

Memorandum to the City of Markham Committee of Adjustment

July 11, 2018

File: A/66/18
Address: 30 Sir Brandiles Place, Markham
Applicant: John Nassr
Agent: John Nassr
Hearing Date: Wednesday July 11, 2018

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 1229, as amended:

- a) **Infill By-law 99-90, Section 1.2 (vi):**
a maximum floor area ratio of 50.4 percent, whereas the By-law permits a maximum floor area ratio of 45 percent; as it relates to a proposed two storey single detached dwelling.

BACKGROUND

Property Description

The 612.94 m² (6597.63 ft²) subject property is located on the west side of Sir Brandiles Place, north of Church Street, west of 9th Line. The property is located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. There is limited other new infill development along the street signalling that this neighbourhood is not under transition. There is an existing two-storey detached 178.84 m² (1925 ft²) dwelling on the property, which according to assessment records was constructed in 1972. Mature vegetation exists across the property.

Proposal

The applicant is proposing to construct a new two-storey detached 308.97 m² (3325.80 ft²) four bedroom dwelling with an unfinished basement. The proposal also includes a unique carport design with slender steel columns (See Appendix B).

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings. In considering applications for development approval in a 'Residential Low Rise' area, which includes variances, infill development is required to meet the general intent of Section 8.2.3.5 of the 2014 Official Plan with respect to height, massing and setbacks to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new lots within a residential neighbourhood. Planning staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

Zoning By-Law 1229

The subject property is zones R1 'Residential' under By-law 1229, as amended, which permits a single detached dwelling.

Residential Infill Zoning By-law 99-90

The subject property is also subject to the Residential Infill Zoning By-law 99-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to Floor Area Ratio.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, "exceed floor space coverage".

Zoning Preliminary Review Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. Consequently, it is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variances in the application contains errors, or if the need for additional variances are identified during the Building Permit review process, further variance application(s) may be required to address the outstanding matters and there will be a delay in application processing.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Floor Area Ratio

The applicant is requesting relief to permit a floor area ratio of 50.4 percent, whereas the By-law permits a maximum floor area ratio of 45 percent. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 308.97 m² (3325.80 ft²), whereas the By-law permits a dwelling with a maximum floor area of 275.97 m² (2969.46ft²). This represents an increase of approximately 33.11 m² (356.34 ft²).

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area. It is not a definitive measure of the mass of the dwelling, since it does not include "open to below" areas that may exist within the dwelling (e.g. two-storey foyers, atriums and/or stairs). In addition to the space associated with the stairs, there is an approximately 18.82 m² (202.60 ft²) open to below area on the second floor above the foyer which is excluded from the gross floor area calculation under the by-law.

The proposal includes an open carport, which according to the by-law definition is not included in the calculation for Floor Area Ratio. If the carport were fully enclosed the floor area for the dwelling would increase by approximately 738 ft² to a floor area 377.53 m² (4063.8 ft²), resulting in a dwelling with a Floor Area Ratio of 61.6 percent. However planning staff consider the unique design of the carport with its slender cylindrical columns deliberate and would not lend itself to be enclosed.

The proposed dwelling meets all other zoning provisions, including setbacks, height and lot coverage meaning that the building envelope is being maintained, which ensures the proposed dwelling will be in keeping with the intended scale of residential infill developments for the neighbourhood. There is limited other new infill development along the street however staff note that neighbouring streets are undergoing a transition.

PUBLIC INPUT SUMMARY

No written submissions were received as of June 25th, 2018. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



Sally Campbell, Development Manager, East District

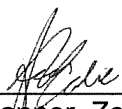
File Path: Amanda\File\ 18 232898 \Documents\District Team Comments Memo

APPENDIX "A"

