Memorandum to the City of Markham Committee of Adjustment July 11, 2018

File:	A/66/18
Address:	30 Sir Brandiles Place, Markham
Applicant:	John Nassr
Agent:	John Nassr
Hearing Date:	Wednesday July 11, 2018

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 1229, as amended:

a) Infill By-law 99-90, Section 1.2 (vi):

a maximum floor area ratio of 50.4 percent, whereas the By-law permits a maximum floor area ratio of 45 percent; as it relates to a proposed two storey single detached dwelling.

BACKGROUND

Property Description

The 612.94 m² (6597.63 ft²) subject property is located on the west side of Sir Brandiles Place, north of Church Street, west of 9th Line. The property is located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. There is limited other new infill development along the street signalling that this neighbourhood is not under transition. There is an existing two-storey detached 178.84 m² (1925 ft²) dwelling on the property, which according to assessment records was constructed in 1972. Mature vegetation exists across the property.

Proposal

The applicant is proposing to construct a new two-storey detached 308.97 m² (3325.80 ft²) four bedroom dwelling with an unfinished basement. The proposal also includes a unique carport design with slender steel columns (See Appendix B).

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18

The subject property is designated "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings. In considering applications for development approval in a 'Residential Low Rise' area, which includes variances, infill development is required to meet the general intent of Section 8.2.3.5 of the 2014 Official Plan with respect to height, massing and setbacks to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new lots within a residential neighbourhood. Planning staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

Zoning By-Law 1229

The subject property is zones R1 'Residential' under By-law 1229, as amended, which permits a single detached dwelling.

Residential Infill Zoning By-law 99-90

The subject property is also subject to the Residential Infill Zoning By-law 99-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to Floor Area Ratio.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, *"exceed floor space coverage".*

Zoning Preliminary Review Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. Consequently, it is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variances in the application contains errors, or if the need for additional variances are identified during the Building Permit review process, further variance application(s) may be required to address the outstanding matters and there will be a delay in application processing.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Floor Area Ratio

The applicant is requesting relief to permit a floor area ratio of 50.4 percent, whereas the By-law permits a maximum floor area ratio of 45 percent. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 308.97 m^2 (3325.80 ft^2), whereas the By-law permits a dwelling with a maximum floor area of 275.97 m^2 (2969.46ft^2). This represents an increase of approximately 33.11 m^2 (356.34 ft^2).

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area. It is not a definitive measure of the mass of the dwelling, since it does not include "open to below" areas that may exist within the dwelling (e.g. two-storey foyers, atriums and/or stairs). In addition to the space associated with the stairs, there is an approximately 18.82 m² (202.60 ft²) open to below area on the second floor above the foyer which is excluded from the gross floor area calculation under the by-law.

The proposal includes an open carport, which according to the by-law definition is not included in the calculation for Floor Area Ratio. If the carport were fully enclosed the floor area for the dwelling would increase by approximately 738 ft² to a floor area 377.53 m² (4063.8 ft²), resulting in a dwelling with a Floor Area Ratio of 61.6 percent. However planning staff consider the unique design of the carport with its slender cylindrical columns deliberate and would not lend itself to be enclosed.

The proposed dwelling meets all other zoning provisions, including setbacks, height and lot coverage meaning that the building envelope is being maintained, which ensures the proposed dwelling will be in keeping with the intended scale of residential infill developments for the neighbourhood. There is limited other new infill development along the street however staff note that neighbouring streets are undergoing a transition.

PUBLIC INPUT SUMMARY

No written submissions were received as of June 25th, 2018. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSIÓN

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:

Aqsa Malik, Plander, Zoning and Special Projects

REVIEWED BY:

Samphell

Sally Campbell, Development Manager, East District File Path: Amanda\File\ 18 232898 \Documents\District Team Comments Memo

APPENDIX "A" CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/66/18

- 1. The variances apply only to the proposed development as long as it remains;
- 2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on June 18, 2018 and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
- 3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
- 4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Director of Planning and Urban Design or their designate;
- 5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design or designate;
- 6. That the carport remain unenclosed.

