

Memorandum to the City of Markham Committee of Adjustment

August 28, 2018

File: A/62/18
Address: 12 Savannah Crescent, Markham
Applicant: Mauro & Laura DiLucia
Agent: Mauro DiLucia
Hearing Date: Wednesday September 12, 2018

The following comments are provided on behalf of the East Team. The applicant is requesting relief from the following requirements of By-law 1229, as amended:

a) Section 10.1:

enlargement or extension of an existing non-conforming structure in an Open Space (O) zone; as it relates to a proposed new roof as well as an addition and new deck at the rear of an existing one-storey dwelling.

BACKGROUND

The 5,064.92 m² (54,518.34 ft²) subject property is located on the north side of Savannah Crescent, east of Main Street Markham, north of Highway 7. There is currently a one-storey detached 508.45 m² (5,473 ft²) dwelling with a deck, detached garage and coach house on the property which, according to assessment records were constructed in 1959. Mature vegetation exists across the front and rear of the property. The applicant is proposing a new roof, an addition to the rear of the dwelling, and the addition of a rear yard deck. Staff note that the Open Space (O) Zone goes through the existing dwelling and as such any enlargements or extensions of structures are non-conforming. The Toronto Region Conservation Authority (TRCA) reviewed the application and have no concerns.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, *"existing building falls in open space zone, personal requirement to enlarge deck space and take advantage of property reviews by remodeling rear of home"*.

Zoning Preliminary Review (ZPR) Undertaken

The applicant has completed a Zoning Preliminary Review (ZPR) to confirm the variances required for the proposed development.

PUBLIC INPUT SUMMARY

No written submissions were received as of August 28, 2018. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

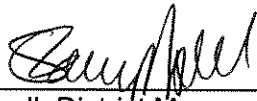
Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



Sally Campbell, District Manager, East District

File Path: Amanda\File\ 18 232637 \Documents\District Team Comments Memo

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/62/18

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and dated *May 14, 2018* and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations;
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations;

CONDITIONS PREPARED BY:


Aqsa Malik, Planner, Zoning and Special Projects

[illegible]

LEGEND

NEW DOOR

EXIST. DOOR

12" OAD BEARING WALLS TO BE DEMOLISHED

LOAD AREA

EXISTING CONC. BLOCK WALL

PORT. LOAD (COLUMN POST ABOVE)

CA

501

50

CMD

IF

12" OAD BEARING WALLS TO BE DEMOLISHED

LOAD AREA

EXISTING CONC. BLOCK WALL

PORT. LOAD (COLUMN POST ABOVE)

CA

501

50

CMD

IF

NOTES:

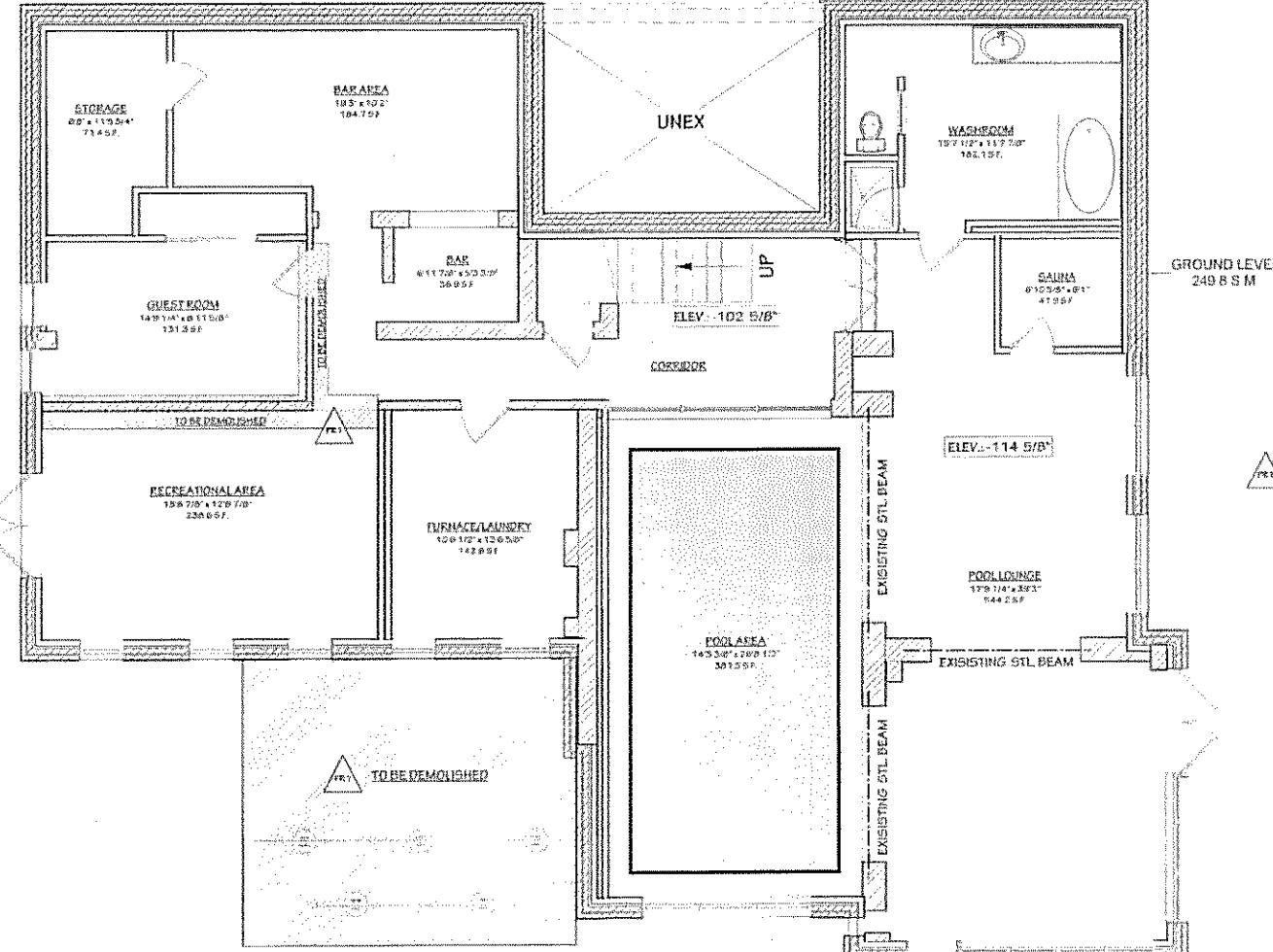
1. LOADS USED IN THE DESIGN:
LIVE LOAD: 1.0 kPa (40 psf)
DEAD LOADS: 1.1 kPa (23 psf)
UNLESS OTHERWISE SPECIFIED

2. PROVIDE MATCHING NUMBER OF STUDS BELOW ALL BUILT UP SAWN LUMBER BEAMS CONTINUOUS DOWN TO FDN. WALL AND BLOCK SOLID AT FLOOR PLANES.

3. PROVIDE MATCHING NUMBER OF STUDS PLUS ONE BELOW ALL BUILT UP ENGINEERED LUMBER BEAMS CONTINUOUS DOWN TO FDN. WALL AND BLOCK SOLID AT FLOOR PLANES.

4. PROVIDE SIMPSON STRONG-TIE FACE MOUNT HANGERS OR APPROVED EQUIVALENT FOR ALL JOIST-TO-BEAM AND BEAM-TO-BEAM CONNECTIONS UNLESS NOTED OTHERWISE.