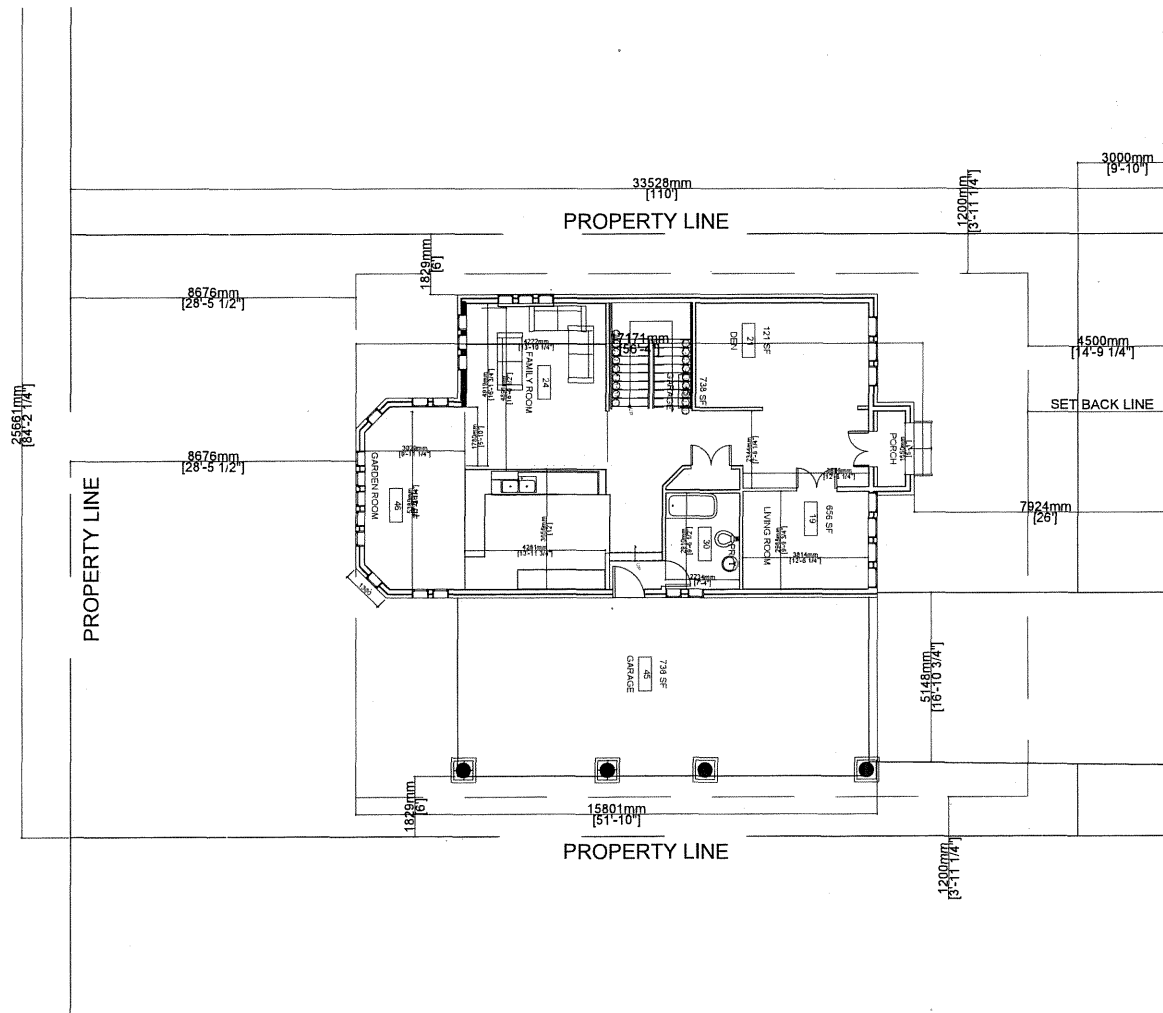
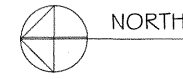
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/66/18

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on June 18, 2018 and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Director of Planning and Urban Design or their designate;
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design or designate;
6. That the carport remain unenclosed.

CONDITIONS PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects



SITE PLAN 01
SCALE = 1:100 02

OBC Div C 1.2.1.2(1) and 1.2.2.1 (4)
WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE
CONSTRUCTED BELOW THE LEVEL OF THE FOOTING OF AN
ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF
THE SOIL, AS DRAWN FROM THE BOTTOM OF THE FOOTING, THE
FOUNDATIONS SHALL BE DESIGNED BY A PROFESSIONAL
ENGINEER, AND THE CONSTRUCTION OF THE FOUNDATIONS
SHALL BE REVIEWED BY A PROFESSIONAL ENGINEER.

CONSULTING INC.
NORDICON
NORDICON CONSULTING INC
#1259, 251 Consumer Road,
North York, ON M2J 1R3
Bus: 888 774 2606 Cell: 416 302 8776

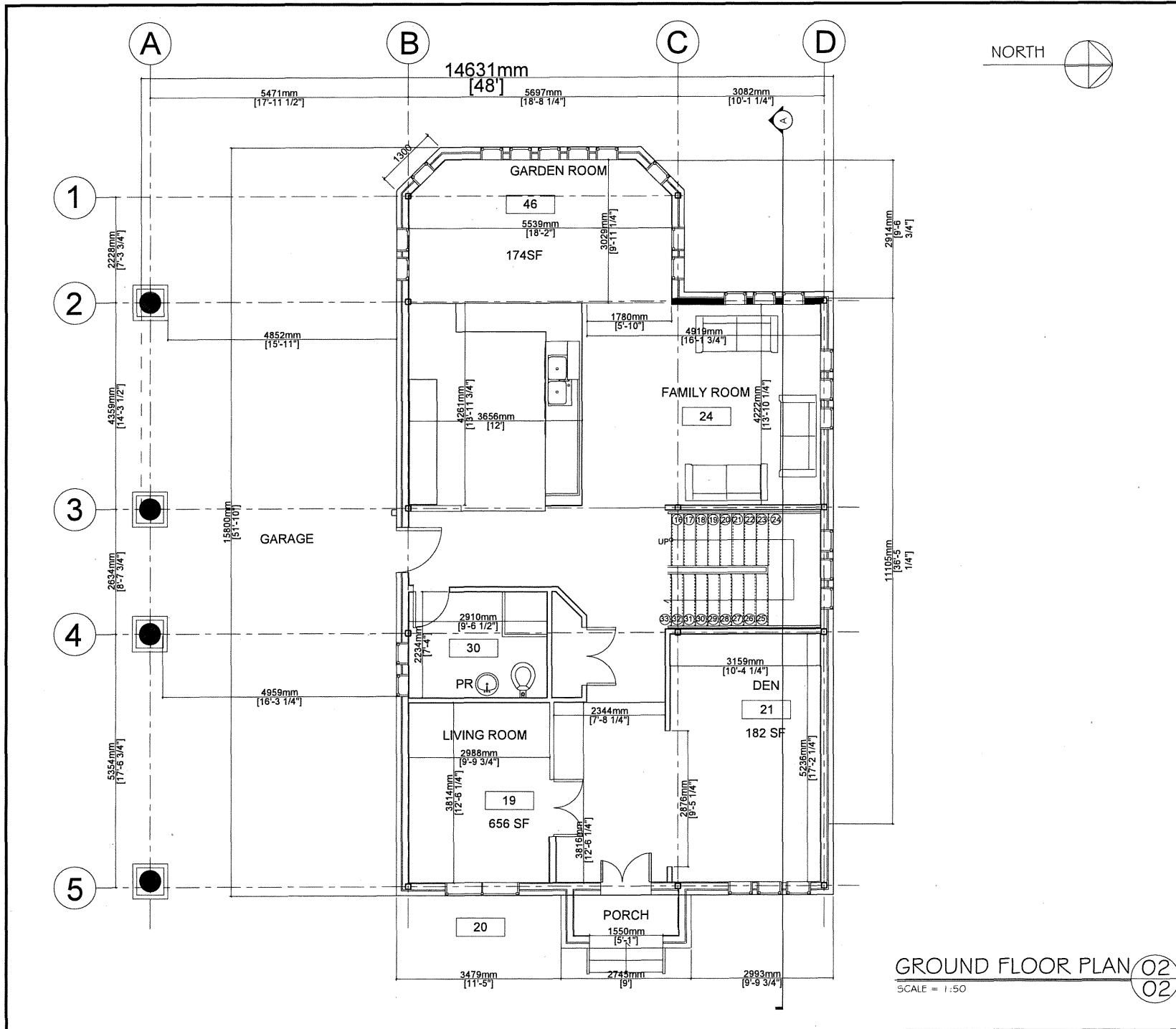
GENERAL NOTES:
1. THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT.
2. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS
OF THESE DOCUMENTS BY THE CONTRACTOR, NOR FOR ANY WRITTEN
APPLICATION OF THE ARCHITECT'S WILL, PROVIDED THAT GRAPHIC
CLARIFICATION OR SUPPLEMENTARY INFORMATION REGARDING THE
INTENT OF THE CONTRACT DOCUMENTS, THE ARCHITECT WILL REVIEW
SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR DESIGN
CONFIRMANCE ONLY.
3. DIMENSIONS ARE NOT TO BE SCALED FOR CONSTRUCTION. CONTRACTOR
TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS REQUIRED TO
PERFORM THE WORK AND REPORT ANY DISCREPANCIES WITH THE
CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING
WORK.
4. SPECIFICATIONS OF EXPOSED OR FINISHED MECHANICAL OR ELECTRICAL
DEVICES, FITTINGS, AND FEATURES ARE INDICATED ON THE
ARCHITECTURAL DRAWINGS. THE LOCATION IS SHOWN ON THE
ARCHITECTURAL DRAWINGS GOVERN OVER THE MECHANICAL AND
ELECTRICAL DRAWINGS. THOSE ITEMS NOT CLEARLY LOCATED WILL BE
LOCATED AS DIRECTED BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
REVISIONS		

