

## MEMORANDUM

**DATE:** July 9, 2018  
**TO:** Chairman and Members, Committee of Adjustment  
**FILE:** A/60/18  
**ADDRESS:** 28 Lavron Court, Markham  
**HEARING DATE:** July 11, 2018

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 90-81, as amended:

- a) **Section 6.2.1:**  
a secondary suite in the basement of an existing dwelling, whereas the By-law permits no more than one semi-detached dwelling on one lot;
- b) **Parking By-law 28-97, Table A:**  
a minimum of 2 parking spaces, whereas the By-law requires a minimum of 3 parking spaces;

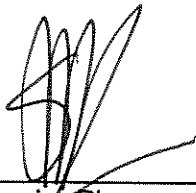
Planning Staff recommends that the application is deferred sine die to provide additional time for the applicant to confirm variances required.

PREPARED BY:

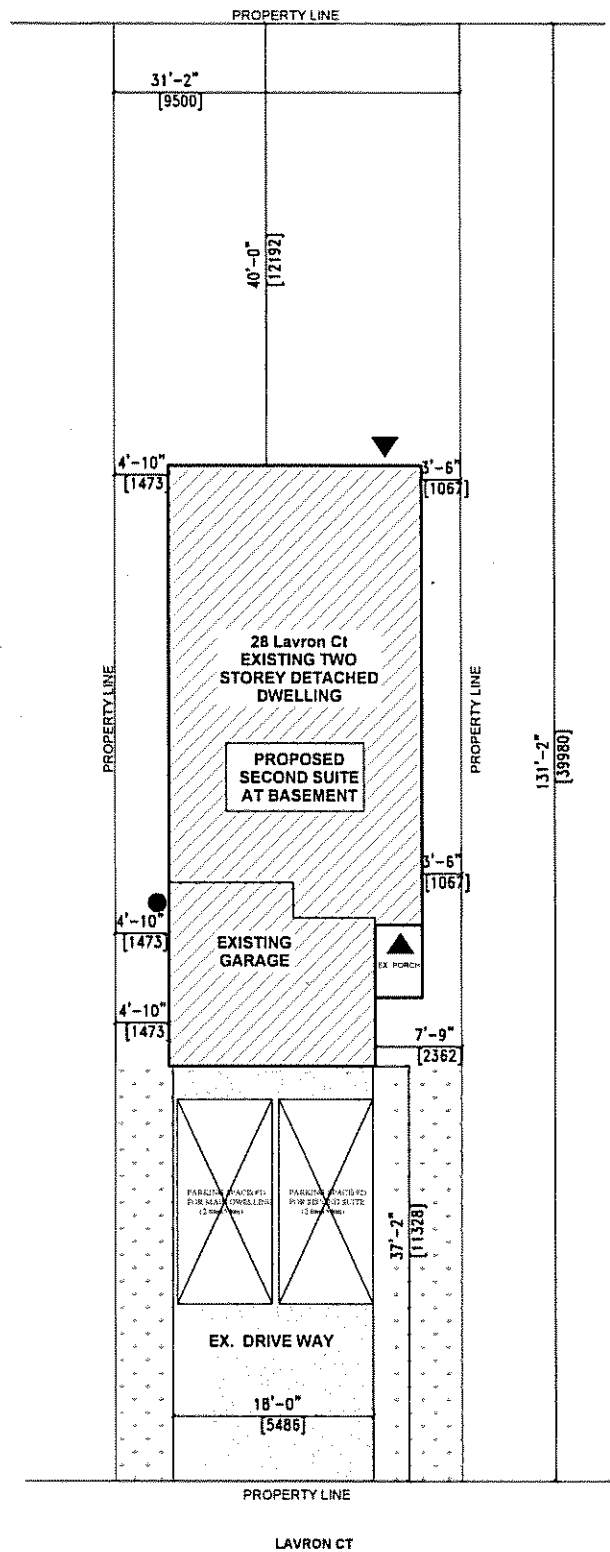


Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



Stacia Muradali, Senior Planner, East District



FRONT YARD SOFT LANDSCAPING

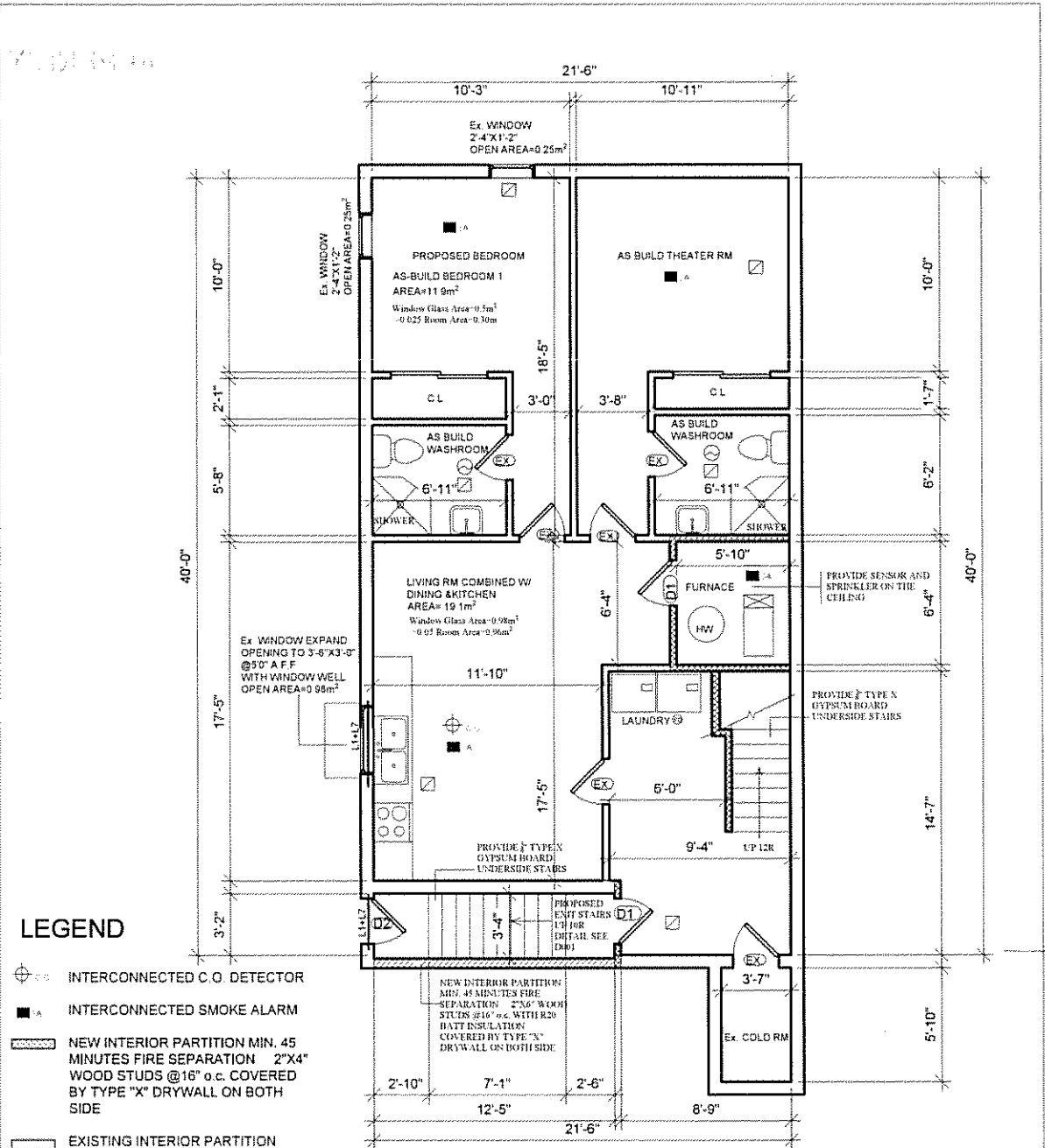


ENTRANCE OF MAIN DWELLING UNIT



