

# Memorandum to the City of Markham Committee of Adjustment

June 19, 2018

**File:** A/64/18  
**Address:** 17 Chiavatti Dr, Markham  
**Applicant:** Deepka & Brij Sharma  
**Agent:** Brij Sharma  
**Hearing Date:** Wednesday June 27, 2018

The following comments are provided on behalf of the Central Team:

The applicant is requesting relief from the following requirements of By-law 193-81, as amended:

**a) Section 6.1c:**

a maximum lot coverage of 35.72 percent, whereas the Bylaw permits a maximum lot coverage of 25 percent; as it relates to an addition to an existing residential dwelling.

The Committee of Adjustment deferred the application on June 13, 2018 due to concerns about the size of the proposed development. In response to the Committee of Adjustment's comments the applicant submitted revised plans on June 19, 2018 showing a reduction in lot coverage from 39.9 percent to 35.72 percent. Notwithstanding this, Staff's comments remain pertinent.

## **PUBLIC INPUT SUMMARY**

No written submissions were received as of June 19, 2018. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

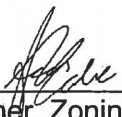
## **CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application

PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:




Richard Kendall, Development Manager, Central District  
File Path: Amanda\File\ 18 232695 \Documents\District Team Comments Memo

## APPENDIX "A"

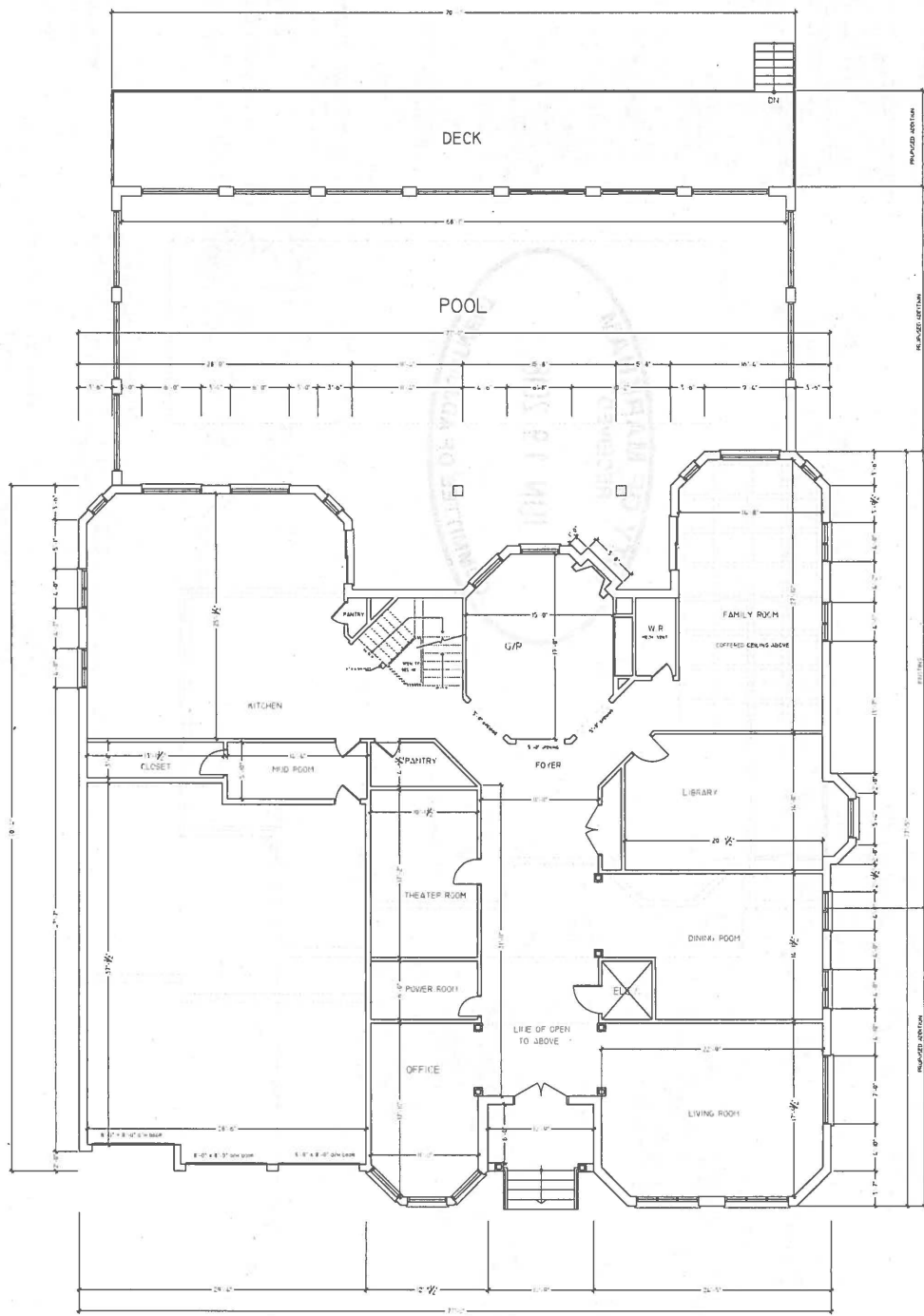
### CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/64/18

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on *June 19, 2018* and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Director of Planning and Urban Design or their designate;
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design or designate;
6. Submission of a detailed Siting, Lot Grading and Servicing Plan designed and stamped by a Professional Engineer/Ontario Land Surveyor/Landscape Architect satisfactory to the Director of Engineering, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Engineering or designate.