CURTAIN
REFERENCE:

PROJECT
30 SIR BRANDILES PLACE
DRAWING TITLE

DATE	10/07/2017	PROJECT NO.	1602
SCALE	NOTED	REV. #	
DRAWN	M. SH	CHECKED	AB



CONSULTING INC. **NORDICON**

NORDICON CONSULTING INC
#1259, 251 Consumer Road,
North York, ON M2J 1R3
Bus: 888 774 2606 Cell: 416 302 8776

GENERAL NOTES
1/ THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR. UPON WRITTEN APPLICATION THE ARCHITECT WILL PROVIDE WRITTEN GRAPHIC CLARIFICATION OR SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE CONTRACT DOCUMENTS. THE ARCHITECT WILL REVIEW SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR DESIGN CONFORMANCE ONLY.
2/ DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING WORK.
3/ POSITIONS OF EXPOSED OR FINISHED MECHANICAL OR ELECTRICAL DEVICES, FITTINGS AND FIXTURES ARE INDICATED ON THE ARCHITECTURAL DRAWINGS. THE LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS GOVERN OVER THE MECHANICAL AND ELECTRICAL DRAWINGS. THOSE ITEMS NOT CLEARLY LOCATED WILL BE LOCATED AS DIRECTED BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
REVISIONS		
FABRICATION NOTES - STEEL TO BE GR40.210-350W (W & CLASS C HSS SECTIONS) - STEEL TO BE GR40.210-350W (PLATES & L & C SECTIONS) - ALL WELDS TO BE E60XX FILLER METAL - FABRICATION AND ERECTION CONFORM TO CAN/CSA-S16-01 - WELDING IN COMPLIANCE WITH CSA W47.1 AND ACCORDANCE WITH CSA STANDARDS W59 - BOLTS ARE HIGH STRENGTH BOLTS COMPLYING WITH ASTM A325 UNLESS NOTED - FINISH: ONE COAT PRIMER UNLESS NOTED OTHERWISE - ALL HOLES #11 UNLESS NOTED - VERIFY ALL DIMENSIONS ON SITE		

CLIENT	
REFERENCE:	