CONDITIONS PREPARED BY:

Aqsa Malik, Planner, Zoning and Special Projects

				GENERAL NUTES: SITE WORK:	MARLET MANDAGE TRAILER.	WALL ASSEMBLIES GENERAL:	CONSTRUCTION NOTES:	GENERAL NOTE:
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THE SPECIFICATIONS INCLUDE, BUT ARE NOT LUNTED 1. GENERAL REQUEREMENTS 2. STE CONSTRUCTION 3. CONCRETE 4. MASONAY 5. METALS 6. MOOD				ROOTS AND WOOD DEDROS SHALL BE REVOVED TO A WIN, DEPTH OF 11-3/4" IN EXCAVATED AREA. THE DISTANCE BETWEEN UNTREATED STRUCTURAL	VB AND FINISHED SOFFIT ALL FLOOR FINISHES TO BE WADE LEVEL WITH ADJACENT FLOOR FINISHES.	LTD, FASTEN BOARD #/ 38mm GALV. ROOFING NALS # 150mm O.C.	ENGISION [AS PER OBC 9.27.2.4] [AS PER OBC 9.25.8] ALL RYLDOWNSPOUTS, AND FLASHING TO BE APPROVED AND TO BE SPECIFIED BY ARCHEECT,	SLOPE BETWEEN STEPPED OR ADJACENT FOOTINGS SHALL BE A WAX, OF 7 VERTICAL AND 10 HORZONTAL UNLESS APPROVED BY SOL ENGINEER TO BE GREATER. STEPS SHALL NOT EXCEED 2'-0" VERTICALLY.
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A1.02 FOUNDATION PLAN A1.03 BASEMENT PLAN A1.04 GROUND FLOOR PLAN A1.04 SECOND FLOOR PLAN				PROPERTIES SURFACE DRAINING SHALL NOT BE DISCHARDED DIRECTLY OR INDRECTLY ONTO SDEWLK, DRAVEWAY, STARWAY OR AN ADJOINING PROPERTY.	TO BEAR ON UNDISTURBED SOIL PROVOE DRAINAGE LAYER WIN. 6° OF FREE DRAINING GRANULAR WATERAL, W/ PLETE COTA ON TOP	1/2 INTERLE FRUEN BOTH SUBLE OF 2 X 4 OH 2 X 5 WOOD STUDS X1 14° 0/C. SINGLE BOTTON TOP FLATE PROMOE SOUND ATTENUATION IN BUTHROOM WALLS AND MERC INDICATED OH PLAN PROVIDE 1/2° COMPT BOARD AT ALL MET ARCAS. ALL NEW INTERGE PARTITIONS TO INVE ACOUSTIC BATT	2. <u>TERRACE (ROOF BECK) CONSTRUCTION</u> 4 ⁽¹⁾ (37mm) WOOD DECKING OR 1 ^(*) PEA GRAVEL PT, WOOD SLEEPERS © 2X SLOPE 2-PLY VOLVE ADERED TORCH DOWN BITULOUS ROOTING BITULOUS ROOTING	ALL SLABS ON GRADE SHALL BE REINFORCED WITH WWARKSXS/G PLACED 1/2" CLEAR FROM TOP OF SLAB
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A4.02 WALL SECTIONS A5.01 WALL SECTI STRUCTURAL				2-11" BLOW KIT, GAULE, PROOTING ON VAN. 1/4" PARENIG ON 10" BLOCK (OR AS NOTED) WITH TYPE "5" NOTAR + 5/3/18" BLOCK LOCK OF 16" O.C.VERT. 32" HORIZ, AND WIRA DRVN.	CONCRETE FOOTINGS RENFORCED AS SHOWN PROVIDE 4" WIN, DRUN THE COVERED WITH FLITER CLOTH AND SUBROUNDED BY 6" WIN, CRANULAR WATERAL ECO-TEXTLE FARRIC TO BE INSTALLED DYCE CRANULAR	PROVIDE SOUND ATTERNISION IN BATHROOM WALLS AND WHERE INDICATED ON PLAN PROVIDE 2 X 8 STUD COLUMNS TO WATCH EACH BEAM MENNER.	3. PARAPET CONSTRUCTION 24 Go GALV, STL. FLASHING 2 PLY ROOF VENDRANE CAN'T STRP GRAVEL STOP	WELDING SHALL CONFORM TO THE REQUIREMENTS OF CSA-#59 AND SHALL BE UNDERTAKEN BY A FARRICATO APPROVED IN THE CANADAM WELDING BURKAU TO THE REQUIREMENTS OF #47 CANADAM WELDING STANDARD.