5. WHERE JOISTS RUN PARALLEL TO BEARING WALLS, PROVIDE BLOCKING BETWEEN JOIST AND FIRST JOIST TO MATCH JOIST SPACING



1 EXISTING/ DEMO BASEMENT
Scale: 1:75

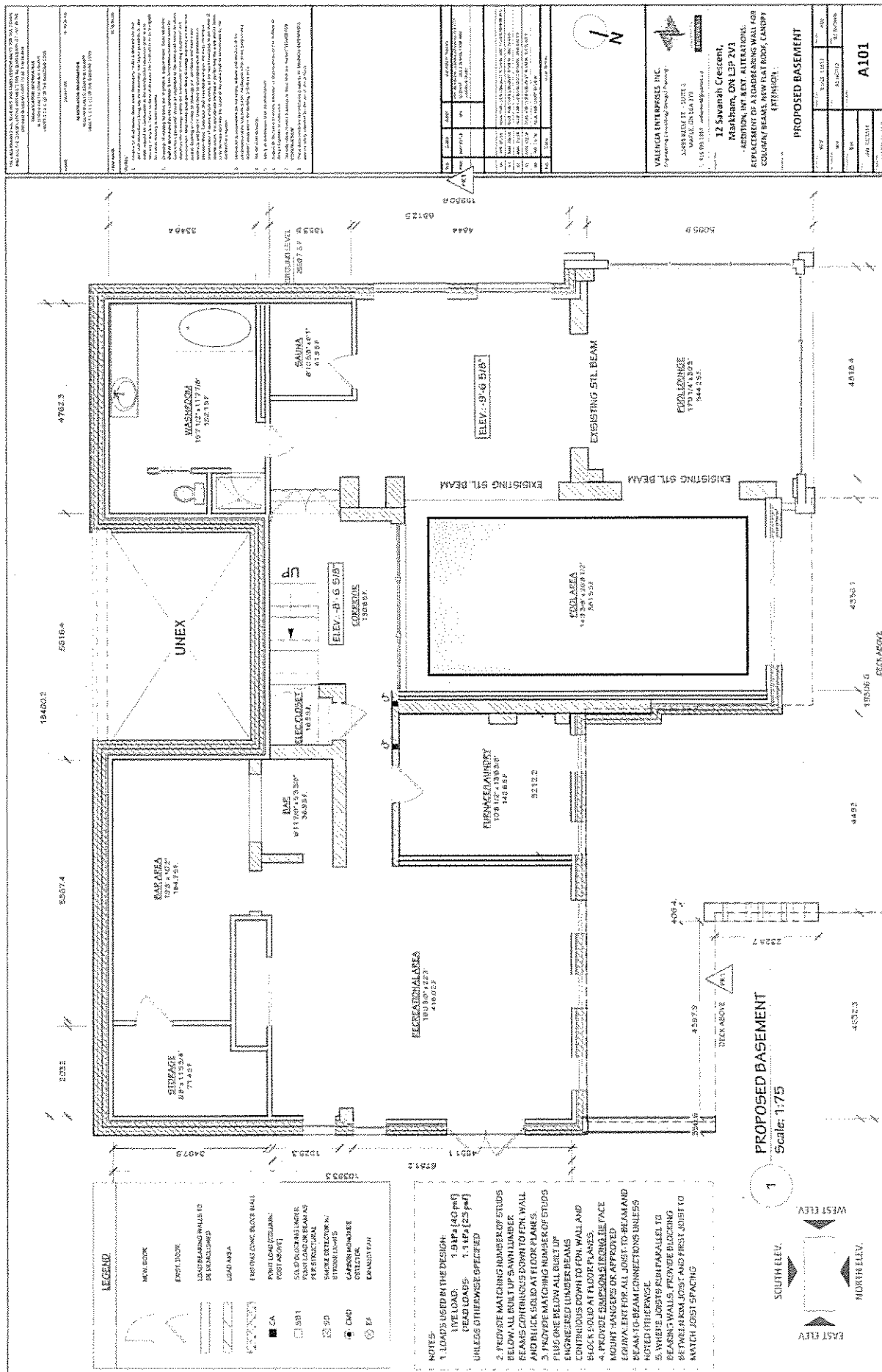
VALERIE ENTERPRISES INC.
Engineering Consulting & Design (Ontario)