CONDITIONS PREPARED BY:

  
Aqsa Malik, Planner, Zoning and Special Projects





FIRST FLOOR PLAN

NOTE:  
LOT AREA : 19058 SQFT  
LOT AREA : 769.5 SQM

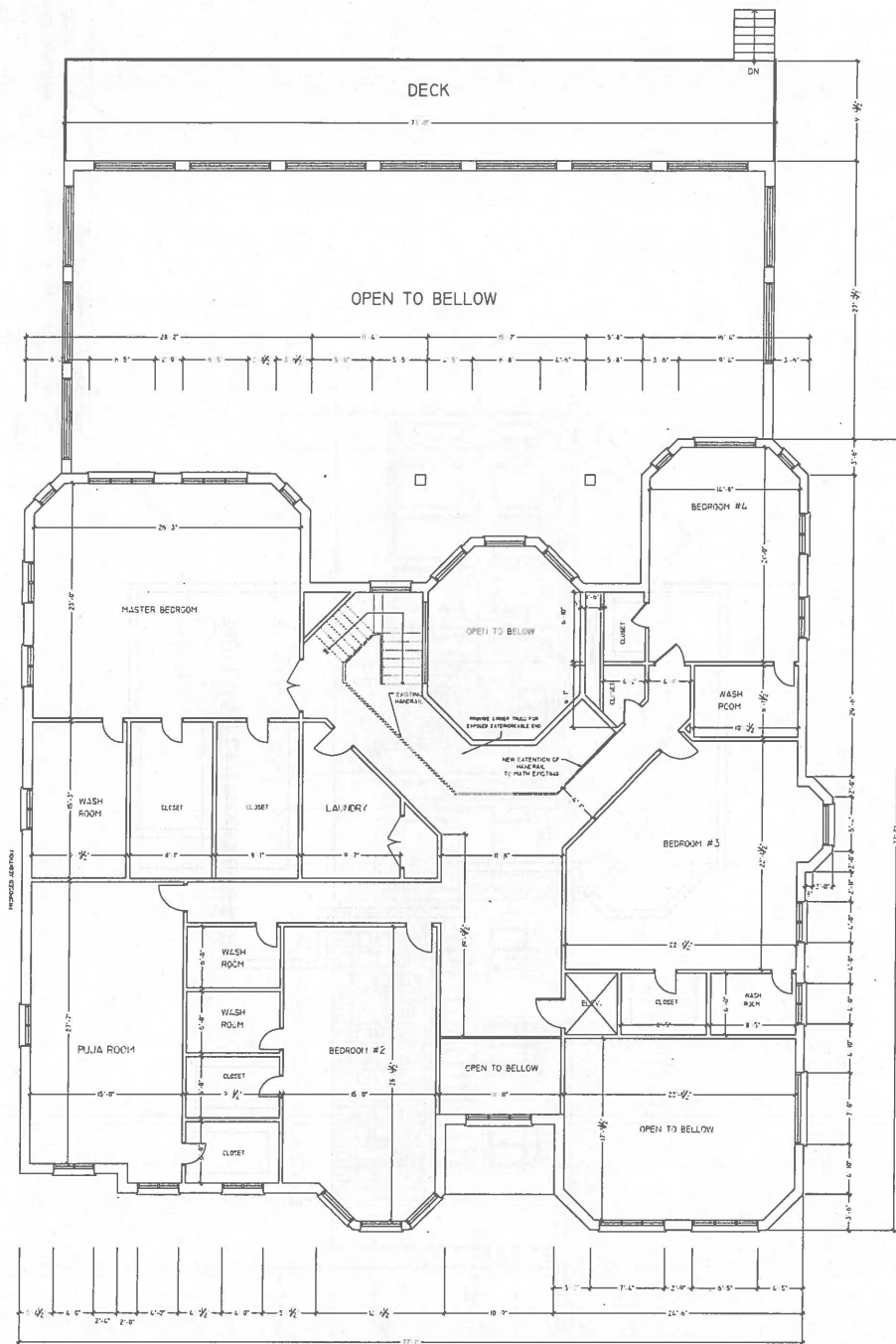
NOTE:  
BUILDING AREA : 700.00 SQFT  
BUILDING COVERAGE : 39.9%

**BATTAGLIA ARCHITECT INC.**  
8888 Keele St. Unit B, Vaughan, ON L4K 2N2  
TEL: (905) 508-2168 - FAX: (416) 848-7967  
battaglia.arch@gmail.com