SHORTON S-00 S-01 S-02 S-03 S-04 S-06 S-06				16" D.C.VERT. 32" HORIZ, AND WIRA DRAN. 3. PROMOE 1/4" PARGING COVER DVER POURED CONCRETE FOOTING.	GED-TEXTRE FARRY TO BE INSTALLED OVER GRANULAR MATERIAL TO REDUCE WICKING DRAMPROOFING IS TO BE APPLIED TO THE TOP OF THE FOOTING BEFORE THE WALL IS ERECTED.	FULL BEARING AT ALL WOOD BEAMS.	3. PARAFTI CONSTRUCTION 24 GG GLUY 31L /LASHING 2 PLY ROOF 24 GG GLUY 31L /LASHING 2 PLY ROOF BURT UN ROOFING 9. MITAL FLASHING AS PER ORC 9.273 PROVOD URIA FLASHING AF ALL WATERAL INTERFACES AND AT INTERSECTION OF DESEMBAR AUTTIMAS.	CONCRETE: CAST IN PLACE CONCRETE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF CAS STANDARD CANS-A23.1-M84,
3=03 S=04 S=05 S=06 STRUTURN FROMETRI KORDICON CONTRATION	LIC1 285			 FOUNDATION WALLS SHALL BE BRACED OR HAVE FLOOR JOISTS INSTALLED BEFORE BACKFILLING. WIRADRUN FABRIC OVER FON WALL (INSIDE) 1/2" ARSPACE, 2X3 WOOD STRAPPING 0 16" D.C. 	TOP OF THE FOOTING BEFORE THE WALL IS ERECTED. PARENG IS TO BE CONFRED OVER POURED CONCRETE FOOTING AT FOUNDATION WALL INTERFACE	SOmm[4*] FACING STONE [STONE COURSING AS PER ELEVATIONS] 20mm [17] AIRSPACE	CURB-MOUNTED DOUBLE-GLAZED SKYLIGHT BY VELUX OR APPROVED EQUAL	ALL CONCRETE SHALL HAVE ANN, COMPRESSIVE STRENOTH OF 25 MPG AT 28 DAYS UNLESS NOTED OTHERMISE ON PLANS.
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SUMMARY OF THERMAL INSULATION RED. PRIOR 2000 MODELING, IT IS TO BE ASSUMED THAT ASSEMBLIES REGURRE THESE INSULATION VALUE	TO THE HOT HE FOLLOWING S:			1-1/2" PLATE UNDER ALL ROOF & FLOOR FRANING MEMBERS AS BELL AS 7-1/2"	ANCHOR BOLTS EMBELORED IN MAY, 4° CONC. O 710° D/C. MAX & .PROMOE CAULIONG OR GASKET B/M PLATE & FDH. OHEADER WRAP TO BE SEALED TO CONCRETE MAL	J4 DIC YURING, J15 BUG PAPER OR TYCK "HOUSEWARP" IJmm[1/21] EXTERIOR SIGLINING SOMMX148mm[21sE1] BUGS 4 BOOM[16] DC 140mm WOOD GAT & WID HT. R24 ROUL BATI NEGULION APPROVED Somm POLYCHICILLY US IJmm[1/21] GHR, INTEROR FINISH.	SURROUMENC SKYLCHT, THRU-WALL FLASHING AT SLOPING MELRYACE(3), WASONIT AND STONE VENETIKSAS REGURED, COLOUR AS DESIGNTR.	ALL REINFORCING STEEL TO BE DEFORMED BARS CONFORMING TO CSA G30.12-M GRADE 400. COLD WEATHER CONCRETING SHALL CONFORM TO CSA.
BASEMENT SLAB R10 CARAGE SLAB R0 FOUNDATION WALLS R21				BLOD WASHINGT UNDER BEANS & COLUMNS 8. FOUNDATION WALL TO EXTEND WIN 5-7/6" ABOVE FIN. GRADE.	WALL <u>Reserved</u> : 3148 .374" INISHED FLOOR 5/4" DREORE 4" POURED CON, SLAB (3500 PSI CONC, STRENDTH) REINFORCED WITH 6" X 6" X8" MESH LOCATED AT	POLYETHTLENE VB 13mm[1/21] GNB. INTERIOR FINISH. PROMOE WEEP HOLES . BOOWU[321] OC BOTTOW COURSE AND DVER OPENNIGS PROVIDE BASE FLASHING UP WIRL 150mm[81]	DESIGNER. ALL FLASHING TO BE COORDINATED WITH EAVES TROUGH, RWL, AND VETAL CAP FLASHING.	COLD WEATHER CONCRETING SWALL CONFORM TO CSA STANDARD CHAT-A23.1 WAA PROVINCE TEMPORARY ENCLOSURE AND HEATING WHEN REQUIRED. MASONRY:
COLD STG FOUNDATION WALLS RD TYPICAL WAI R24 [N/I DFS INSULATION] ALL HEADER JOISTS R28	L ABOVE GRADE			9. CONT.2X6 WOOD SLL PLATE FASTENED W/ 1/2" DIA X 12" LONG ANCHOR BOLTS EMBEDDED 5" IN CONC 0 6"-0" D.G. WAX & PROVIDE A FLEXIBLE ERI LONGET DEFENSION OF A FLEXIBLE	MD-DEPTH OF SLAB ON 6" CRUSHED STONE BED. APPROVED 6mm POLITENTLENE VB AT U/S OF SLAB SLAB 10 AF STALTO	BEHIND BUILDING PAPER		WASONRY CONSTRUCTION SHALL CONFORM TO CSA STANDARD CAN3-A371-484.
FLOOR ASSEMBLIES #/ U/S EXPOSED TO EXT R31 [GARAGE CELING, SIDE ENTRANCE]	RICR			SEL CASHET BET, FUCE & FOUNDATION, FOOTINGS ALL NEW FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL SOL WIN.2200 PSI POURED CONC. AT LEAST 46" BELON FAN. GRADE W, ASSINLED BEARING CAPACITY OF 4000	50mm(27) RCD INSULATION IF SLAB IN LESS THAN 60000 BELON GRADE PROVIDE RTDEIS	PROVEE DO DE UNIT SOMMENTI MARTE MARTED DO DE PROVEE DOS THICK X 7/8 WIDE GALWARDE MIL VENEER TIES O 16 D.C. HORZ, A 32 D.C. VERT, FASTENED W/ CORROSON RESISTANT O.122 DAM, SCREWS OR SPRAL MAIS MHCH PENETRATE O LEAST 1-3/16 DHO STUD, AT FOUNDATION WALL PROVED 20 NIL POXY FLASHING MIN, 6		ALL PLAN AND REINFORCED WASONRY SHALL CONFORM TO CANJ-A165 SERIES-W85 FOR CONCRETE WASONRY UNITS AND CAN/CSA-A82.1-W87 BLRNED CLAY UNITS.
FLAT ROOFS RAT FOR HEADER JOISTS, INSULATED FLOOR ASSEM ROOFS 218 HD SPRAY FOAN INSULATION IS TO	ilies, and flat Be used.			LEAST 48" BELOW FIN. GRADE W/ ASSUMED BEARING CAPACITY OF 4000 PSI (VCRFY W/ SOL REPORT) NON-FROST SUPERSTRUE DAVENU	GARAGE SLAB ON GRAM DE: CONCRETE SLAB ON GRADE-GARAGE IVILITISEAL TRAFFIC TOPPING FOR GARAGE 100mm[4"] CONCRETE SLAB ON GRADE	HOLD BREAT FUNCTIONE & LOUID ISJN BED JUDY TASHING MIN, 5" UP BEHIND SHEATHING PAPER WEEP HOLES, MIN, 2"-7" APART & BEDINGLOURSE OF VENEER AND ABOVE ALL OPENNES.		ALL CONCRETE BLOCKS SHALL HAVE ANN. ULTANTE COMPRESSIVE STRENGTH OF 22 MPG ON NET AREA.
NOTE: WHEREVER SPRAYED IN PLACE INSULATION IS A POLY V9 IS ALSO REQUIRED.				GHOLE WY ASSULD BEACHINE DAVALIT OF AUDO DSI (UDAY) WY SOL REVOIT HOR-FROST SUSCEPTIBLE BACKFILL PROVICE TRAST-PROTECTION FOR ALL FOOTHOS. <u>STEPPED FOOTHOS</u> WHCH REQUERD SHALL HAVE A MAX RISE OF $2^{-}O^{-}$ (1 ^{4^{-}} I SAND OR EMAKE) AND A MAX. RUN OF $2^{-}O^{-}$	[SEE STRUCTURAL]	<u>PRECAST CONCRETE/CUT LIMESTONE</u> : DWENSON <u>AS PER DETAIL DRAWINGS PROVIDE SHOP DRAWINGS</u> <u>5. BRICK EXTERIOR VENEER WALL:</u>		HORTAR FOR ALL MASCHIT HALLS SHALL BE TYPE 'S' AS DEFINED IN CAS STANDARD ALTS-MISTE. CONC. BLOCK WALLS SHALL BE REDATORCED HORES, W/ STANDARD 'BLOK-LOK' AT 15' OC VERTICALLY AS PER