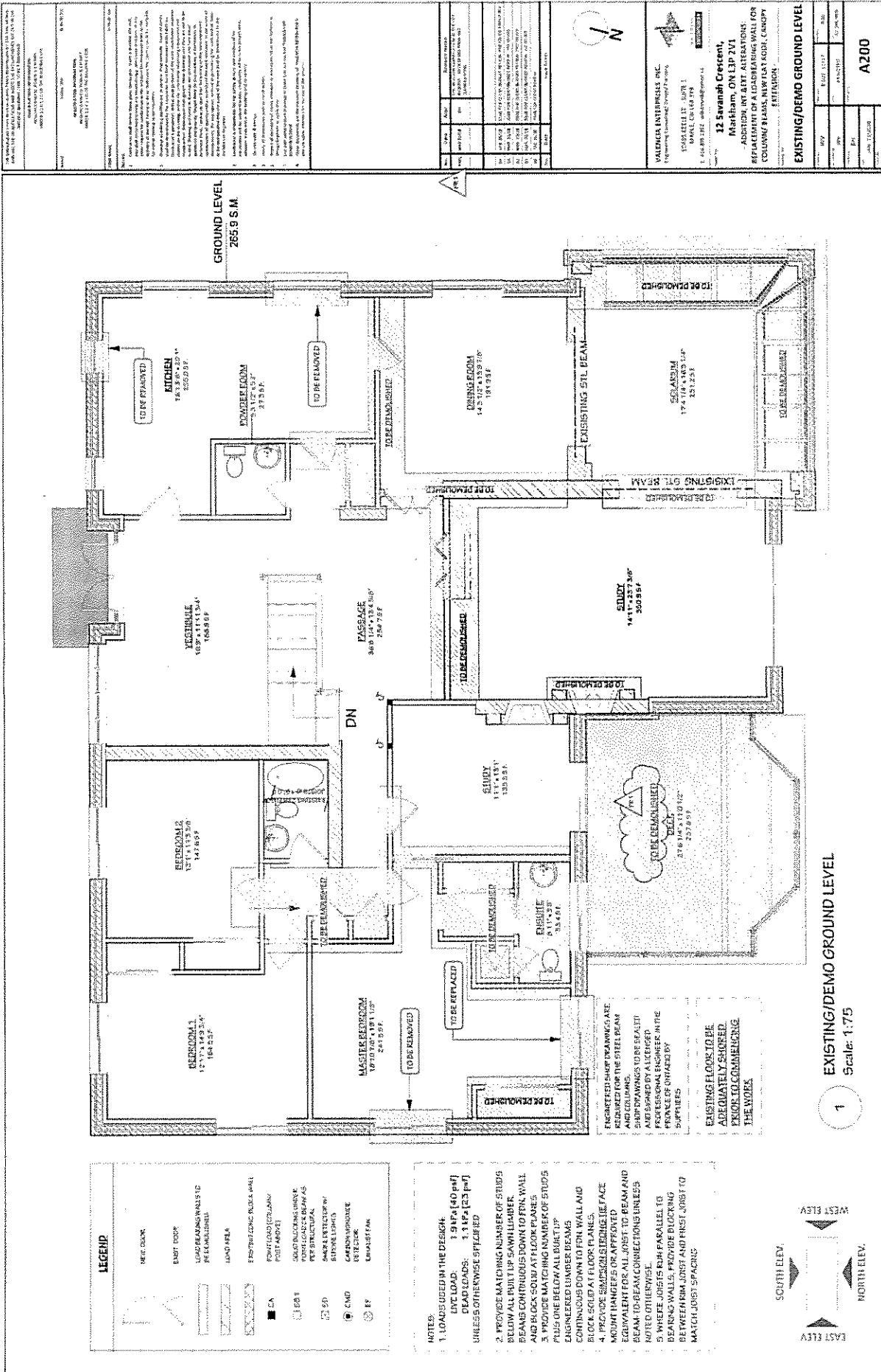
12 Savanah Crescent,
Markham, ON L3P 2V1

ADDITION, INT & EXT. ALTERATIONS:
REPLACEMENT OF A LOAD-BEARING WALL FOR
COLUMNS/ BEAMS, NEW FLAT ROOF, LAUNDRY
EXTENSION

EXISTING/ DEMO BASEMENT

A100





1. This drawing is a 3D perspective view of the proposed building. It is not a final design and is subject to change without notice. The owner acknowledges that the architect is not responsible for the accuracy of the information provided by the owner or third parties.

2. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

3. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

4. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

5. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

6. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

7. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

8. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

9. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

10. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

11. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

12. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

13. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

14. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

15. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

16. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

17. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

18. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

19. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

20. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

1. This drawing is a 3D perspective view of the proposed building. It is not a final design and is subject to change without notice. The owner acknowledges that the architect is not responsible for the accuracy of the information provided by the owner or third parties.

2. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

3. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

4. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

5. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

6. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

7. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

8. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

9. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

10. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

11. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

12. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

13. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

14. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

15. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

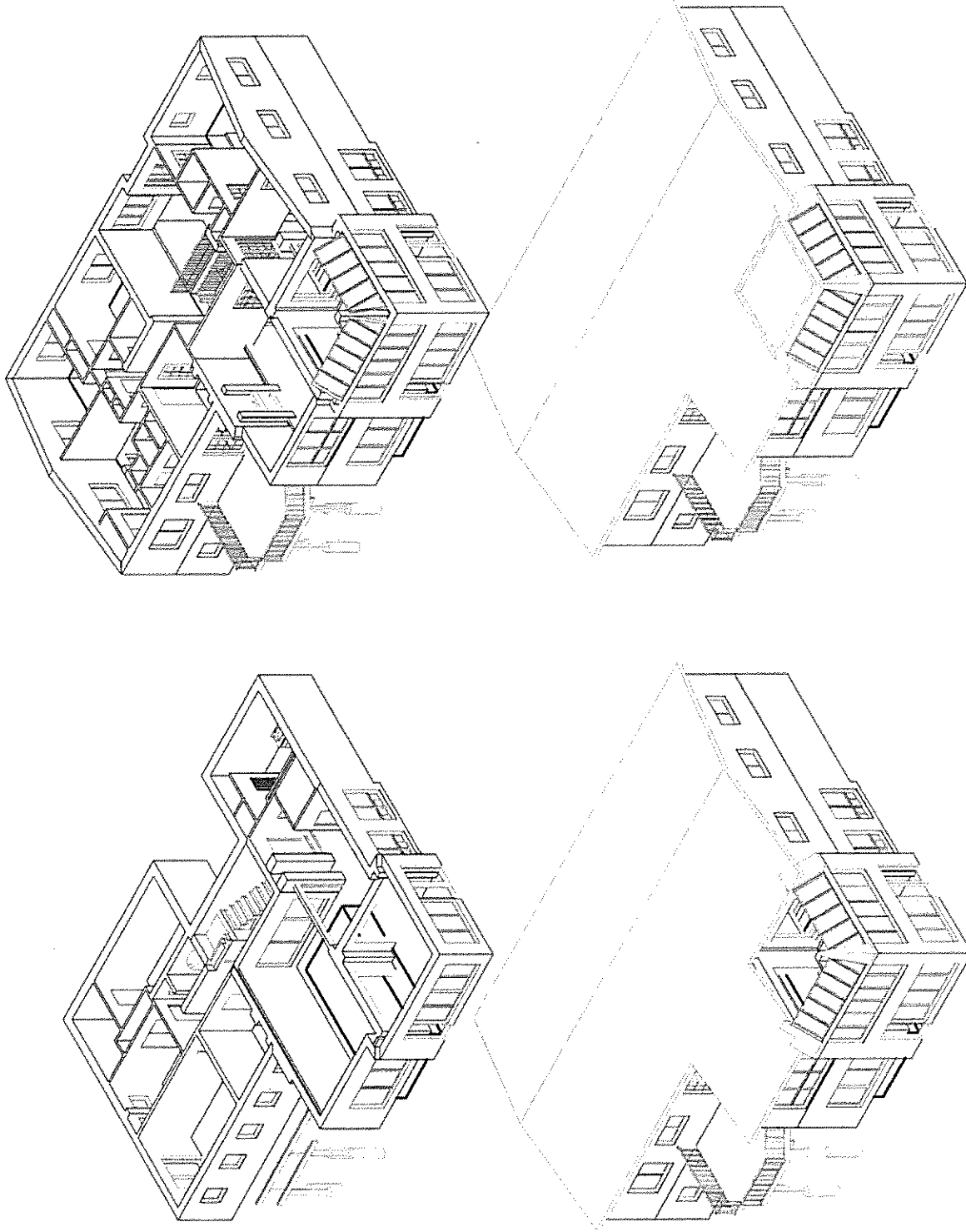
16. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

17. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

18. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

19. The architect is not responsible for the accuracy of the information provided by the owner or third parties.

20. The architect is not responsible for the accuracy of the information provided by the owner or third parties.



Valencia Interiors Inc. is a registered professional corporation under the laws of the State of Maryland. It is not a public company. The information contained herein is confidential and proprietary. It is to be used only for the project and for the client's use. It is not to be distributed, copied, or otherwise used without the written consent of Valencia Interiors Inc.