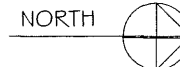
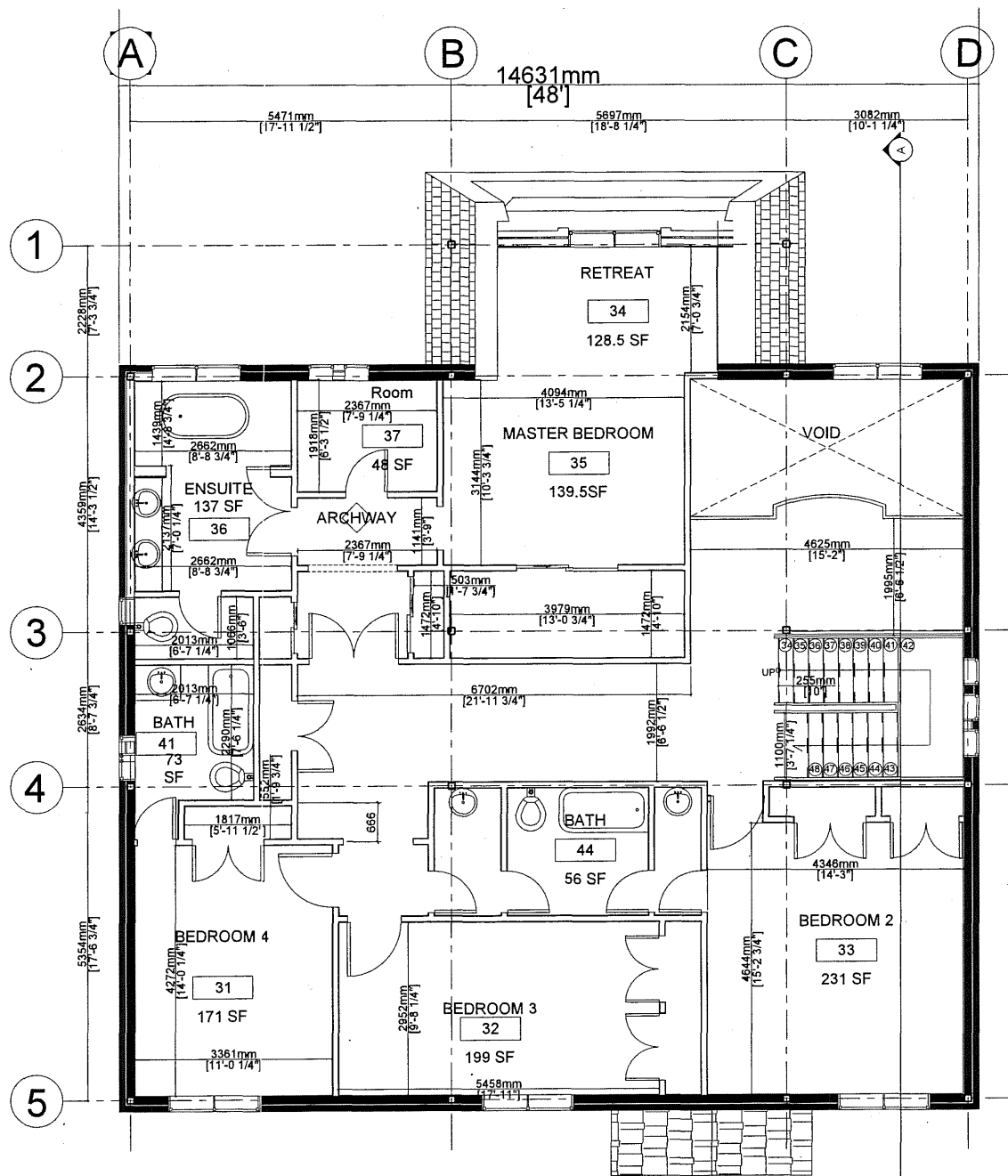
PROJECT	PROJECT NORTH
---------	---------------

STAMPED:	
----------	--

PROJECT	30 SIR BRANDILES PLACE
---------	------------------------

DRAWING TITLE	HOUSE
---------------	-------

DATE	10/07/2017	PROJECTING	1602
SCALE	NOTED	REV. #	
DRAWN	M.S.H.	CHECKED	A.B.
			03



CONSULTING INC. NORDICON

NORDICON CONSULTING INC
#1259, 251 Consumer Road,
North York, ON M2J 1R3
Bus: 888 774 2606 Cell: 416 302 8776

GENERAL NOTES:
1. THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR. IF ANY WRITTEN APPLICATION OF THE ARCHITECT WILL PROVIDE WRITTEN GRAPHIC CLARIFICATION OR SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE CONTRACT DOCUMENTS, THE ARCHITECT WILL REVIEW SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR DESIGN CONFORMANCE ONLY.
2. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS REQUIRED TO PERFORM THE WORK AND REPORT ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING WORK.
3. POSITIONS OF EXPOSED OR FINISHED MECHANICAL OR ELECTRICAL DEVICES, FITTINGS AND FIXTURES ARE INDICATED ON THE ARCHITECTURAL DRAWINGS. THE LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS GOVERN OVER THE MECHANICAL AND ELECTRICAL DRAWINGS. THESE ITEMS MUST BE CAREFULLY LOCATED AND LOCATED AS DIRECTED BY THE ARCHITECT.