				Unwinder.	NOTES: SLAB SHOULD BE SLOPED @ 1.5% TO DRAN TO THE OUTSIDE USING 5" REINFORCED CONC. SLAB (REFER TO STRUCTURAL DWG)	RDrum[4"] FACE BRICK [BRICK COURSING AS PER ELEVATIONS] [STANDARD SIZE UNLESS OTHERWISE NOTED]		MAN. SPECE, REINFORCED WASONRY SHULL BE GROUTED WITH 15 WF CONCRETE, 3/8" ADGREGATE ("PEX" GRAVEL) W/ 8" SUMP.
BUILDING (CODEN	MAT	RIX	A DAW, RELPHAN HAL CAVERAD WY O CRANILAR MATERIAL & FEITAR CLOTH, WEEPING TELES SHOLLD BHAN TO STIGM SEWER, DRAINAGE DICH, DRY MALL OR SLOW FUNA. EXTERCH MALL WOOD SCHWE JA' CEDAR SIDMO (1.3. EXPOSED FACT)	450 PSI CONC W/ 24 AL AL AND	25mm [1"] ARSPACE 22X180X0.78mm{["x7"x0.03"] GALY. VETAL TIES @ 400MA 16" DC HORIZ. 24" DC VERTCAL		211050
FIRM NAME NORDICON CONSULTING INC. UNIT 1259, 251 CONSUMERS RD, TORONTO, ON	NCI			W/ J/6" SPACES BETHELN ULWBERS [SCING AS PER ELLWARDINS] 2 PARA RANCOAT STAIN FINISH ON EXPOSED SIDE 2 PARA RANCOAT STAIN FINISH ON REVENSE SIDE FASTINED WITH STAINLESS STELL	UNIFORM SUPPORT.) PROVIDE 6 ML V.B. & U/S OF SLAB. SLAB TO BE SATCLED. TYPICAL FRANTO R DOD: TYPICAL FLOOR FUNSION R DODR	I SELDG PAPER OR TYVEK 'HOUSEWRAP' I Jemm[[] EXTERIOR SHEATHING 39"4140mm[2"X6"] @ 16" 0.C.WOOD STUDS 140mm WOOD CRT @ MID HT.		TIMBER CONS. SHALL CONFORM TO THE REGTS OF CSA STADARD CAN 3-008-484. THABER SWALL CONFORM TO SPECIES SPRUCE NO. 2 GRADE OR BETTER.
M2J 1R3 NAME OF PROJECT: 30 SIR BRANDILES PL				PASIENERS 10	3/4" T&C PLYMOOD SUBFLOOR W/ MIN. 2" BEARING	140mm WOOD GRT ® WD HT. R24 ROXU, BATT INSULATON APPROVED Bmm POLYEINTLENE VB IJAmm[[] GHR, INTERGR FINSH. PROVDE HEEP HOLES ® BOOWJ32] OC BOTTOM COURSE AND DYER DEPENDES FROME BASE FLASHING UP WIN.		"PSL" OR "LSL" BEAMS SHALL DENOTE PARALLEL STAND LUMBER AS WAN, BY TRUSS JOIST WACHLEAN. "Ta" JOIST SHALL DENOTE WOOD "I JOIST SYSTEM
RESIDENCE LOCATION: 30 SIR BRANDILES PL, MARKHAM, ON L3P 225 LOT 359, PLAN M-1448 TOWN OF MARKHAM				X3.7 P.I. STRAPPING © 16" G.C. (PARTED BLACK) DRWALL RARGENEN TOMM (ELTNE BLG. PARTED BLACK) STREERICHORS ISMEN[12] LETTRAB SHALTING JBMMAHADMM[2]X8] STREERICHORS ISMEN[12] LETTRAB SHALTING STREERICHORS ISMEN[12] OBJECT TOP FALE R24 ROLL BAT BESULTON APPROXED TOP FALE R24 ROLL BAT BESULTON APPROXED Somm PALTERITURE VB 12-2008	(11mm) CM	SCHIND BUILDING PAPER		WANU, BY TRUSS JOIST WACHALLAN, INSTALLATION OF "PSL", "LSL" BEAMS AND TJ" JOISTS SHALL CONFORM TO THE REDT'S SPEC. BY WANN,
EM ONTARIO BUILDING CODE DATA	D PART 11	OBC REFER	PART 9	TOP PLATE R24 ROXUL BATT INSULATION APPROVED 5mm POLYETHYLENE VB 12.5mm[1/2"] GWB	WAAP ALL TRUM JOISTS W/ WAPOUR SARRER PRIOR TO INSTALLATION ON TO FOUNDATION WALL AND PROR TO EXECTION OF STAD WALLS. ALLOW FOR OVERLAP AND CONTINUTY OF WAPOUR BARGER. ALL ILCOME TO INVECTORSTIC BATT INSULATION	BREK TO BE WIN, 150mm(4) ABOVE FINISHED GRADE. 6. WOOD SIDING CONSTRUCTION EXTERIOR MALL WOOD SIDING 3/4° CEDAR SIDING		"PSL", "LSL" BEAUS AND TA" JOSTS FRAMED TO THE SDE OF ANOTHER WOOD NEMBER SHALL BE SUPPORTED BY APPROPRIATE HANGERS.
