

Memorandum to the City of Markham Committee of Adjustment

July 30, 2019

File: A/70/19
Address: 33 Roy Rainey Avenue, Markham
Applicant: Mittalkumari & Nilesh Patel
Agent: ASHRA PROFESSIONALS Inc.
Hearing Date: Wednesday August 07, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements the Residential Two-Special*99 (R2-S*99) zone of By-law 177-96, as amended, as they relate to a proposed basement apartment unit to permit:

- a) **Amending By-law 119-71, Section 1(9):**
a secondary suite in the basement of an existing residential dwelling, whereas the By-law permits no more than one dwelling unit on a lot;
- b) **Parking By-law 28-97, Section 3.0:**
a minimum of 2 parking spaces, whereas the By-law requires a minimum of 3 parking spaces.

BACKGROUND

Property Description

The subject property is located on the east side of Roy Rainey Avenue, which is north of 16th Avenue and east of Alexander Lawrie Avenue. The property is located within a residential neighbourhood comprised of two-storey detached dwellings. There is an existing two-storey detached dwelling on the property, which according to assessment records was constructed in 2005. Mature vegetation exists across the property.

Proposal

The applicant is requesting permission for a secondary suite in the basement of the existing dwelling. The proposal includes two new egress windows at the rear of the existing dwelling. The proposed secondary suite would have direct and separate access provided by a proposed door at the rear of the dwelling. No other changes are proposed to the exterior of the dwelling or the property.

Provincial Policies

Strong Communities through Affordable Housing Act - Province of Ontario

In 2011, the Strong Communities through Affordable Housing Act amended various sections of the Ontario Planning Act to facilitate the creation of second units by:

- Requiring municipalities to establish Official Plan policies and Zoning By-law provisions allowing secondary units in detached, semi-detached and row houses, as well as in ancillary structures
- Providing authority for the Minister of Municipal Affairs and Housing to make regulations authorizing the use of, and prescribing standards for, second units.

Under the *Strong Communities through Affordable Housing Act*, 'Second Units' also known as secondary suites are defined as "self-contained residential units with kitchen and bathroom facilities within dwellings or within structures accessory to dwellings."

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The 2014 Official Plan designates the subject property "Residential Low Rise", which provides for low rise housing forms including single detached dwellings. The definition of a "Secondary Suite" in the 2014 Official Plan is "a second residential unit in a detached house, semi-detached house or rowhouse that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking, sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons."

Section 8.13.8 states that it is the policy of Council that in considering an application to amend the zoning by-law to permit the establishment of a secondary suite where provided for in the 2014 Official Plan, that Council shall be satisfied that an appropriate set of development standards are provided for in the zoning by-law including:

- a) The building type in which the secondary suite is contained;
- b) The percentage of the floor area of the building type devoted to the secondary suite;
- c) The number of dwelling units permitted on the same lot
- d) The size of the secondary suite;
- e) The applicable parking standards; and
- f) The external appearance of the main dwelling.

As part of the City initiated zoning by-law consolidation project, Council recently considered the issue of second suites within the City. On May 29th, 2018, Council voted not to permit second suites as of right in any single detached, semi-detached, or townhouse dwelling.

Zoning By-Law 177-96

The subject property is zoned Residential Two - Special (R2S*99) under By-law 177-96, as amended, which permits a single detached dwelling. Exception *99 provides for specific zone standards for;

- Minimum required side yard on a lot where a side lot abuts a lane (1.2 m);
- Minimum setback for a driveway that crosses the front lot line from the interior side lot line (0.3 m);
- Minimum lot depth of a wide shallow lot (24.5 m); and
- That provisions from Table B2 – Part 3 and Table B3 – Part 3 apply to all lots (which wide-shallow lot standards to be applicable to all types of lots).

Section 6.5 of the By-law permits only one dwelling on a lot the applicant has therefore submitted a variance application to permit an accessory unit that is proposed in the basement of the existing dwelling

Parking Standards By-law 28-97

The proposed secondary suite also does not comply with the parking requirements for the number of spaces required in Parking By-law 28-97. Further details of the parking requirement are provided in the comment section below.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, "a) *The proposed secondary suite would have direct and separate access provided by a door on the East side (back of the house) of the building. B) Building has min. 2 car parking spaces*".

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Secondary Suites

Engineering staff confirmed that the existing sanitary sewer system has adequate capacity to accommodate the secondary suite and the Fire and Emergency Services Department has no objections provided the secondary suite is registered with the City and complies with Building and Fire Codes. Should this application be approved, the applicant will be required to obtain a building permit which ensures the secondary suite will be in compliance with Building Code and Fire Code regulations.

The City of Markham is committed to promoting affordable and shared housing opportunities. Secondary suites help the City increase the availability of affordable housing forms and provide support to achieve its affordable housing target required by the Province. Planning staff are of the opinion that the application meets the criteria under Section 8.13.8 of the 2014 Official Plan for the establishment of a secondary suite and therefore have no objections.

Reduced Parking Spaces

Parking Standards By-law 28-97 requires two parking spaces be provided for the principal dwelling unit, plus one additional space for an accessory dwelling unit or secondary suite. The existing single-car garage and driveway currently provide a total 2 parking spaces. The existing driveway and front yard are paved, the applicant will be required to comply with soft landscaping requirements provided for in the Parking By-law.

Staff are of the opinion that to ensure the second suite remains inconspicuous from the street, and that the character of the dwelling and neighbourhood does not change, no additional parking should be required. Staff are also of the opinion that the parking issue may be considered "self-regulating", as the unit would only be of interest to a tenant that does not require a parking space, in the event that both parking spaces are required for use by the owner of the dwelling. It is noted that no overnight parking is permitted on this street, and violators would be ticketed nightly.

PUBLIC INPUT SUMMARY

No written submissions were received as of July 30th, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

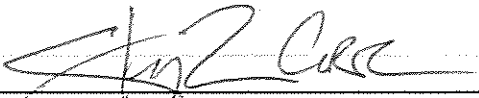
The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:


Aqsa Malik, Planner I, East District

REVIEWED BY:


Stephen Corr, Senior Planner, East District
File Path: Amanda\Files\19 126927 \Documents\District Team Comments Memo

APPENDIX "A"