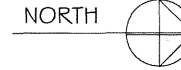
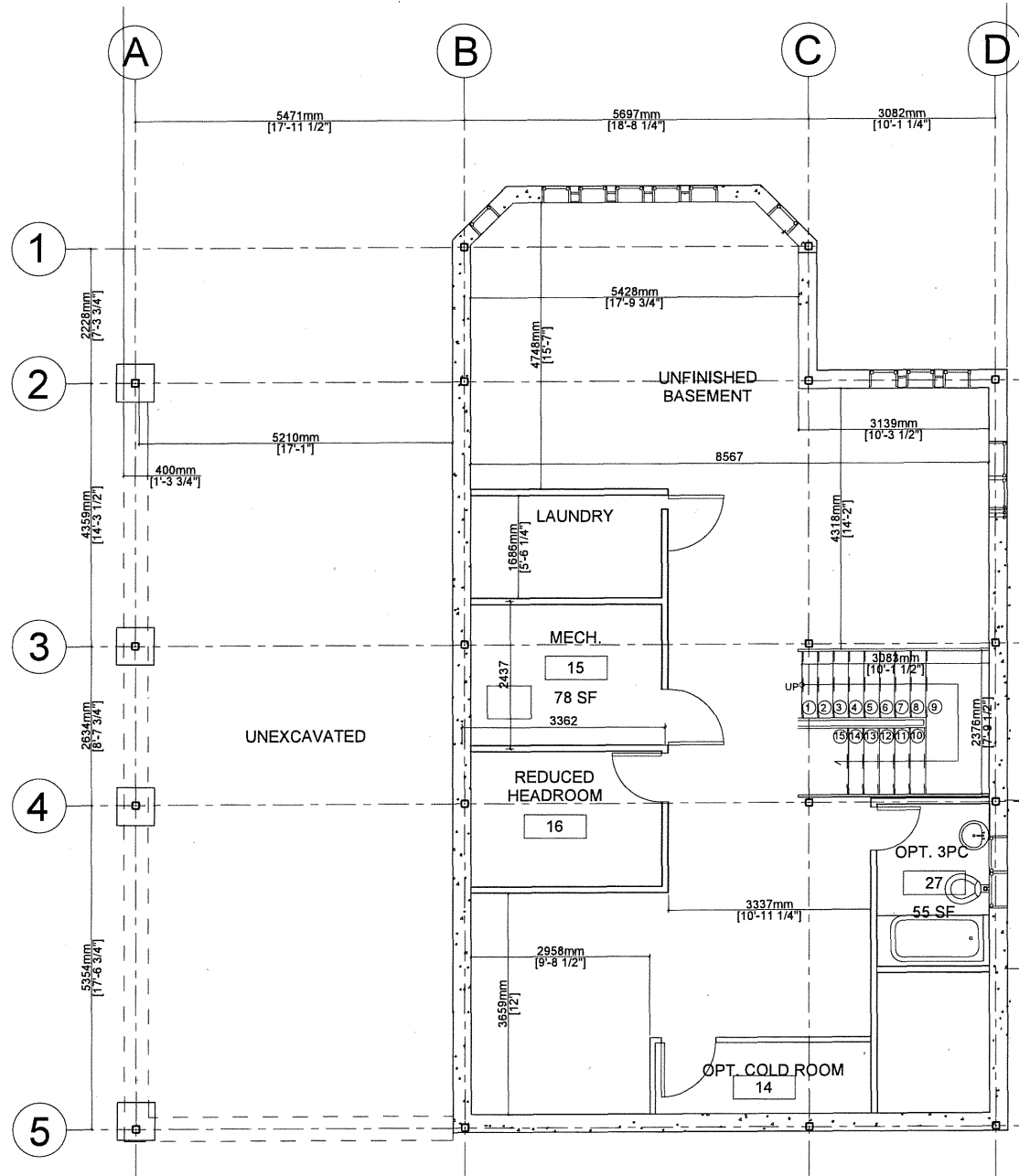
NO.	DATE	DESCRIPTION
REVISIONS		

CLIENT:	
REFERENCE:	
SKETCH	

PROJECT:	
PROJECT NAME:	
STAMPED:	

PROJECT:	
PROJECT NAME:	
DRAWING TITLE:	

DATE:	10/07/2017	PROJECTING:	1902
SCALE:	NOTED	REV. #:	
DRAWN:	M. SH	CHECKED:	AB
DRAWING NO.:			04



BASEMENT PLAN 04
SCALE = 1:50 02

CONSULTING INC.
NORDICON

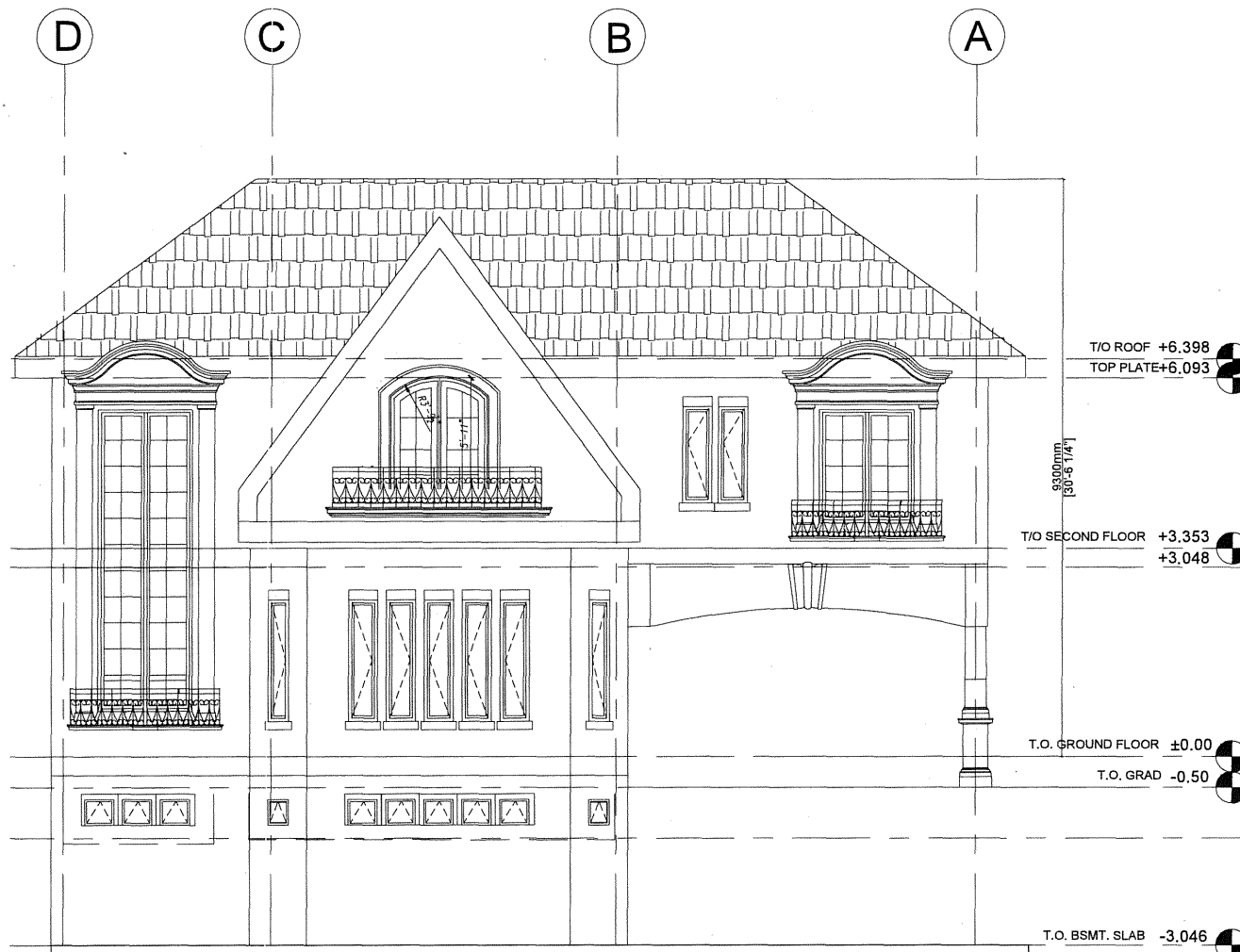
NORDICON CONSULTING INC
#1259, 251 Consumer Road,
North York, ON M2J 1R3
Bus: 888 774 2505 Cell: 416 302 8776