	11.1 TO 11.4 2.1.	1.1	2.1.1 9.10.1.3 9.10.2		FLOOR INSULATION: HEADER JOIST	(1.5 EXPOSED FALL) W/ 3/8" SPACES BETWEEN WEWBERS (SIDING AS PER		ALL CEDAR IS TO BE REDWOOD CEDAR, NO BHITE CEDAR IS TO BE USED,
MAJOR OCCUPANCIES: RESIDENTIAL BUILD, AREA (m ²) . EXIST., 0 (m ²) NEW; 305.19 (m ²) Ti	1.1.3 (TAL: 309.19 (m ²)		9.10.2		EXTEND VAPOR/AR BARRIER & SEAL TO JOST & SUB-FLOOR HEADER WARP TO BE INSTALLED AS PER WANUFACTURERS			NDIE: REFER TO STRUCTURAL DRAMINGS FOR ALL STRUCTURAL ANY DISCREPANCES BETHEEN ARCHITECTURAL AND STRUCTURAL DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
GROSS AREA (m ²): EXIST (m ²): 0 (m ²) NEW (m ²): 309.19 (m ⁴)	TOTAL: 309.19 (m ⁴)	1.3.2.	1.1.3.2.		JUNE - TOR ANNE CARAGE: 3/4" INMED FLOOR 3/4" TAG PLYNOOD [GLUE AND SCREW TO FLOOR JUSTS]	DRINALL RAINSCREEN IDmm (KEENE BLDG. PRODUCTS) TYYEK INSTALLED AS PER MANUFACTURER'S SPICIFICATIONS I3mm[1/2 ¹⁷] EXTERIOR SHEATNING		ADDITIONAL:
NUMBER OF STORIES ABOVE GRD. 2 BEL NUMBER OF STREETS/FIRE FIGHTER	. 3.2	2.2.10-83.	2.1.1.3. 9.10.19		FLOOR JOISTS [SEE STRUCTURAL] SCUD BLOCKING & WAN, 4"-0" O.C. R-31 2 LB SPRAY FOAN INSULATION (8)	SPECIFICATIONS TEAming[7/27] EXTERCISE SHEATHING STUDIATIONS [2:86] STUDIATIONS (2:86] TOP PLATE REAL ROOME, BATT AND ADDUBLE BATT ROLLATION APPROVED BATT POLYETHYLENE VB 12.5mm[1/27] GMS		IS REQUIRED FOR THE PROPOSED ADDITION BASEVENT. IF REQUIRED, THE NEW SUMP PUMP IS TO BE LOCATED
7 BUILDING CLASSIFICATION. SFD PERMIT CONST COMBUSTIBLE NI ACTUAL CONST COMBUSTIBLE NI	N-COMBUSTIBLE BOT	тн	1		GASPROOF WALLS AND COUND W/I LAYER 5/8" GYPSUN BOARD			IN THE STORAGE ROOM. ALL PRODUCTS ME TO BE INSTALLED ACCORDING TO PRACTICES SET OUT IN THE RELEVANT MANUFACTURES INSTALLATION SECONCATORIC, TENCING (INCLUDING REAR ALL AT GRADE DECHING, TENCING (INCLUDING REAR MOOD SCREEK), PANING, AND RETAINING BILLS ARE PART OF THE SCOPE OF WORK AND CONTRACT FOR LANDSCAPING.
SPATIAL SEPARATION-CONST. OF EXTERIO	WALLS 3.2.3 9.10,14 3.	5.2.3 ED DEIGN COM	9.10.14		CALL & CONTS BETWEEN GWB AND OTHER SURFACES WITH TRENCO 'BIWAD DYNERIC ADDUSTIC SEALANT CONTINUOUS SEAL AT ALL JOINTS			PART OF THE SCOPE OF WORK AND CONTRACT FOR LANDSCAPING, CONTRACTOR IS RESPONSIBLE FOR ALL BACKFILL AND
WALL EBF (m) ² (M) OF OPENING of	OPENING (HOURS) DESC	OR CON	NST. CONST.		ENAMING: REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJUCTIT TO TOILETS, SHOWER, AND BATHTUB IN ALL		,	CONTRACTOR IS RESPONSIBLE FOR ALL BACKFILL AND INTERMI STEE GRACING ENSURING THAT THERE IS A POSITIVE SLOPE AWAY FROM THE GULDING AND THAT ACCESS TO THE FLOR OF THE SITE IS POSSIBLE. A DRAWING OF THE SIDE WARD GRADING WILL BE PROVDE BY THE ARCHITECT.
NORTH					WASHROOMS. [AS PER COC 9.5.2.3, 3.8.3 0[1][0], 3.8.3.13[1][F]			ar ing monthight.