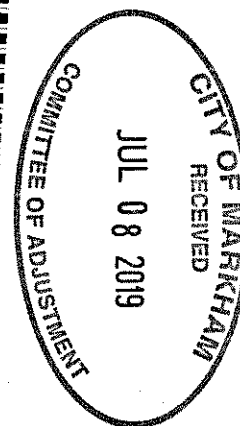
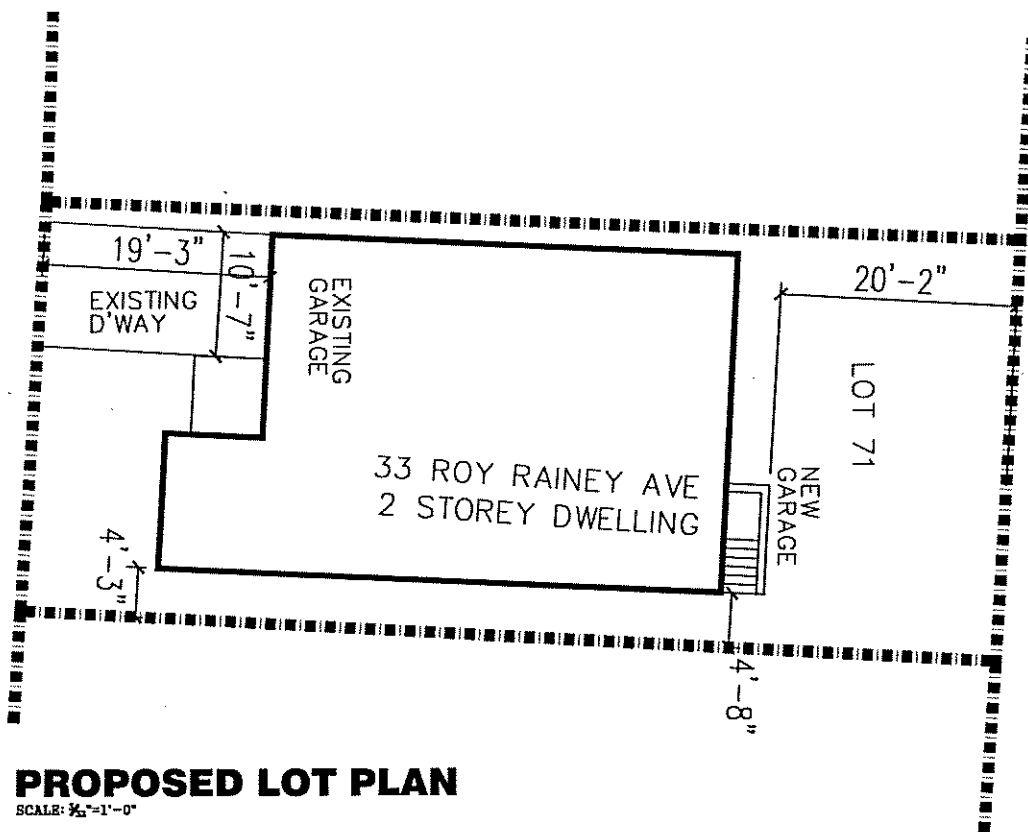
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/70/19

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on July 8th, 2019, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite; and
4. That the Owner register the home as a two-unit house with the City of Markham Fire & Emergency Services Department, and satisfy any and all conditions for registration, to the satisfaction of the Fire Chief.

CONDITIONS PREPARED BY:



Aqsa Malik, Planner I, East District




PROPOSED LOT PLAN

SCALE: 1/8"=1'-0"

NOTE:

NO CHANGES TO EXISTING GRADES, GFA, FSI, LOT COVERAGE

	PROJECT: SECOND SUITE WALKOUT		
	33 Roy Rainey Ave Markham, ON L4X 1B7		
	Engineer: HETAL PARMAR		
	SCALE: 1/8"=1'-0"	DATE: APRIL 2019	
	PROPOSED LOT PLAN	SA 01	

3 - ALL DIMENSIONS IN SI UNITS OR FEET & INCHES

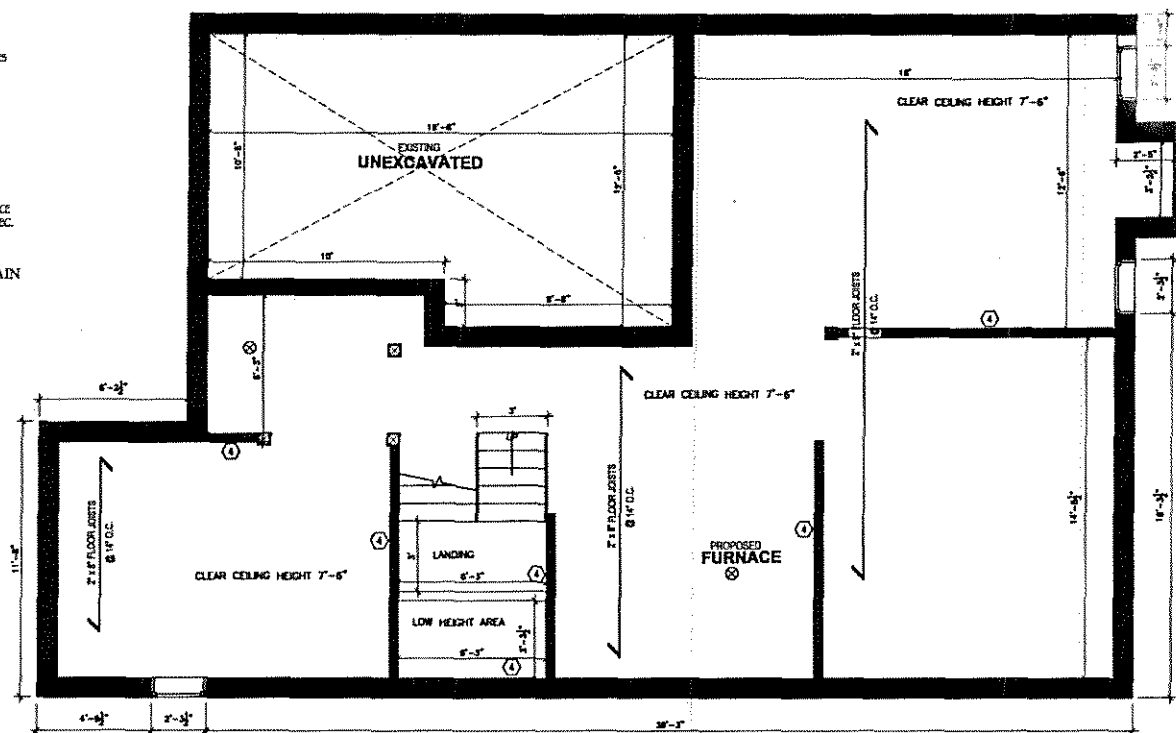
2. CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREIN AND ANY APPLICABLE ACTS OF HAVING JURISDICTION (THE LATEST VERSION OF STANDARDS AND CODES SHALL APPLY).

3- THE CONTRACTOR SHOULD VISIT THE SITE AND BECOME FAMILIARIZED WITH ALL CHARACTERISTICS AFFECTING NOW AND DURING CONSTRUCTION. CONTRACTOR SHALL CHECK ALL DIMENSION ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS, OR REVISIONS MUST BE REPORTED TO ENGINEER BEFORE PROCEEDING WITH WORK.

