

1 SITE PLAN
SP-1 SCALE 1:200

ZONING MATRIX			
SITE AREA :			
PROPERTY AREA : (2.00 ACRES)	8,113.12	87,328.89	100.00
ASPHALT (DRIVEWAY & PARKING)	5,277.12	56,802.45	65.04
GRAVEL PADS (PARKING)	1,025.85	11,042.15	12.64
MISC. CONC. (ENTRANCES, WALKWAYS, PLANTERS)	17.12	184.27	0.22
SOFT LANDSCAPING (SOD/PLANTING)	424.13	4,565.29	5.23
BUILDING AREA (MEASURED TO EXTERIOR FACE)	1,368.90	14,734.72	16.87
BUILDING AREA:			
GROUND FLOOR BUILDING AREA	1,368.90	14,734.72	
SECOND FLOOR BUILDING AREA	180.00	1,937.50	
TOTAL BUILDING AREA:			
	1,548.90	16,672.22	
(No Deductions Taken)			
PARKING PROVIDED:			
	Required	Actual	
PARKING STALLS @ 1 PER 30m2 - OFFICE USES	6	24	
PARKING STALLS @ 1 PER 100m2 - INDUSTRIAL USES	14	24	
H.C. STALLS (INC. IN REQ. COUNT)	1	1	
TOTAL PARKING STALLS (BASED ON NO AREA DEDUCTIONS)	20	24	

2 SITE STATISTICS
SP-1

Contractor Must Check And Verify All Dimensions On The Job.

Do Not Scale The Drawings.

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No	Revision	Date

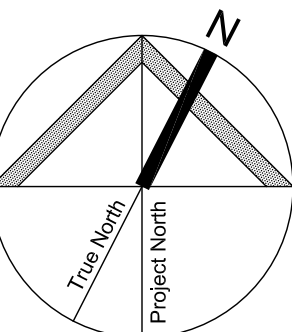
01	Planner / Zoning	June 6, 2019.
No	Issued For	Date

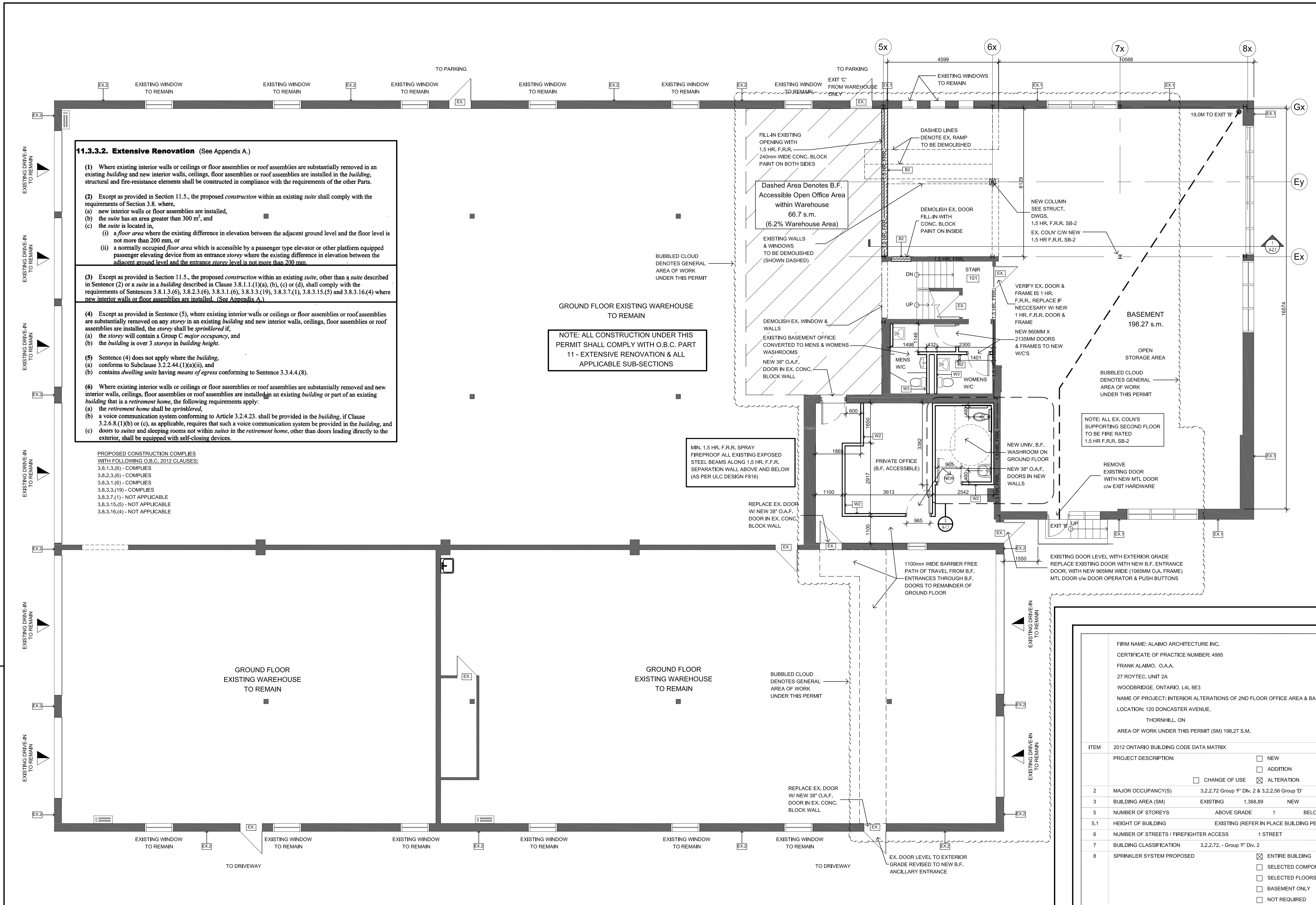
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Drawing Title
EXISTING SITE PLAN