GENERAL NOTES: SHE WORK

ADDRESS: 30 SIR BRANDILES PL MARKHAM, ON L3P 2Z5, PROPERTY ROLL #:1936040351327200000 REGISTERED PLAN BY-LAW 1229 AS AMENDED R1 (0.35) LOT AREA 613.16 som (6600 sqf)ALLOWABLE FSI IS 35% - 214.60 sqm (2310 sqf) PROPOSED FSI IS: 309.19 SM (3328.10 sqf)= 50.4% SETBACKS - PROPOSED AND ALLOWED:

FRONT YARD: 7.92m PERMITTED, 10.01m

PROPOSED SIDE YARDS: 1.8 m REAR YARD 7.5 mMAX, BUILDING LENGTH PERMITTED . 17m PROPOSED BUILDING LENGTH : 9.80m MAX. BUILDING HEIGHT: 9.8 m ROOF PROPOSED BUILDING HEIGHT: 9.80m BUILDING AREA: GROUND FLOOR: 135.13 sqm (1454.52 sqf)

SECOND FLOOR: 174.06 Sqm (1873.56 sqf) FINISHED BASEMENT: 135.13 sqm (1454.52 sqf)

ALLOWABLE BALCONY AREA 3.85M PROPOSED BALCONY & SMSF) LANDSCAPE: AREA OF FRONT YARD: 121.3 SM (1306 SF) DRIVEWAY: 52.35M (563SF) 121.3-52.3 = 69 * .75= 51,755M (557SF) SOFT LANDSCAPE REQUIREMENT PROPOSED SOFT LANDSCAPING 56.8SM (612SF) SCOPE OF WORK: DEMOLISH EXISTING DWELLING AND BUILD NEW 2 STOREY DWELLING.