ENTRANCE OF SECOND SUITE

[illegible]



**EXISTING BASEMENT FLOOR PLAN (SECOND SUITE)**  
SCALE 3/16"=1'-0"

**LINTEL SCHEDULE**

|     |                  |                            |
|-----|------------------|----------------------------|
| L1  | 2 - 38 x 184     | (2 - 2 x 8) SPF NO.1/NO.2  |
| L2  | 3 - 38 x 184     | (3 - 2 x 8) SPF NO.1/NO.2  |
| L3  | 2 - 38 x 235     | (2 - 2 x 10) SPF NO.1/NO.2 |
| L4  | 3 - 38 x 235     | (3 - 2 x 10) SPF NO.1/NO.2 |
| L5  | 2 - 38 x 286     | (2 - 2 x 12) SPF NO.1/NO.2 |
| L6  | 3 - 38 x 286     | (3 - 2 x 12) SPF NO.1/NO.2 |
| L7  | 90 x 90 x 6.0    | (3 1/2 x 3 1/2 x 1/4 L)    |
| L8  | 90 x 90 x 8.0    | (3 1/2 x 3 1/2 x 5/16 L)   |
| L9  | 100 x 90 x 6.0   | (4 x 3 1/2 x 1/4 L)        |
| L10 | 125 x 90 x 8.0   | (5 x 3 1/2 x 5/16 L)       |
| L11 | 125 x 90 x 10.0  | (5 x 3 1/2 x 3/8 L)        |
| L12 | 150 x 100 x 10.0 | (6 x 4 x 3/8 L)            |

NOTE:  
EXISTING FURNACE SERVE BOTH UNITS. A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.