**PROJECT:**  
  
**2 STOREY HOUSE ADDITION**  
**17 CHIAVATTI DR.,**  
**MARKHAM, ON**

**FIRST FLOOR PLAN**

**PROJECT NO:**  
**DATE:** JUNE 05, 2018  
**DRAWING NO:**  
**A1**



SECOND FLOOR PLAN

NOTE  
LOT AREA - 10258 SQFT  
LOT AREA - 1769.5 SQM

NOTE  
BUILDING AREA - 705.06 SQFT  
BUILDING COVERAGE - 39.9%

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PROJECT:

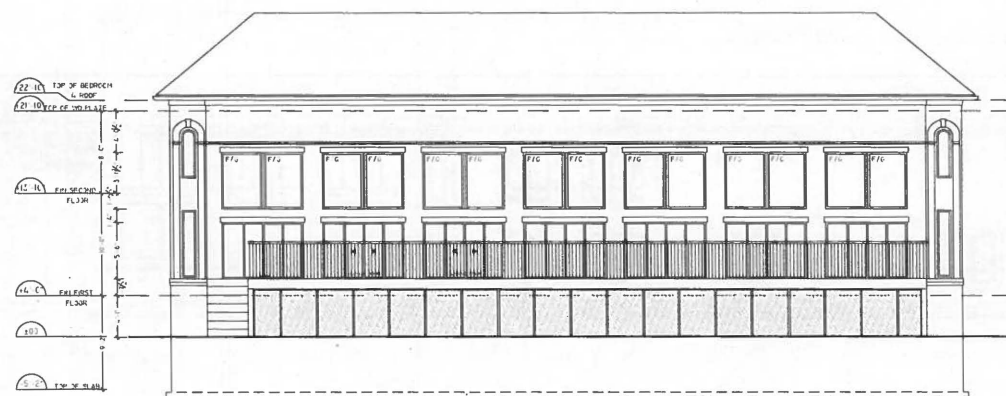
2 STOREY HOUSE ADDITION  
17 CHIAVATTI DR.,  
MARKHAM, ON

NO.	Revision	Date
01	SECOND FLOOR PLAN	
SCALE:	PROJECT NO:	
	DRAWN BY: MSK	
	DATE: JUNE 05, 2018	
	DRAWING NO:	A2



FRONT (NORTH) ELEVATION

<b>BATTAGLIA ARCHITECT INC.</b> 8888 Keele St. unit 8, Vaughan, ON L4K 2N2 TEL: (905) 588-2168 ~ FAX: (416) 848-7967 battaglia.arch@gmail.com		NO. _____ Revision: _____ Date: _____ PWS: <b>NORTH ELEVATION</b>
PROJECT:  <b>2 STOREY HOUSE ADDITION</b> <b>17 CHIAVATTI DR.,</b> <b>MARKHAM, ON</b>	SCALE: _____	PROJECT NO:  DRAWN BY: <b>MSK</b> DATE: <b>JUNE 08, 2018</b> DRAWING NO: <b>A3</b>



BACK(SOUTH) ELEVATION

<b>BATTAGLIA ARCHITECT INC.</b> 8888 Keele St. unit 8, Vaughan, ON L4K 2N2 TEL: (905) 508-2168 - FAX: (416) 848-7967 battaglia.arch@gmail.com		NO. _____ DWG. _____ <b>SOUTH ELEVATION</b>	
PROJECT:  <b>2 STOREY HOUSE ADDITION          17 CHIAVATTI DR.,          MARKHAM, ON</b>	SCALE: _____	PROJECT NO: _____ DRAWN BY: <b>MSK</b>	
		DATE: <b>JUNE 05, 2018</b>	
		DRAWING NO: <b>A4</b>	





EAST ELEVATION

<b>BATTAGLIA ARCHITECT INC.</b> 8888 Keele St. Unit B, Vaughan, ON L4K 2N2 TEL: (905) 508-2168 - FAX: (416) 848-7967 battaglia.arch@gmail.com	Revision:    Date:    By: <b>EAST ELEVATION</b>
<b>PROJECT:</b>  2 STOREY HOUSE ADDITION 17 CHIAVATTI DR., MARKHAM, ON	SCALE:    PROJECT NO: DRAWN BY: MSK DATE: JUNE 08, 2018 DRAWING NO: <b>A5</b>



WEST ELEVATION

<b>BATTAGLIA ARCHITECT INC.</b> 8888 Keele St. Unit 8, Vaughan, ON L4K 2N2 TEL: (905) 508-2168 ~ FAX: (416) 848-7967 battaglia.arch@gmail.com	Revision:    Date:	
	<b>WEST ELEVATION</b>	
<b>PROJECT:</b>  2 STOREY HOUSE ADDITION 17 CHIAVATTI DR., MARKHAM, ON	<b>PROJECT NO.:</b> MSK	
	<b>DATE:</b> JUNE 08, 2018	
	<b>DRAWING NO.:</b> <b>A6</b>	