CANCER OF HIS L BE FOUNDED AT A LEVEL AT TO ACHEVE GARAGE GAS PROOFING, ASSEMBLIES ARE AS FOLLOWS: RADE TO BE A MIN. 8" AR "A" OR 3/4" CRUSHER RUN TO 98% STANDARD PROCTOP CAS PROOF WALLS AND CELING W/ 1 LATER 5/8" GYPSUN BUND TAPE ALL JUINTS W/ FIBERCLASS TAPING, 2. CAUX. JOHTS BETKEEN GHB AND OTHER SURFACES WITH THEVCO "BRAND" DIVERK ACOUSTIC SEALWAIT TAKE CARE TO PROVIDE CONTINUOUS LENE VAPOUR BARRIER BETWEEN D'UIRE ACOUSTIC SEAUNT TARC DAR TO PRIVOS CONTINUOUS SEA DA LA DENTETATIONE HEI TREVOS DANOS DIVERTO ACOUSTIC SEAUNT A DOOR BETWEIT GANGE AND OUSTIC SEAUNT BADER STREPTS MAS CAN DENTET HIM A SULT-CLOSEG DIVECT VAROUS REMETS BANG DE CAN O'THILD MITH A SULT-CLOSEG DIVECT VAROUS REMETS BANG DE CAN O'THILD DATA DA DA DA DA E GANGE CENES TO EL HISUATED HIM R-31 BAT RESLATION 5/0° O'TSUL BOADD ALL BE REINFORCED WITH 2° CLEAR FROM TOP OF SLAB. EVENTS OF CSA STANDARD SHALL BE CSA 640.21-N-300 FIREPLACES AND VENTING: FIREPLACES SHALL CONFORM TO ODC 9.22 [AS PER DBC TO THE REQUIREMENTS OF UNDERTAKEN BY A FABRICATO AN WELDING BUREAU TO THE ANADIAN WELDING STANDARD. PREFORES SHALL CONTINUE to the \$22 (AS FER OBE \$21.1.3) CHIMNEYS & FLUES SHALL BE 2'-0' ABOVE THE HICHEST POINT AT WHICH IT CONES IN CONTINUE W/ ROOF SURFACE & W/ HORE. DISTANCE OF 10-0' FROM CONNEXT & 30' ABOVE THAT BOOFS Destinct or 10-5-7 fract Change & 34 - 405 ft AM Model. Destinct or 10-5-7 fract Change & 34 - 405 ft AM Model. Destin Vanis Gal A San Showin I J Taka AM orthogia and Addi the Taka and Showin I J Taka AM orthogia and Addi the Taka and Showin I J Taka AM orthogia and Addi Here I Taka and Showin I J Taka AM Showin I J Addi Here I Taka and Showin I J Addi Here I Taka AM Showin I J Addi Here CONSTRUCTION SHALL EVENTS OF CAS STANDARD VE ANIN, COMPRESSIVE 7 28 DAYS UNLESS NOTED NENT FOR ALL CONCRETE TO BE DEFORMED BARS IS SHALL CONFORM TO CSA 84. .CISURE AND HEATING WHEN SHALL CONFORM TO CSA CED WASONRY SHALL CONFORM W85 FOR CONCRETE WASONRY 2.1-W87 BURNED CLAY UNITS. HALL HAVE ANON. ULTRATE OF 22 MPa ON NET AREA. Y WALLS SHALL BE TYPE 'S' DARD A179-W1976. L BE REINFORCED HORIZ, W/ 16" OC VERTICALLY AS PER ALL BE GROUTED WITH 15 MP. ATE ("PEA" GRAVEL) W/ 8" FORM TO THE REQTS OF CSA ID SPECIES SPRUCE NO. 2 ALL DENOTE PARALLEL STAND e hood 't joist system Acmelian. ANY ADJACENT SURFACE. ALL STAIRS/-EXTENDER STAIRS: MAX. RISE = 200mm[7 L⁻] MAN. RINH = 210mm[8 x⁻] MAN. RINH = 250mm[9 MAN. RINH = 250mm[9 MAN. RINH = 800mm[2⁻¹⁰⁷] MAN. RINH = 800mm[2⁻¹⁰⁷] MAN. RINH = 100mm[4 1⁻] ANR. RINH = 100mm[4 1⁻] ANR. RINH = 200MJ[7 1⁻] SL' BEAMS AND TJI' JOISTS REQT'S SPEC. BY WANU, A' JOSTS FRAMED TO THE VEMBER SHALL BE SUPPORTED WOOD CEDAR, NO WHITE CEDAR Are an (n+2) source (n+2) sourc RAWNES FOR ALL STRUCTURAL. REEN ARCHITECTURAL AND SHOULD BE BROUGHT TO THE IECT WHE BHETHER A SUMP PLAP DPOSED ADDITION BASEVENT. IMP PUMP IS TO BE LOCATED INSTALLED ACCORDING TO RELEVANT MANUFACTURES NS. FENCING (INCLUDING REAR AND RETAINING WALLS ARE WORK AND CONTRACT FOR BLE FOR ALL BACKFILL AND SURING THAT THERE IS A 24 THE BURLDING AND THAT THE SITE IS POSSIBLE. A RD GRADING WILL BE PROVID OF MARKHAN CITY JUN 18 2018 COMMITTEE OF ADJUSTMENT

APPENDIX H CONSULTING INC. NORDICON NORDICON CONSULTING INC #1259, 251 Consumer Road, North York, ON M2J 1R3 Bus: 888 774 2606 Cell : 416 302 8776 GENERAL NOTES DRUBAL NOTE: IT HESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHTECT. THE ARCHTECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR, PROVINGITEM APPLICATION THE ARCHTECT WILL PROVIDE WRITTEN ARAPH IC CLARIFICATION OF SUPPEMENTARY INFORMATION REGARDING THE SUMMIT A HOW ON SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE CONTRACT DOCUMENTS. THE ARCHTECT WALL REVIEW SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR DESIGN CONFORMANCE ONLY. CONFORMANCE ONLY. 2/ORAMNOS ARE NOT TO BE SCALED FOR CONSTRUCTION CONTRACTOR TO VERIFY ALL ENSTRING CONSTRUCTS AND DRAENSONS REQUIRED TO PERFORM THE NORM AND REPORT ANY DISCREPANESS WITH THE CONTRACT DOCUMENTS TO THE ARCHTECT BEFORE COMMENCING WORK. WORK, 3) POSITIONS OF EXPOSED OR RNISHED MECHANICAL OR ELECTRICAL DEVICES. ATTIMOS, AND PATURES ARE INDICATED ON THE ARCHITECTRAN DRAMMOS, THEOLOTATIONS AND ON THE ARCHITECTRAN. DRAMMOS GOVERN OVER THE MECHANICAL AND ELECTRICAL BRANNOS, THOSE ITEMS NOT CLEARLY LOCATED MILL BE LOCATED AS DERICTED BY THE ARCHITECT. NO DATE DESCRIPTION REVISIONS REFERENCE STAMPED 30 SIR BRANDILES PLACE GENERAL NOTES DATE 10/07/2017 PROFFCTNO 1603

SCALE: NOTED AB

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