Valencia Interiors Inc. is a registered professional corporation under the laws of the State of Maryland. It is not a public company. The information contained herein is confidential and proprietary. It is to be used only for the project and for the client's use. It is not to be distributed, copied, or otherwise used without the written consent of Valencia Interiors Inc.

Valencia Interiors Inc. is a registered professional corporation under the laws of the State of Maryland. It is not a public company. The information contained herein is confidential and proprietary. It is to be used only for the project and for the client's use. It is not to be distributed, copied, or otherwise used without the written consent of Valencia Interiors Inc.

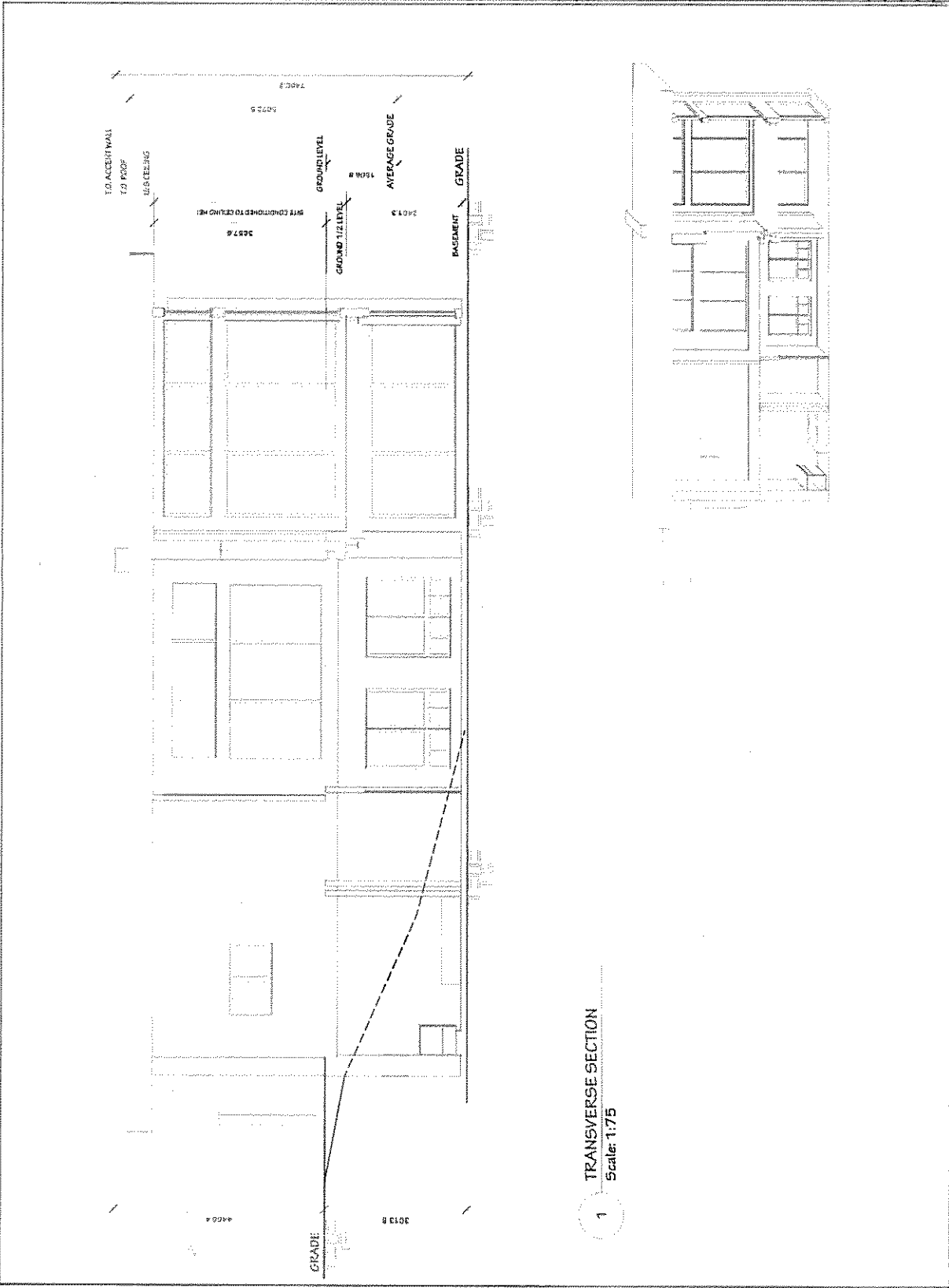
Valencia Interiors Inc.
 12 Savannah Crescent,
 Markham, ON L3P 2V3
 ADDITIONAL INTERIOR ALTERATIONS
 REPLACEMENT OF A LOAD-BEARING WALL FOR
 COLUMNS BEARING NEW FLAT ROOF, CANOPY
 EXTENSION