GENERAL NOTES:
1/ THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATION OF THESE DOCUMENTS BY THE CONTRACTOR. UPON WRITTEN APPLICATION THE ARCHITECT WILL PROVIDE WRITTEN CLARIFICATION OR SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE CONTRACT DOCUMENTS. THE ARCHITECT WILL REVIEW SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR DESIGN CONFORMANCE ONLY.
2/ DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING WORK.
3/ SECTIONS OF EXPOSED OR FINISHED MECHANICAL OR ELECTRICAL DEVICES, FITTINGS AND FEATURES ARE INDICATED ON THE ARCHITECTURAL DRAWINGS. THE LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS GOVERN OVER THE MECHANICAL AND ELECTRICAL DRAWINGS. THOSE ITEMS NOT CLEARLY LOCATED WILL BE LOCATED AS DIRECTED BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
REVISIONS		
FABRICATION NOTES:		
- STEEL TO BE 640.21M-500W (W & CLASS C HSS SECTIONS)		
- STEEL TO BE 640.21M-500W (PLATES & L & C SECTIONS)		
- ALL WELDS TO BE E6018X FILLER METAL		
- FABRICATION AND ERECTION CONFORM TO CAN/CSA-S16-01		
- WELDED IN COMPLIANCE WITH CSA W47.1 AND ACCORDANCE WITH CSA STANDARD W59		
- BOLTS ARE HIGH STRENGTH BOLTS COMPLYING WITH ASTM A325 UNLESS NOTED		
- FINISH LINE CORNER FINISH UNLESS NOTED OTHERWISE		
- ALL HOLES #21 UNLESS NOTED		
- VERIFY ALL DIMENSIONS ON SITE		

CLIENT	
REFERENCE:	
SKETCH	

PROJECT	PROJECT NORTH
STAMPED	
PROJECT	30 SIR BRANDILES PLACE
DRAWING TITLE	
DATE	10/07/2017
SCALE	NOTED
DRAWN	M.S.H.
CHECKED	A.B.
PROJECT NO.	1602
REV. #	-
DRAWING NO.	05



EAST ELAVATION
SCALE = 1:50

05
04

CONSULTING INC.
NORDICON
NORDICON CONSULTING INC
#1259, 251 Consumer Road,
North York, ON M2J 1R3
Bus: 888 774 2606 Cell: 416 302 8776

GENERAL NOTES:
IF THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT, THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR. UPON WRITTEN APPLICATION THE ARCHITECT WILL PROVIDE WRITTEN GRAPHIC CLARIFICATION OR SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE CONTRACT DOCUMENTS. THE ARCHITECT WILL RETURN SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR DESIGN CONFORMANCE ONLY.
DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS REQUIRED TO PERFORMING WORK AND REPORT ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING WORK.
SPECIFICATIONS OF EXPOSED OR FINISHED MECHANICAL OR ELECTRICAL DEVICES, FITTINGS, AND FEATURES ARE INDICATED ON THE ARCHITECTURAL DRAWINGS. THE LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS GOVERN OVER THE MECHANICAL AND ELECTRICAL DRAWINGS. THESE ITEMS NOT CLEARLY LOCATED WILL BE LOCATED AS DIRECTED BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
REVISIONS		
FABRICATION NOTES:		
- STEEL TO BE C40.21M-350W (W & CLASS D HPS SECTIONS)		
- STEEL TO BE C40.21M-350W (PLATES A & C SECTIONS)		
- ALL WELDS TO BE E460XX FULLY WELDED		
- FABRICATION AND ERECTION CONFORM TO CAN CSA-S16-01		
- WELDING IN COMPLIANCE WITH CSA W17.1 AND ACCORDANCE WITH CSA STANDARDS 909		
- BOLTS AND HIGH STRENGTH BOLTS COMPLYING WITH ASTM A325 UNLESS NOTED		
- FASH ONE COR. STRENGTH UNLESS NOTED OTHERWISE		
- ALL HOLES #21 UNLESS NOTED		
- VERIFY ALL DIMENSIONS ON SITE		

CLIENT:

REFERENCE:

SKETCH

PROJECT		PROJECT NORTH	
30 SIR BRANDILES PLACE			
DRAWING TITLE			
DATE: 10/07/2017 PROJECT NO: 1602			
SCALE: NOTED		REV. # DRAWING NO:	
DESIGNED: M.SH	CHECKED: AB	06	



CONSULTING INC. **NORDICON**

NORDICON CONSULTING INC.
#1259, 251 Consumer Road,
North York, ON M2J 1R3
Bus: 888 774 2606 Cell: 416 302 8776

GENERAL NOTES:
1) THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATION OF THESE DOCUMENTS BY THE CONTRACTOR. UPON WRITTEN APPLICATION THE ARCHITECT WILL PROVIDE WRITTEN CLARIFICATION OR SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE CONTRACT DOCUMENTS. THE ARCHITECT WILL REVIEW SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR DESIGN CONFORMANCE ONLY.
2) DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING WORK.
3) POSITIONS OF EXPOSED OR FINISHED MECHANICAL OR ELECTRICAL DEVICES, FITTINGS AND FIXTURES ARE INDICATED ON THE ARCHITECTURAL DRAWINGS. THE LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS GOVERN OVER THE MECHANICAL AND ELECTRICAL DRAWINGS. THOSE ITEMS NOT CLEARLY LOCATED WILL BE LOCATED AS DIRECTED BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
REVISIONS		
FABRICATION NOTES:		
- STEEL TO BE A36/250-300 (W & CLASS C HSS SECTIONS)		
- STEEL TO BE A36/250-300 (PLATES & L & C SECTIONS)		
- ALL WELDS TO BE EXPOSED FILLET WELDS		
- FABRICATION AND ERECTION CONFORM TO CAN/CSA-118-01		
- WELDING IN COMPLIANCE WITH CSA W47.1 AND ACCORDANCE WITH CSA STANDARD W55		
- BOLTS ARE HIGH STRENGTH BOLTS COMPLYING WITH ASTM A308 UNLESS NOTED		
- FINISH: ONE COAT PRIMER UNLESS NOTED OTHERWISE		
- ALL HOLES #10 UNLESS NOTED		
- VERIFY ALL DIMENSIONS ON SITE		

CLIENT:	
REFERENCE:	
SKETCH	

PROJECT/NOTES	
---------------	--

STAMPED:	
----------	--

PROJECT:	
30 SIR BRANDILES PLACE	

DRAWING TITLE			
DATE 10/07/2017		PROJECT NO. 1602	
SCALE NOTED		REV. #	DRAWING NO.
DRAWN: M.SH	CHECKED: AB	-	07

CONSULTING INC. NORDICON

NORDICON CONSULTING INC.
#1259, 251 Consumer Road,
North York, ON M2J 1R3
Bus: 888 774 2606 Cell: 416 302 8776

GENERAL NOTES:
IF THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT, THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR. UPON WRITTEN APPLICATION THE ARCHITECT WILL PROVIDE WRITTEN GRAPHIC CLARIFICATION OR SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE CONTRACT DOCUMENTS. THE ARCHITECT WILL REVIEW SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR DESIGN CONFORMANCE ONLY.
DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING WORK.
SPECIFICATIONS OF EXPOSED OR FINISHED MECHANICAL OR ELECTRICAL DEVICES, FITTINGS, AND FEATURES ARE EXEMPTED ON THE ARCHITECTURAL DRAWINGS. THE LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS GOVERN OVER THE MECHANICAL AND ELECTRICAL DRAWINGS. THOSE ITEMS NOT CLEARLY LOCATED WILL BE LOCATED AS DIRECTED BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
REVISIONS		
FABRICATION NOTES:		
- STEEL TO BE C40.21M-350W (W & L) (CLASS C HSS SECTIONS)		
- STEEL TO BE C40.21M-350W (PLATE & L & C SECTIONS)		
- ALL WELDS TO BE 1/8" (3.18MM) FULL PENETRATION		
- FABRICATION AND ERECTION CONFORM TO CAN CSA-S16-01		
- WELDING IN COMPLIANCE WITH CSA W17.1 AND ACCORDANCE WITH CSA STANDARDS W59		
- BOLTS ARE HIGH STRENGTH BOLTS COMPLYING WITH ASTM A325 UNLESS NOTED		
- FINISH ONE COAT PRIMER UNLESS NOTED OTHERWISE		
- ALL HOLES #21 UNLESS NOTED		
- VERIFY ALL DIMENSIONS ON SITE		

CLIENT:	
REFERENCE:	
SKETCH	

PROJECT:	PROJECT MONTH:
30 SIR BRANDILES PLACE	
DRAWING TITLE:	
DATE:	10/07/2017
SCALE:	NOTED
DESIGNED:	AB
CHECKED:	AB
PROJECTING:	1602
DRAWING NO:	08

