN COMPUTING THE RECORDED FLOOR AREA.

COMPLIANCE ALTERNATIVES AND GENERAL NOTES

| PROJECT: | TITLE: |
|--|--------|
| ALTERATION TO AN EXISTING 2 STOREY SINGLE FAMILY DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT | |
| 37 CHUNMUEIGH CRESCENT | |
| THORNHILL, ON L3T 4G5 | |



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