4. ALL WORKS IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O. REG. 23 (9) LOADING

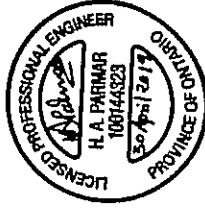
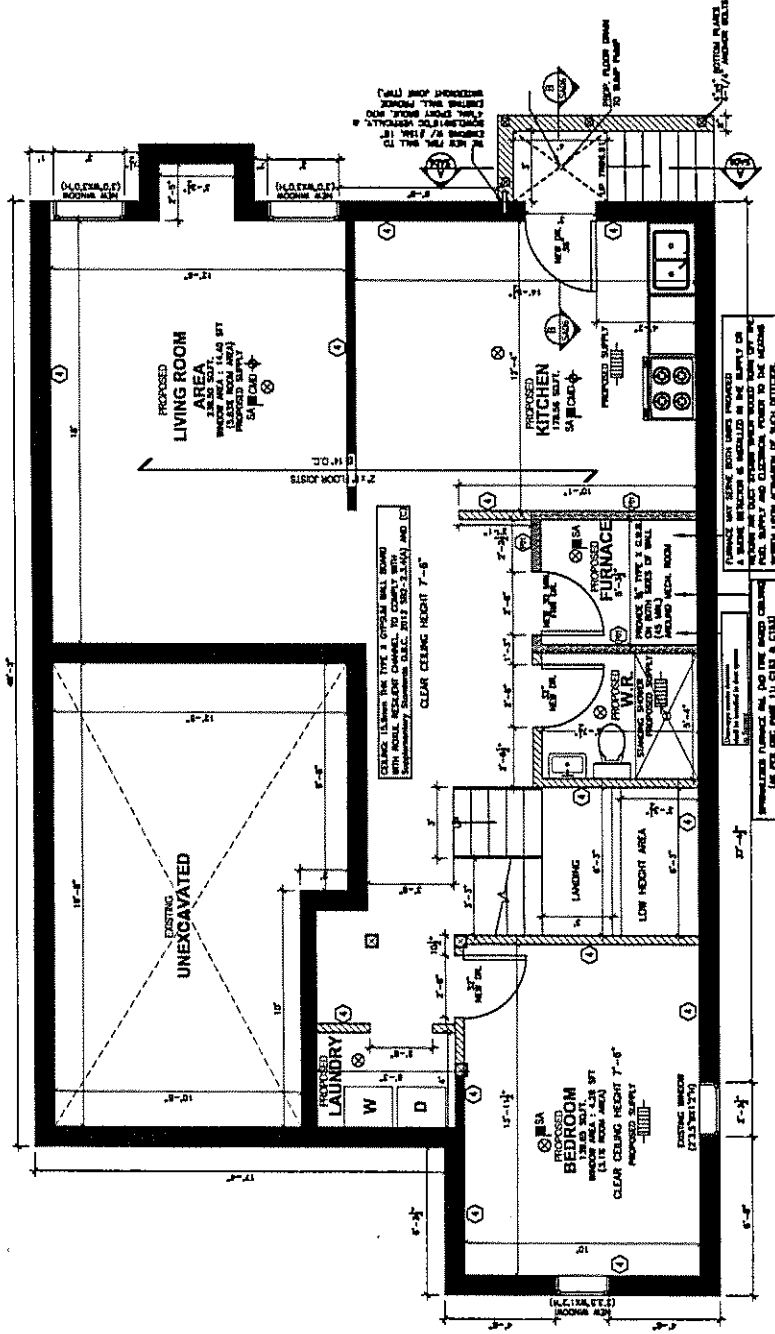
5- THE DESIGN LOADS FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2012 CBC DIV 8 PART 4 AND 2010 NBC

WALL TO REMAIN



SCALE: $\frac{3}{8}" = 1' - 0"$





PROPOSED BASEMENT PLAN

SCALE: 3/16"=1'-0"

- WALL TO REMAIN

HN
Hetal Nirav

SCALE: NTS

Engineer: HETAL PARMAR

PROJECT: SECOND SUITE
13 Bayview Ave., Unit 101, Toronto, ON M5S 1A5

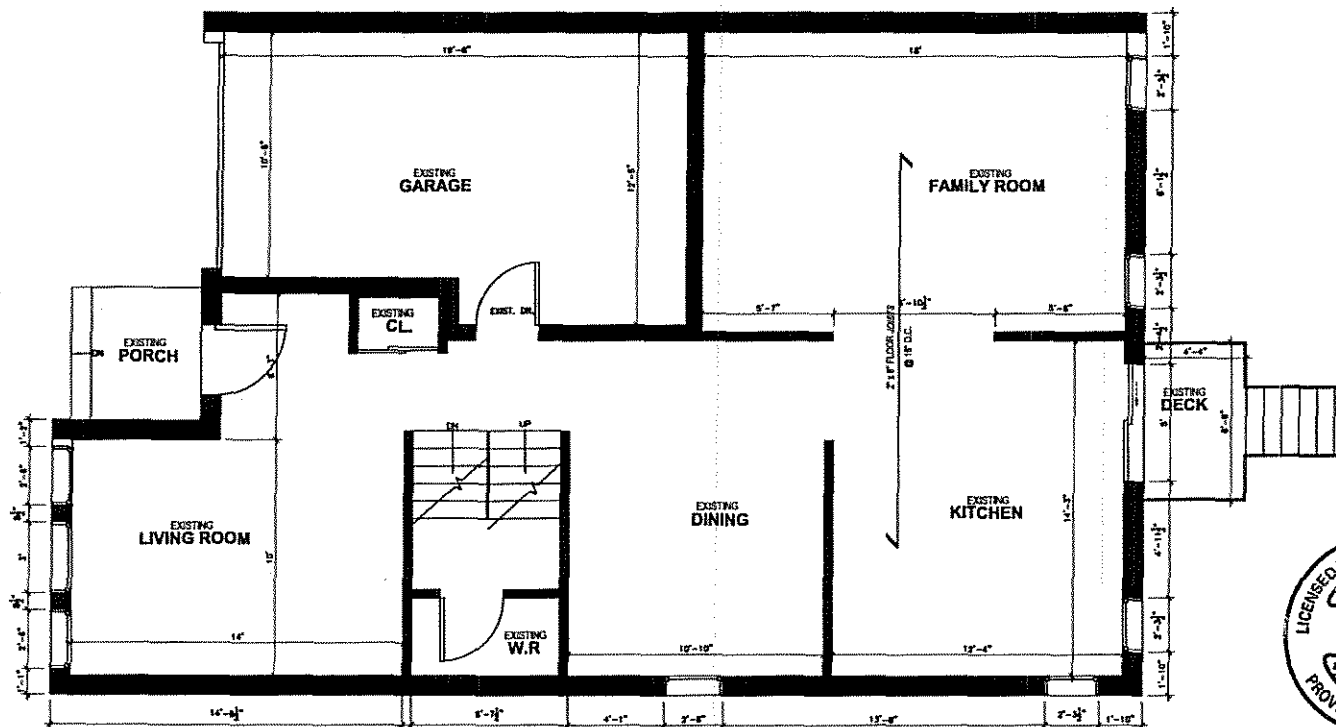
PROPOSED BASEMENT
FLOOR PLAN

DATE: APRIL 2019
SA 03

GENERAL NOTES

- 1- ALL DIMENSIONS IN SI UNITS IN FEET & INCHES
- 2- CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREIN AND ANY APPLICABLE ACTS OF PARLIAMENT (THE LATEST VERSION OF STANDARDS AND CODES SHALL APPLY).
- 3- THE CONTRACTOR SHOULD VISIT THE SITE AND BECOME FAMILIARIZED WITH ALL CHARACTERISTICS AFFECTING NEW AND EXISTING CONSTRUCTION. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS, OR REVISIONS MUST BE REPORTED TO ENGINEER BEFORE PROCEEDING WITH WORK.
- 4- ALL WORKS IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS (O. REG. 23/01) LOADING
- 5- THE DESIGN LOADS FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2012 CBC DIV B PART 4 AND 2010 NBC.