T/O ROOF +6.398

TOP PLATE +6.093

T/O SECOND FLOOR +3.353

+3.048

T.O. GROUND FLOOR ±0.00

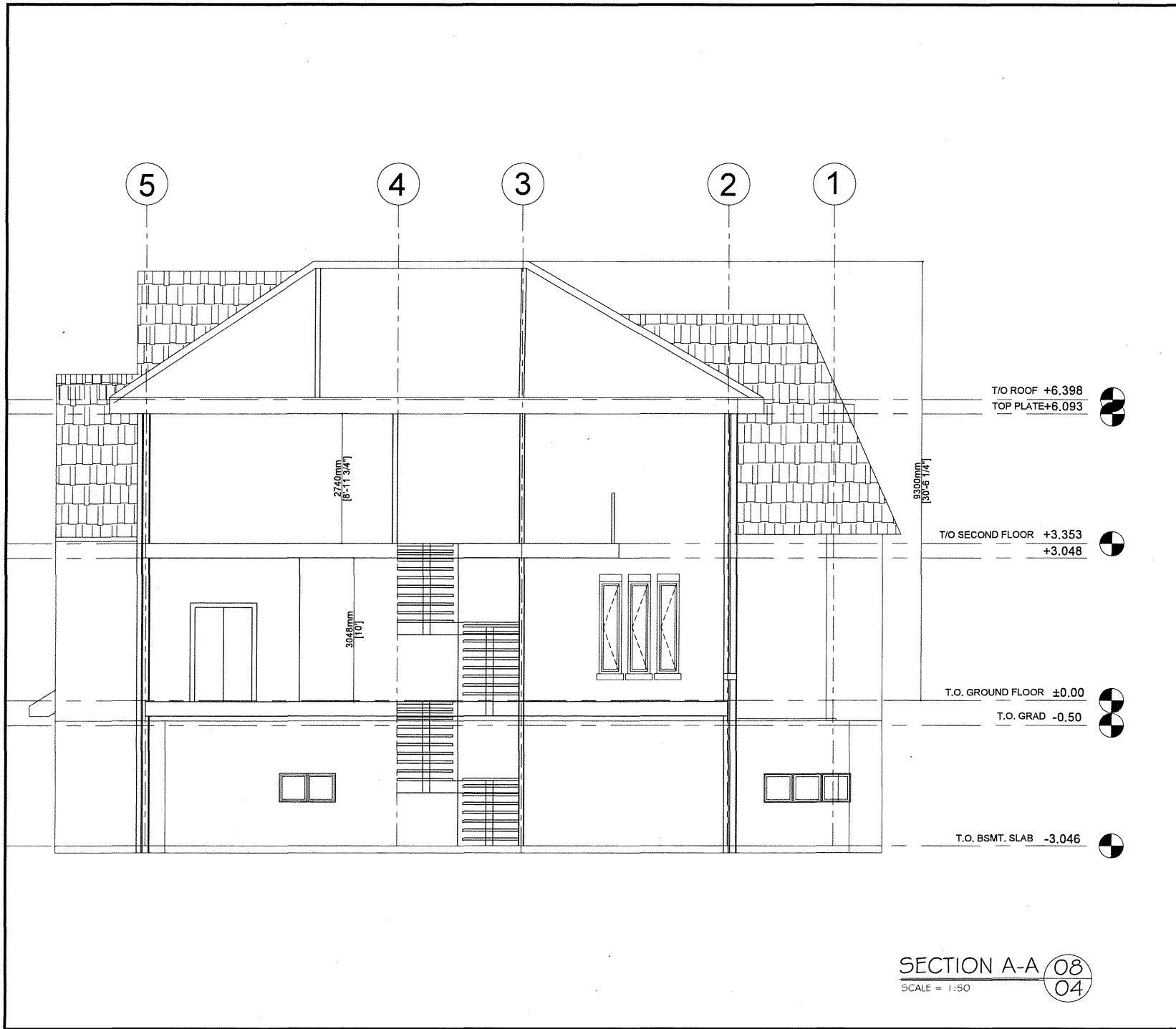
T.O. GRAD -0.50

T.O. BSMT. SLAB -3.046

NORTH ELEVATION

SCALE = 1:50

07
04



SECTION A-A (08/04)
SCALE = 1:50

CONSULTING INC. NORDICON

NORDICON CONSULTING INC
#1259, 251 Consumer Road,
North York, ON M2J 1R3
Bus: 888 774 2606 Cell: 416 302 8776

GENERAL NOTES
1/ THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE INTERPRETATIONS OF THESE DOCUMENTS BY THE CONTRACTOR, UNLESS WRITTEN APPLICATION OF THE ARCHITECT IS PROVIDED. WRITTEN GRAPHIC CLARIFICATION OR SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE CONTRACT DOCUMENTS, THE ARCHITECT WILL REVIEW SHIP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR DESIGN CONFORMANCE ONLY.
2/ DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING WORK.
3/ PORTIONS OF EXISTING OR FINISHED MECHANICAL OR ELECTRICAL SERVICES, FITTINGS, AND FIXTURES ARE LOCATED ON THE ARCHITECTURAL DRAWINGS. THE LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS GOVERN OVER THE MECHANICAL AND ELECTRICAL DRAWINGS. THOSE ITEMS NOT CLEARLY LOCATED WILL BE LOCATED AS DIRECTED BY THE ARCHITECT.

NO	DATE	DESCRIPTION
REVISIONS		
FABRICATION NOTES:		
- STEEL TO BE 345.21M-350M (W & A CLASS C HSS SECTIONS)		
- STEEL TO BE 345.21M-350M (PLATES & L & C SECTIONS)		
- ALL WELDS TO BE 60601M-60601M (ELECTRODE)		
- FABRICATION AND ERECTION CONFORM TO CAN/CSA-S16-01		
- WELDING IN CONFORMANCE WITH CSA W47.1 AND ACCORDANCE WITH CSA STANDARD 809		
- BOLTS ARE HIGH STRENGTH BOLTS COMPLYING WITH ASTM A308 UNLESS NOTED		
- FINISH: ONE COAT PRIMER UNLESS NOTED OTHERWISE		
- ALL HOLES #11 UNLESS NOTED		
- VERIFY ALL DIMENSIONS ON SITE		

CLIENT	
REFERENCE:	
SKETCH	

PROJECT	PROJECT NO.
30 SIR BRANDILES PLACE	
DRAWING TITLE	

DATE	10/07/2017	PROJECT NO.	1602
SCALE	NOTED	REV #	
DRAWN	M.SH	CHECKED	AB
			09