STAIR INTERIOR/EXTERIOR

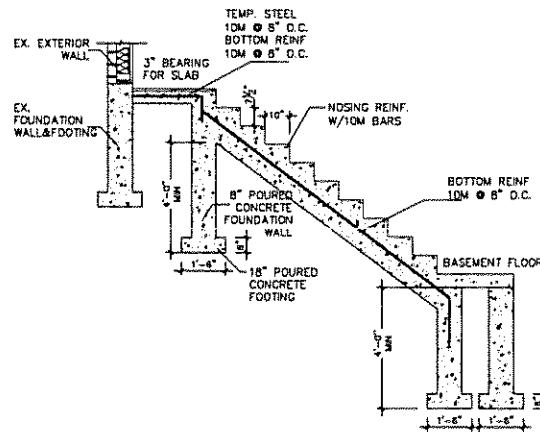
|                  |         |
|------------------|---------|
| MAXIMUM RISE     | = 7.8"  |
| MINIMUM RISE     | = 5"    |
| MAXIMUM RUN      | = 14"   |
| MINIMUM RUN      | = 6.25" |
| MAXIMUM TREAD    | = 14"   |
| MINIMUM TREAD    | = 9.4"  |
| MAXIMUM NOSING   | = 1"    |
| MINIMUM WIDTH    | = 34"   |
| MINIMUM HEADROOM | = 6'-6" |

|  |             |            |                                                                                                                                                                                                                            |                                                 |
|--|-------------|------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------|
|  | DATE        | 2014.04.28 | ORIGINAL TITLE<br><b>EXISTING BASEMENT FLOOR PLAN (SECOND SUITE)</b><br>FLOOR/ST<br><b>SECOND SUITE (BASEMENT)</b><br>PROJECT ADDRESS<br>25 Lawton Ct. Markham, ON L3R 2P8<br>DRAWING BY<br>DATE<br>SCALE<br>3/16" = 1'-0" | DRAWING NO.<br><b>A001</b><br>PROJECT NO. 14-01 |
|  | DESCRIPTION |            |                                                                                                                                                                                                                            |                                                 |
|  | REVISIONS   |            |                                                                                                                                                                                                                            |                                                 |
|  | DATE        |            |                                                                                                                                                                                                                            |                                                 |









**EXIT STAIRS DETAIL**  
SCALE 1/4" 1'-0"

#### STRUCTURAL NOTES:

##### Foundations

1. Footings shall be placed on undisturbed soil capable of supporting an allowable bearing pressure of 3133 psf at SLS and 4178 psf at ULS
2. Prior to placing footings, bearing capacity of each footing must be confirmed in written reports by soil engineer.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
1. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. maximum step shall be 2'-0".
2. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
3. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.
4. The elevator pit and wall size should be coordinated with elevator manufacture.

##### Concrete specification

1. The ultimate 28 days compressive strength of concrete shall be 25.0 MPA unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs, retaining walls, etc.) shall be 32 MPA with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPA.
5. Welded wire mesh shall conform to CSA G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
7. Only ready mix concrete is permitted on this job. the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curing as shown on the drawings in accordance with CSA A23 and CSA G 30.
9. Non-shrink, non-metallic grout shall be used by Sika Canada inc. or an approved equal.

|  |                |      |             |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                |                                                          |
|--|----------------|------|-------------|-----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|
|  | DESIGNER STAMP | Date | Description | No. | THIS CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL FOUNDATION AND CONSTRUCTION CHANGES AND SELECT THE MOST APPROPRIATE OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.<br><br>THE FOUNDATION IS NOT TO BE NEEDED.<br><br>CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF ALL APPLICABLE REGULATIONS.<br><br>THE CONTRACTOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THE SUPPLIED INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THE SUPPLIED INFORMATION.<br><br>THE FOUNDATION IS AN INSTRUMENT OF SERVICE AND IS PROVIDED BY AND FOR THE PROTECTION OF THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE CLIENT. | DRAWING TITLE<br><b>DETAILS</b><br><br>PROJECT<br>SECOND SUITE (BASEMENT)<br><br>PROJECT ADDRESS<br>29 Leppan Ct, Markham, ON L3S 2H8<br><br>DRAWING BY<br><br>DATE<br>2018.04.18<br><br>SCALE<br>1/4" = 1'-0" | DRAWING NO.<br><b>D001</b><br><br>PROJECT NUMBER<br><br> |
|  |                |      |             |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                |                                                          |