— WALL TO REMAIN



EXISTING MAIN FLOOR PLAN

SCALE: 3/16"=1'-0"



H
Hetal.Nirav
Professional Engineer

SCALE: NYS

Engineer: HETAL PARMAR

PROJECT: SECOND SUITE
23 Bay Railway Ave Markham, ON L3R 1S7

EXISTING MAIN FLOOR
PLAN

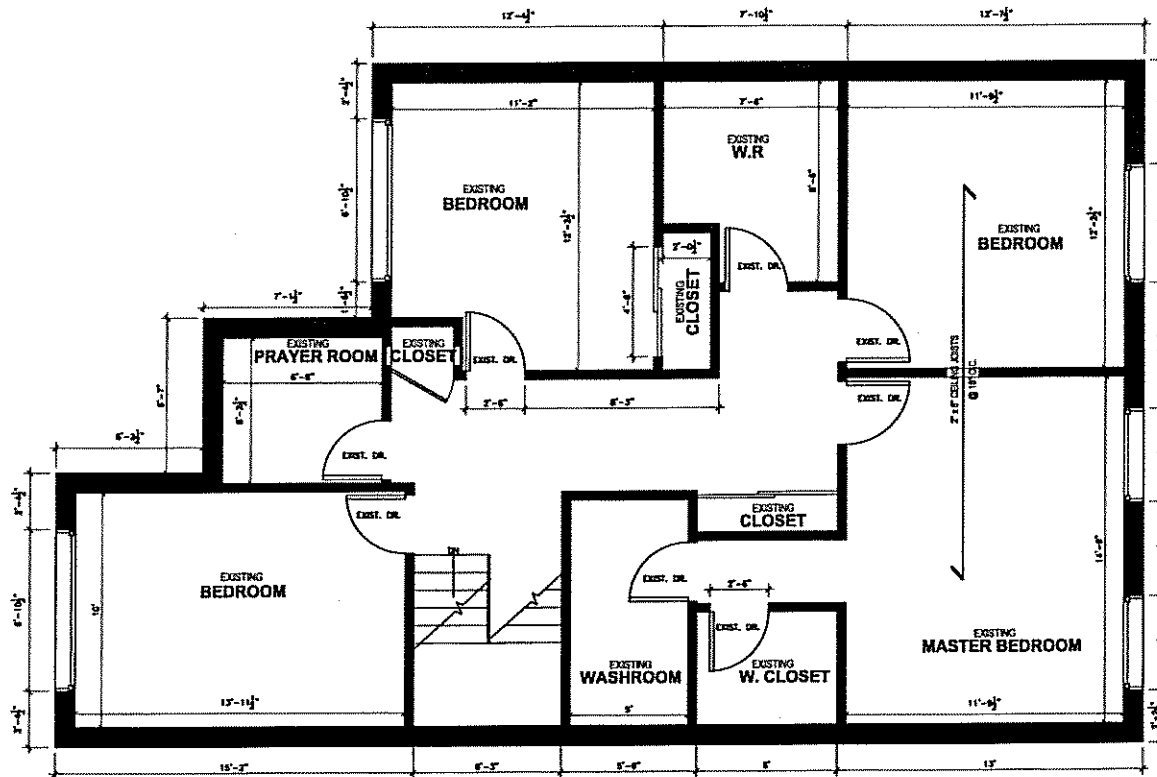
DATE: APRIL 2019

SA 04

GENERAL NOTES

1. ALL DIMENSIONS IN 3 UNITS IN FEET & INCHES
2. CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREON AND ANY APPLICABLE ACTS OF HAVING JURISDICTION (THE LATEST VERSION OF STANDARDS AND CODES SHALL APPLY).
3. THE CONTRACTOR SHOULD VISIT THE SITE AND BECOME FAMILIARIZED WITH ALL CHARACTERISTICS AFFECTING NEW AND EXISTING CONSTRUCTION. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS, OR REVISIONS MUST BE REFERRED TO ENGINEER BEFORE PROCEEDING WITH WORK.
4. ALL WORKS IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. O. REG. 23/01 LOADING
5. THE DESIGN LOADS FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2012 OBC DIV B PART 4 AND 2010 NBC.

— WALL TO REMAIN



EXISTING SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



SCALE: NTS

Engineer: HETAL PARMAR

PROJECT: SECOND SUITE
33 Key Rainey Ave Markham, ON L4E 2B7

EXISTING 2ND FLOOR
PLAN

DATE: APRIL 2019

SA 05

GENERAL NOTES

1. FOOTINGS

610x205mm POURED CONC. FOOTING
ALL FOOTINGS SHALL REST ON
NATURAL UNDISTURBED SOIL OR
COMPACTED GRANULAR FILL

2. CONCRETE

MINIMUM COMPRESSIVE STRENGTH
OF 4650 PSI @ 28 DAYS W/
5% TO 8% AIR ENTRAINMENT

3. EXTERIOR STAIRS

200 RISE MAXIMUM 125 MINIMUM
210 RUN MAXIMUM 355 MAXIMUM
235 TREAD MINIMUM 355 MAXIMUM

4. INSULATION

MINIMUM R8 INSULATION & VAPOUR
BARRIER ON THE INSIDE FACE OF
THE EXPOSED FOUNDATION WALL

5. RETAINING WALL

10" POURED CONCRETE WALL
15M REBARS EVERY 24"

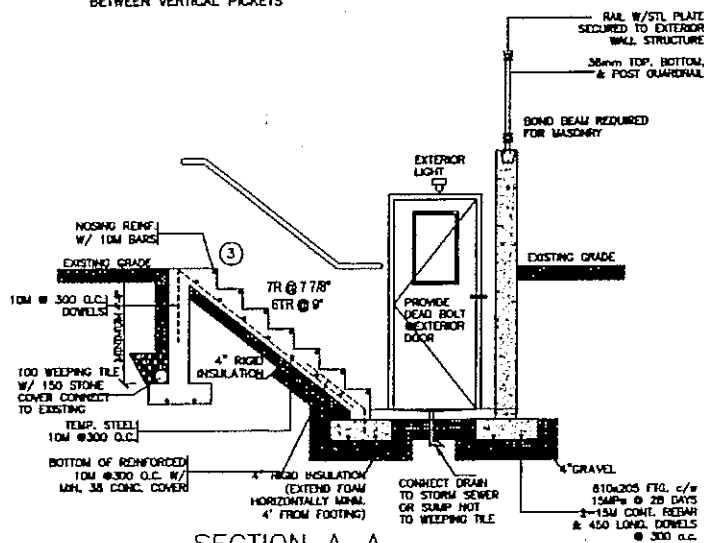
6. GUARDS

1070 HIGH WHERE DISTANCE FROM GRADE
TO BOTTOM OF WALKOUT EXCEEDS 1800;
890 FOR LESSER HEIGHTS, MAXIMUM 100
BETWEEN VERTICAL PICKETS

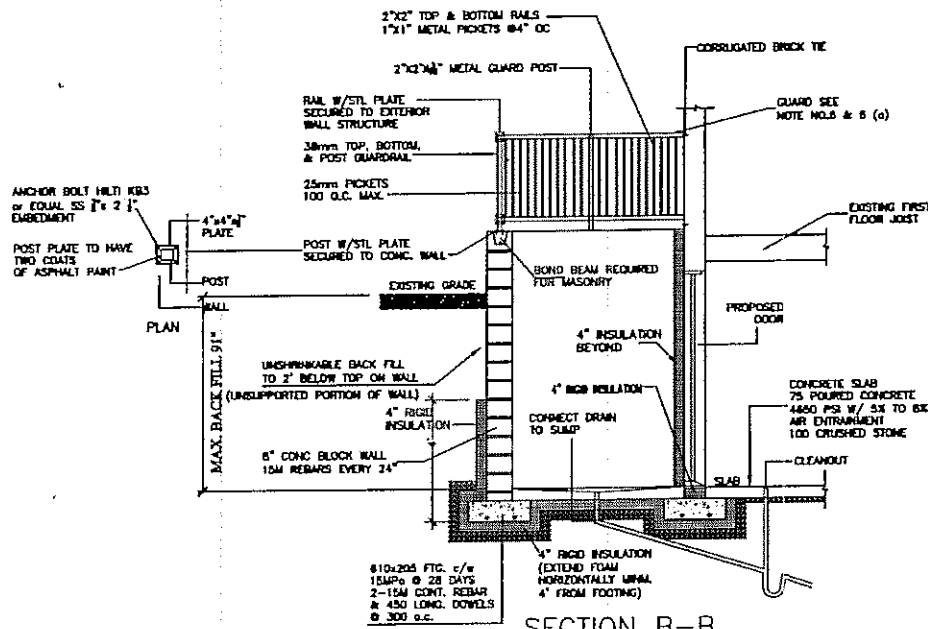
7. LINTELS

1. SOLID MASONRY: 2-3 1/2"x3 1/2"x1/4" ANGLES
2. BRICK VENEER: 1- 3 1/2"x3 1/2"x1/4" L + 2-2XB
3. WOOD FRAME/SIDING: 2-2"XB