12 Savannah Crescent,
 Markham, ON L3P 2V3
 ADDITIONAL INTERIOR ALTERATIONS
 REPLACEMENT OF A LOAD-BEARING WALL FOR
 COLUMNS BEARING NEW FLAT ROOF, CANOPY
 EXTENSION

TRANSVERSE SECTION

12 Savannah Crescent,
 Markham, ON L3P 2V3
 ADDITIONAL INTERIOR ALTERATIONS
 REPLACEMENT OF A LOAD-BEARING WALL FOR
 COLUMNS BEARING NEW FLAT ROOF, CANOPY
 EXTENSION

Valencia Interiors Inc.
 12 Savannah Crescent,
 Markham, ON L3P 2V3
 ADDITIONAL INTERIOR ALTERATIONS
 REPLACEMENT OF A LOAD-BEARING WALL FOR
 COLUMNS BEARING NEW FLAT ROOF, CANOPY
 EXTENSION



1. WEST ELEVATION
Scale: 1:100

2. EAST ELEVATION
Scale: 1:100

1. WEST ELEVATION
Scale: 1:100

2. EAST ELEVATION
Scale: 1:100

1. WEST ELEVATION
Scale: 1:100

2. EAST ELEVATION
Scale: 1:100

1. WEST ELEVATION
Scale: 1:100

2. EAST ELEVATION
Scale: 1:100

1. WEST ELEVATION
Scale: 1:100

2. EAST ELEVATION
Scale: 1:100

1. WEST ELEVATION
Scale: 1:100

2. EAST ELEVATION
Scale: 1:100

1. WEST ELEVATION
Scale: 1:100

2. EAST ELEVATION
Scale: 1:100

1. WEST ELEVATION
Scale: 1:100

2. EAST ELEVATION
Scale: 1:100

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND THE 2015 INTERNATIONAL PLUMBING AND MECHANICAL CODE (UPMPC).

2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

6. THE CONTRACTOR SHALL MAINTAIN A SAFE WORK SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ANY DAMAGE TO ADJACENT PROPERTIES.

8. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK SITE AT ALL TIMES.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL DEBRIS AND WASTE.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORHOODS AND THE ENVIRONMENT.

VALERIE ENTERPRISES INC.
11250 S. 112th St. Suite 100
Maple Grove, MN 55129
763.444.1111
www.valerieenterprises.com

11250 S. 112th St. Suite 100
Maple Grove, MN 55129
763.444.1111
www.valerieenterprises.com

11250 S. 112th St. Suite 100
Maple Grove, MN 55129
763.444.1111
www.valerieenterprises.com

PROPOSED WEST & EAST ELEVATIONS

Scale: 1/8" = 1'-0"

DATE: 10/1/2023

BY: [Signature]

CHECKED: [Signature]

APPROVED: [Signature]

PROJECT: 11250 S. 112th St. Suite 100
Maple Grove, MN 55129
763.444.1111
www.valerieenterprises.com