(a) NOTE: GUARD RAIL DESIGN MUST:
1. CONFORM TO THE REQUIREMENTS OF SUPPLEMENTARY STANDARDS S2-7 OF THE ONTARIO BLDG. CODE
2. VERTICAL RAILS & PICKETS HAVE BEEN DESIGNED IN ACCORDANCE WITH 2012 OBC SECTION 9.8.8.2 & NBC SECTION 9.8.8.2 FOR THE FOLLOWING LOADS:
i) 113 LB (0.5 kN) HORIZONTAL CONCENTRATED LOAD AT ANY POINT APPLIED OVER AN AREA 300mmx300mm.
ii) A UNIFORM VERTICAL LOAD OF 100 PLF (1.3 kN/m) APPLIED TO THE TOP OF THE GUARD.
3. FLAT TOP RAIL DESIGNED TO RESIST THE FOLLOWING HORIZONTAL LOADS:
i) 0.5 kN/m (34 lb/ft) OR
ii) 1.0 kN (225 lb) CONCENTRATED LOAD AT ANY POINT



SECTION A-A



SECTION B-B

PROPOSED WALKOUT SECTIONS



SCALE: NTS

Engineer: HETAL PARMAR

PROJECT: SECOND SUITE
34 Woodbine Trl, Scarborough, ON M1H 1K1

35 ROY RAINEY AVE. MARKHAM ON L6E

PROPOSED WALKOUT
SECTIONS

DATE: APRIL 2019

SA 06

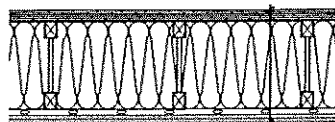
(P0) as per SB-3

INTERIOR PARTITIONS WITHIN UNITS

AT STAIRCASE 1 HOUR FIRE RATED

Construction complies with supplementary standards to the O.B.C 2012 SB-3 table 1 wall number W4b

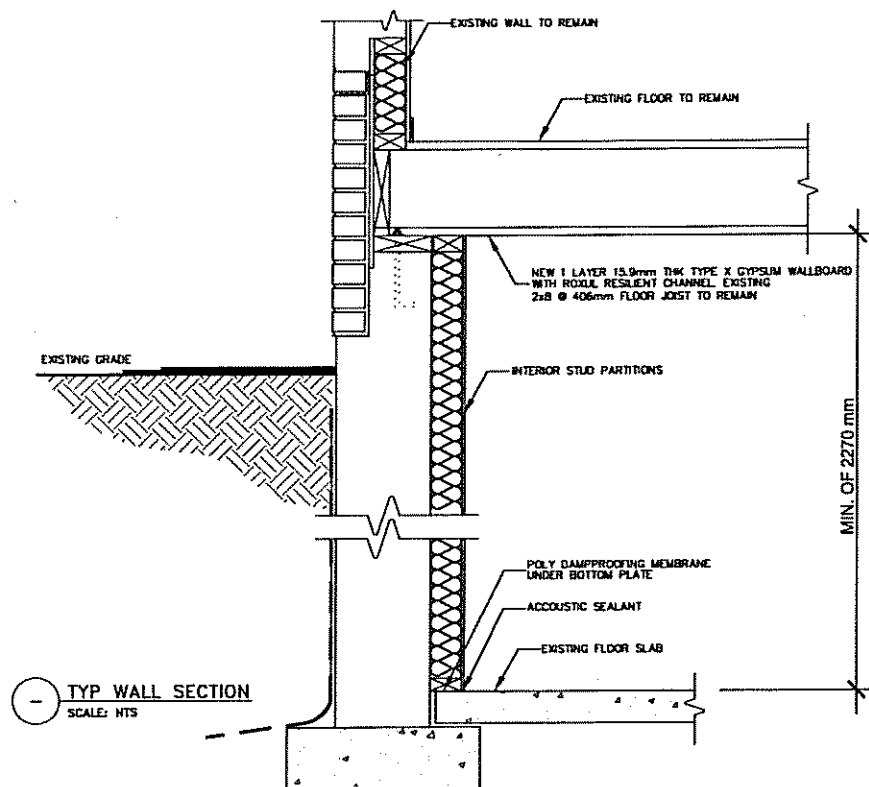
- 38 X 89 mm (2 X 4) wood studs at 400 mm (16") o.c.
- single 38 X 89 mm (2 X 4) top and bottom plates
- 89mm (3 1/2") thick absorptive material processed from rock, slag, glass, or cellulose fibre on one side
- Resilient channel @ 400mm o.c. on one side of wall
- 2 layer 15.9mm (5/8") type "X" gypsum board on resilient metal channel side
- 15.9 mm (5/8") type "X" drywall on other side



as per SB-2

Supplementary Standards O.B.C. 2012 SB2-2.3.4(A) AND (C)

- 15.9mm Plywood OR OSB
- Wood Floor Joists @ 19" o.c. Max.
- Fill Floor Space w/ "ROXUL" Insul.
- Resilient Metal Channels @ 600mm o.c.
- 1-Layer Of 15.9mm Type X G.W.B.



DETAIL



2 FOUNDATION WALL:

250mm (10") POURED CONCRETE BLOCK TO A MIN. OF 6" ABOVE THE APPROVED FINISHED GRADES
WITH 20M BARS @ 24" O.C. VERTICAL ON 22"x8" CON'T CONC. FOOTINGS WITH 2-15M BARS CONTINUOUS. DOWELS TO MATCH VERT. REINF.
WITH 1/2" BITUMINOUS DAMPPROOFING ON MIN. 1/4" PARING (OPT. DRAINAGE LAYER)
LATERAL SUPPORT 2X4" SILL PLATE ANCHORED WITH 1/2" DIA ANCHOR BOLTS 12" LONG MIN SET 5" INTO CONC. AT 6"-0" O.C. MAX.
MAX. HEIGHT OF BACKFILL FROM TOP OF BASEMENT SLAB NOT TO EXCEED 7'-7".
FOUNDATION WALLS TO BE ADEQUATELY BRACED PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURALLY UNDISTURBED SOIL ASSUME MIN SOIL BEARING CAPACITY TO 75MPa. BACKFILL WITH SUSCEPTIBLE SOIL (NONSHRINK)

4. INTERIOR STUD PARTITIONS

-BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS. NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2"x4") TOP PLATE. 15mm (1/2") INTERIOR DRYWALL BOTH SIDES OF STUD, PROVIDE 38x140 (2"x6") @ 400mm (16") O.C. STUDS/PLATES WHERE NOTED. NON-BEARING PARTITIONS 38x89 (2"x4") OR 38x140 (2"x6") @ 400mm (16") O.C.

10. ALL STAIRS/EXTERIOR STAIRS -OBC 9.8.-

MAX. RISE = 200 (7-7/8")
MIN. RUN = 210 (8-1/4")
MIN. TREAD = 235 (9-1/4")
MAX. NOSING = 25 (1")
MIN. HEADROOM = 1950 (6'-5")
RAIL @ LANDING = 900 (2'-11")
RAIL @ STAIR = 800 (2'-8")
MIN. STAIR WIDTH = 860 (2'-10")

FOR CURVED STAIRS

MIN. AVG. RUN = 150 (6")
MIN. RUN = 200 (8")

11. FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS.

GUARDS -OBC 9.8.8.

INTERIOR GUARDS: 900mm (2'-11") MIN.
EXTERIOR GUARDS: 1070mm (3'-6") MIN.

13. R20INSULATION BLANKET OR BATTS WITH 2"x4" STUD WALL, AND APPROVED VAPOUR BARRIER FULL HEIGHT

GRADE DAMPPROOF W/ BLDG. PAPER BETWEEN MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. PROVIDE DUCT SCREEN AS PER O.B.C. 9.32.3.12

28. STUD WALL REINFORCEMENT 9.5.2.3.

PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BAR INSTALLATION IN MAIN BATHROOM, 840-920mm (33"-36") A.F.F. BEHIND TOILET, 850mm (33") A.F.F. ON THE WALL OPPOSITE THE THE ENTRANCE TO THE BATHTUB OR SHOWER

INSULATION VALUES UPDATED AS PER SB-12 O.B.C.

LEGEND

	FD	FLOOR DRAIN
	DJ	DOUBLE JOIST
	TJ	TRIPLE JOIST
	LVL	LAMINATED VENEER LUMBER
	PL	POINT LOAD FROM ABOVE
	P.T.	PRESSURE TREATED LUMBER
	G.T.	GIRDER TRUSS BY ROOF TRUSS MANUF.
	R.R.	ROOF RAFTERS
	C.J.	CEILING JOISTS

SA SMOKE ALARM (REFER TO OBC 9.10.19)

PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS.

CMD

CARBON MONOXIDE DETECTOR (OBC 9.33.4)

* CHECK LOCAL BYLAWS FOR REQUIREMENTS *

WINDOWS:

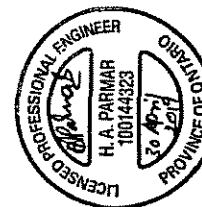
- 1) MINIMUM BEDROOM WINDOW -OBC 9.7.1.3.-
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
- 2) WINDOW GUARDS -OBC 9.7.1.6.-
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
- 3) WINDOW OVER STAIRS & LANDINGS -OBC 9.7.5.3.-
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 900mm (2'-11") ABOVE THE SURFACE OF THE TREAD, RAMP OR LANDING

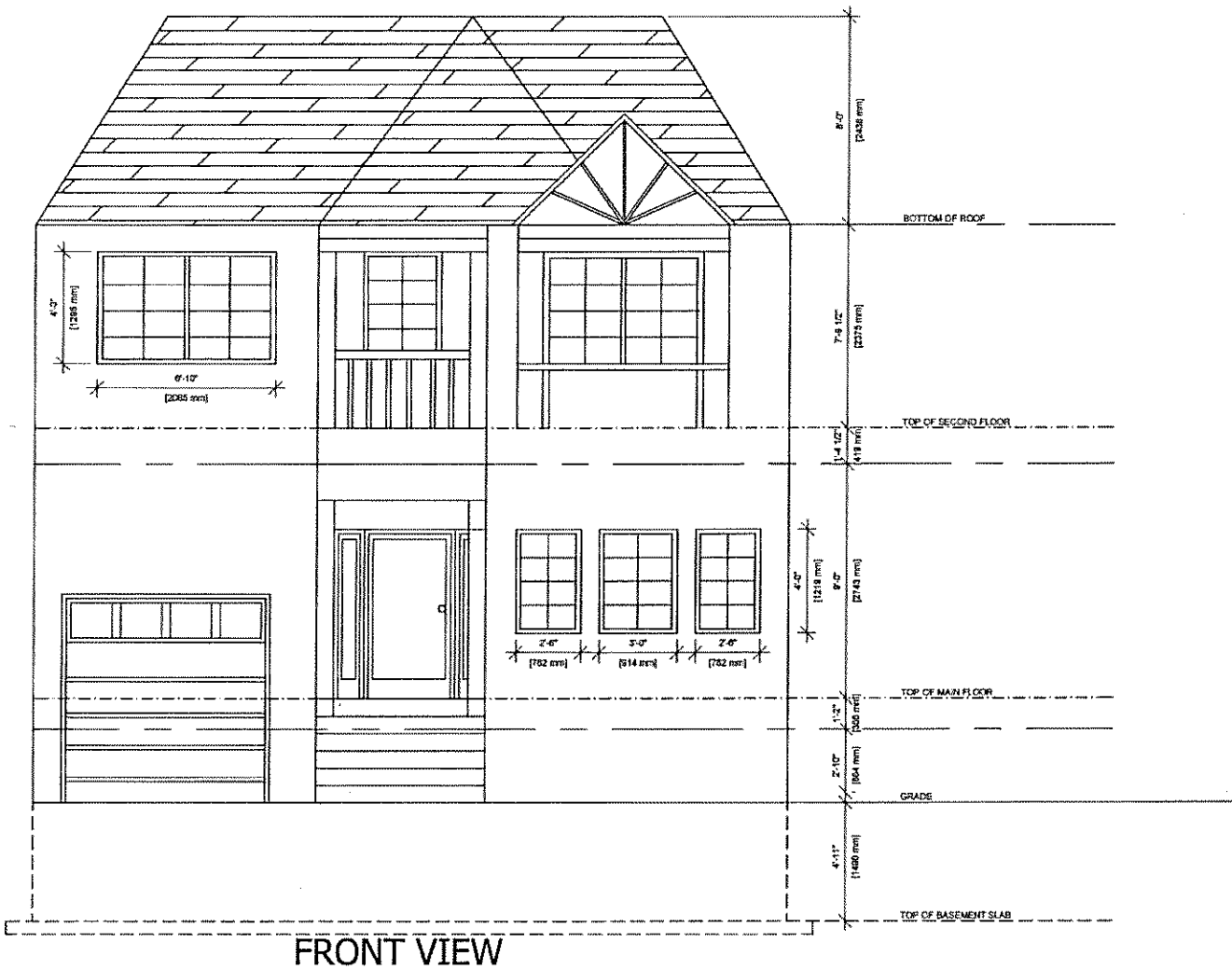
LUMBER:


- 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.
- 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
- 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
- 4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
- 5) LVL BEAMS SHALL BE 2.0E WS MICRO-LAM LVL (Fb=2800psi MIN.) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184,240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.
- 6) PROVIDE TOP MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY MGA CONNECTOR LTD. Tel. (905) 642-3175 OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE.
- 7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.
- 8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil. POLYETHYLENE FILM, No.50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.
- 9) TERMITE & DECAY PROTECTION
IN LOCATIONS WHERE TERMITES ARE KNOWN TO OCCUR, CLEARANCE BETWEEN STRUCTURAL WOOD ELEMENTS AND THE FINISHED GROUND LEVEL DIRECTLY BELOW THEM SHALL BE NOT LESS THAN 450mm (17 3/4") AND ALL SIDES OF SUPPORTING ELEMENTS SHALL BE VISIBLE TO INSPECTION.
STRUCTURAL WOOD ELEMENTS, SUPPORTED BY WOOD ELEMENTS IN CONTACT WITH THE GROUND OR OVER EXPOSED BARE SOIL SHALL BE PRESSURE TREATED WITH CHEMICAL THAT IS TOXIC TO TERMITES

STEEL:

- 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
- 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.






 80 Hanlan Road, Unit #4
 Woodbridge, ON, L4L 3P6
 647 717 5776
 Ashra Professionals Inc.

We warrant that we have prepared the drawings in accordance with the standards of the profession and that we are a duly licensed professional engineer or architect in the Province of Ontario.

ADDRESS:
 33 ROYRAINTY AVE,
 MARKHAM ON L6E 2B7

PROJECT NAME:
 BUILDING PERMIT FOR BASMENT RENOVATION
 PROJECT

NOTES:

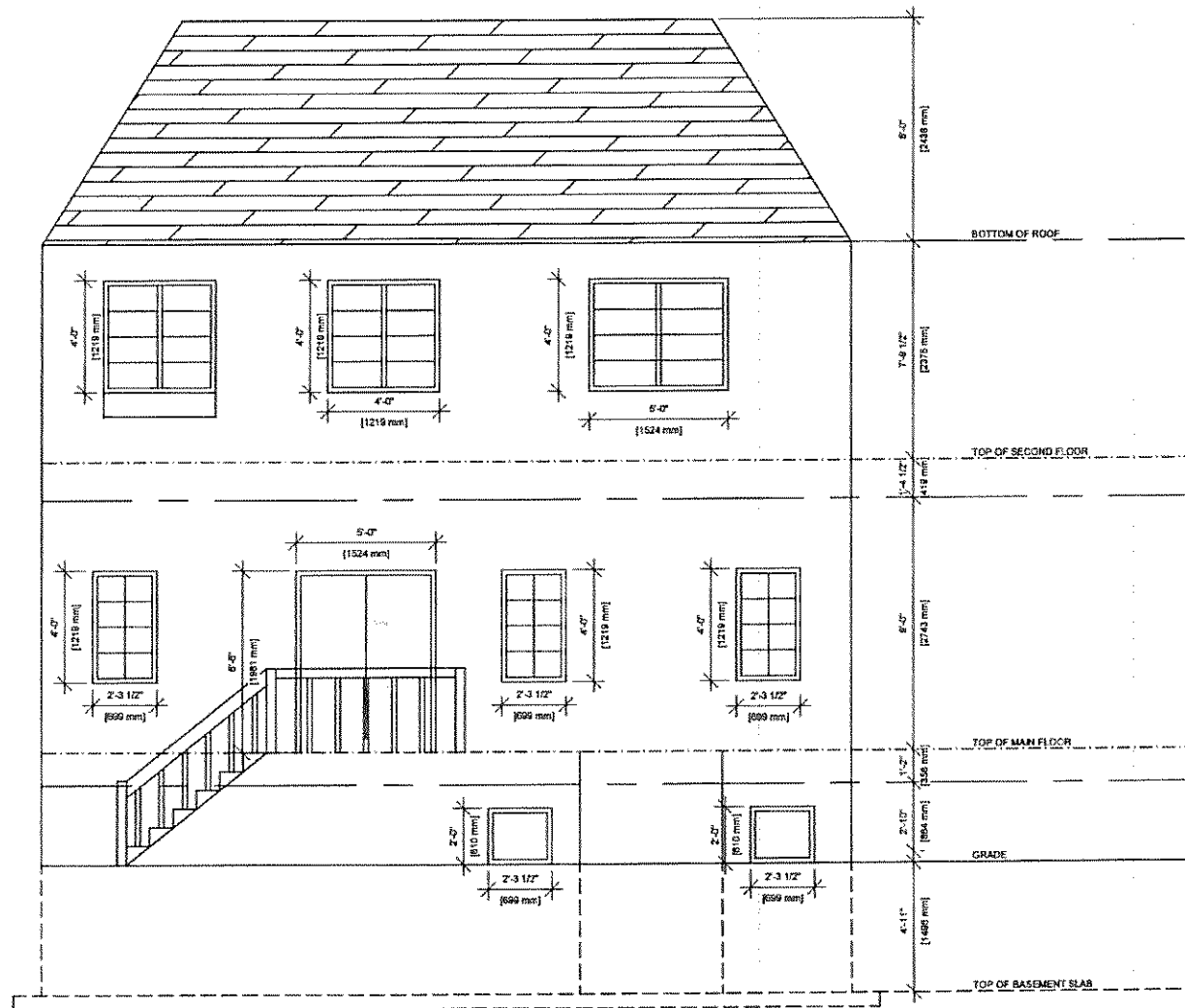


DWG NAME
 FRONT VIEW OF HOUSE

DWG SCALE

DRAWN BY	HP
CHECKED BY	HP
DATE	06/27/2019

DWG. NO.	A-01
SH. SIZE	11" x 17"



REAR VIEW

80 Hanlan Road, Unit #4
Woodbridge, ON, L4L 3P6
647 717 5776
Ashra Professionals Inc.

The Architectural Firm assumes no liability for the design, construction, or performance of the building or any part thereof.

ADDRESS:
33 ROYRAINTY AVE,
MARKHAM ON L6E 2B7

PROJECT NAME:

BUILDING PERMIT FOR BASEMENT RENOVATION
PROJECT

NOTES:

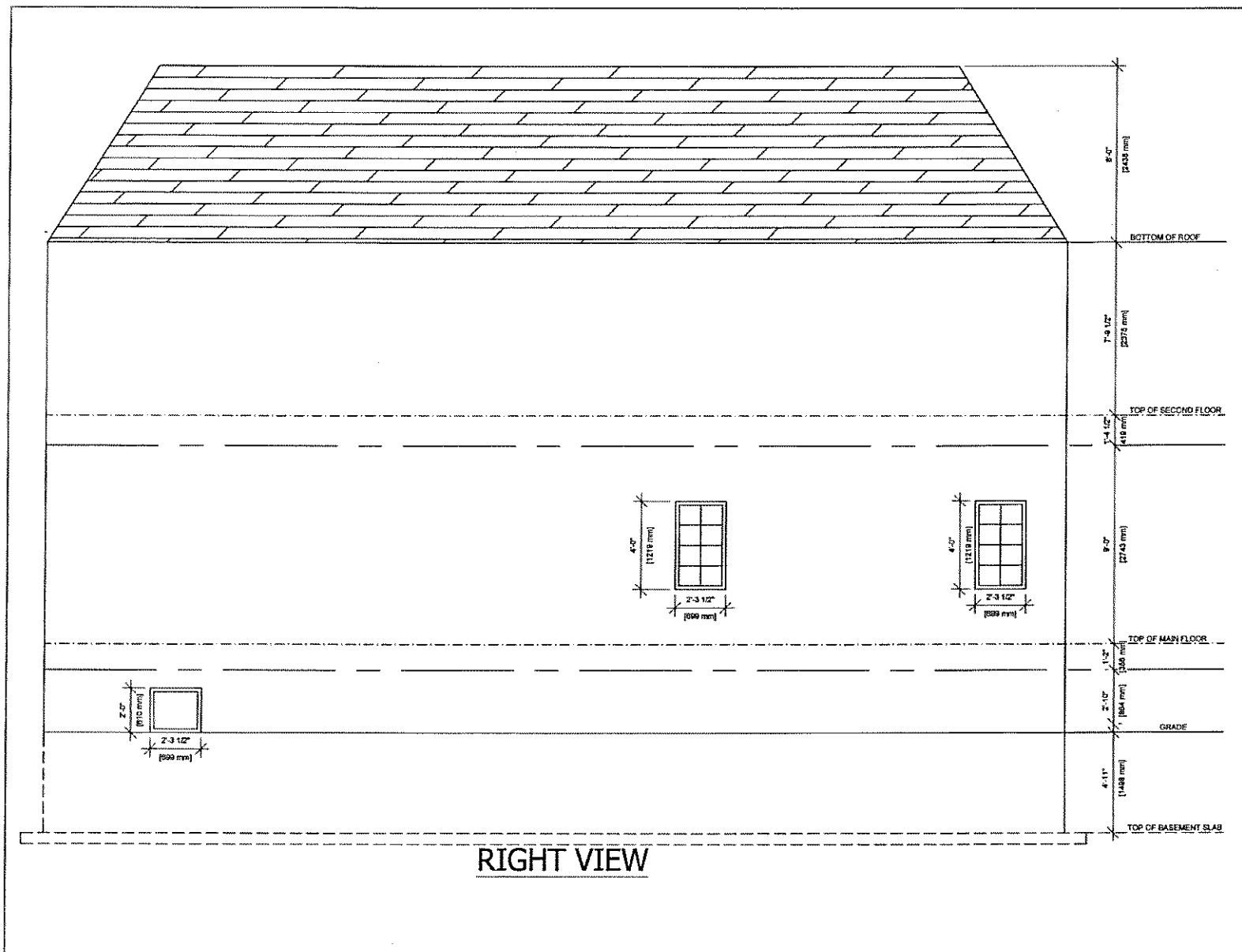




DWG NAME
REAR VIEW OF HOUSE

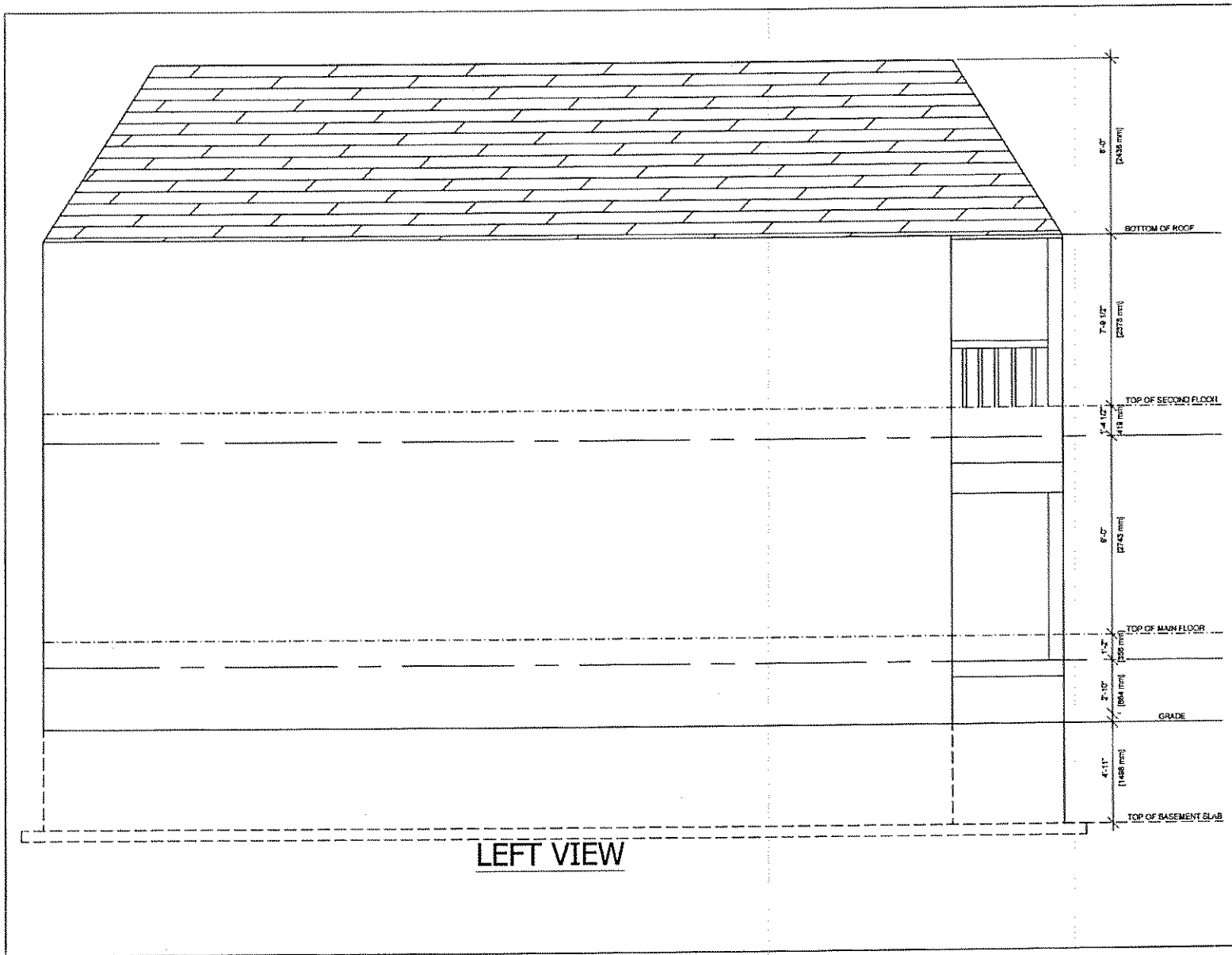
DWG SCALE


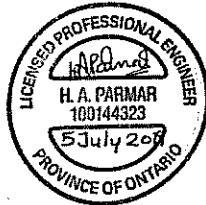
DRAWN BY	HP
CHECKED BY	HP
DATE	06/27/2019

DWG. NO.	A-02
SH. SIZE	11" x 17"



 80 Hanlan Road, Unit #4 Woodbridge, ON, L4L 3P6 647 717 5776 Ashra Professionals Inc.	
ADDRESS: 33 ROYRAINTY AVE, MARKHAM ON L6E 2B7	
PROJECT NAME: BUILDING PERMIT FOR BASEMENT RENOVATION PROJECT	
NOTES: <div style="text-align: center;">  </div>	
DWG NAME RIGHT VIEW OF HOUSE	
DWG SCALE	
DRAWN BY	HP
CHECKED BY	HP
DATE	06/27/2019
DWG. NO. A-03 SH. SIZE 11" x 17"	



 80 Hanlan Road, Unit #44 Woodbridge, ON, L4L 3P6 647 717 5776 Metal Nirav Ashra Professionals Inc	
We warrant that we have prepared a plan in accordance with the provisions of the Building Act, R.R.O. 1990, and the Building Code Act, R.R.O. 1990.	
ADDRESS: 33 ROYRAINTY AVE, MARKHAM ON L6E 2B7	
PROJECT NAME: BUILDING PERMIT FOR BASEMENT RENOVATION PROJECT	
NOTES:	
	
DWG NAME LEFT SIDE VIEW	
DWG SCALE	
DRAWN BY	HP
CHECKED BY	HP
DATE	06/27/2019
DWG. NO. A-04	
SH. SIZE 11" x 17"	