Project
120 DONCASTER

120 DONCASTER AVENUE, THORNHILL, ON
AS NOTED Scale
F.A. Issued by
2017-013 File No.
2019-06-06 Plot Date





LEGEND	
	ALTERATION AREA
	HATCHED AREA DENOTES NOT IN THE SCOPE FOR THIS PERMIT
	EXISTING WALL TO REMAIN (REFER TO IN-PLACE BUILDING PERMIT)
	EXISTING DOOR TO REMAIN (REFER TO EXISTING BUILDING PERMIT)
	NEW DOOR SYMBOL (REFER TO DOOR SCHEDULE)
	NEW DOOR SYMBOL
	NEW ALUMINUM WINDOW SYMBOL
	EXISTING WALL SYMBOL (REFER TO EXISTING BUILDING PERMIT)
	NEW WALL SYMBOL (REFER TO WALL SCHEDULE)

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No	Revision	Date
1	Amendment to Issued B.P.	Aug. 20, 2018
2	B.P. Resubmission	Nov. 13, 2018
3	B.P. Resubmission	Jan. 4, 2019
4	B.P. Resubmission	Jan. 10, 2019

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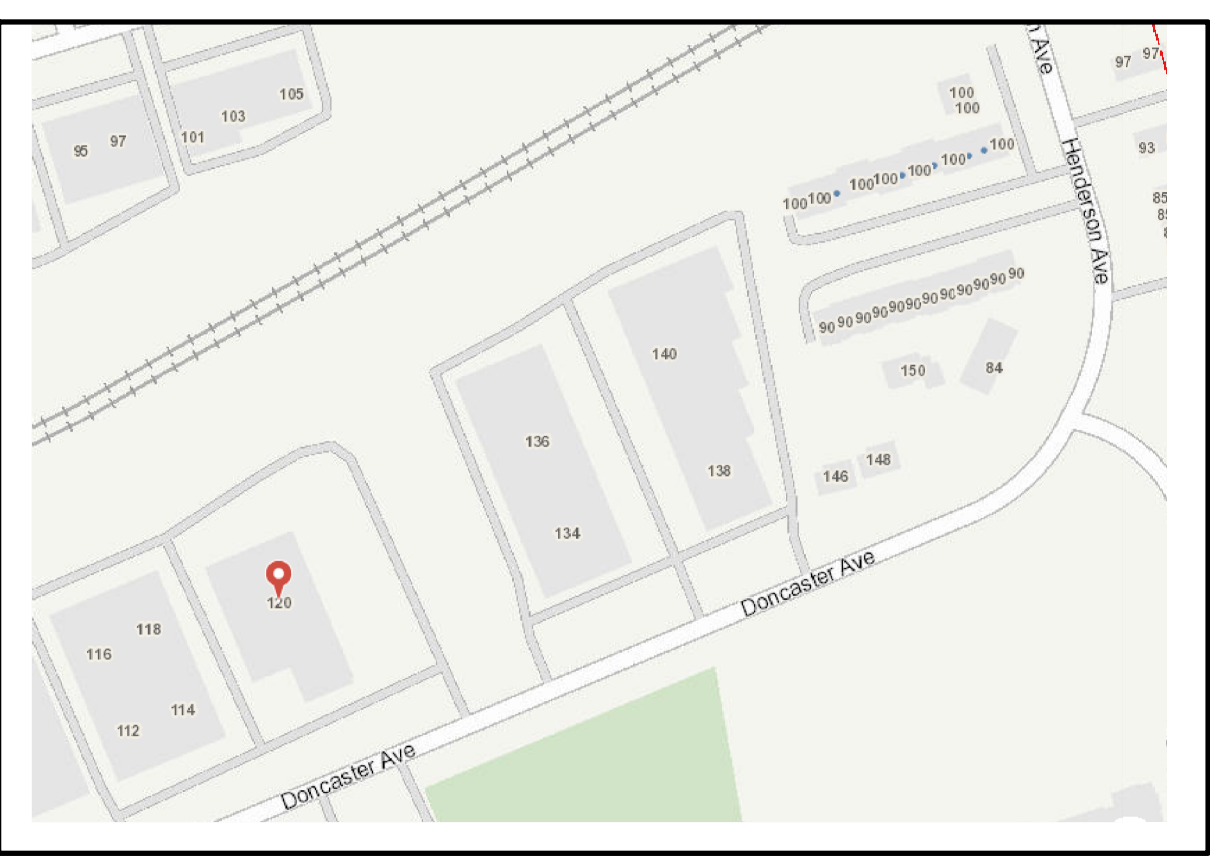
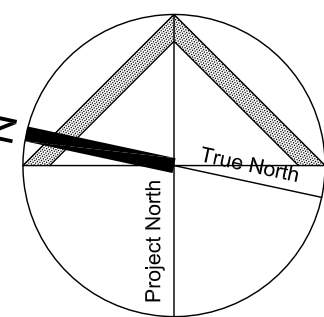
07	Building Permit Amendment	Jan. 10, 2019
06	Building Permit Amendment	Jan. 4, 2019
05	Building Permit Amendment	Dec. 11, 2018
04	Building Permit Amendment	Nov. 23, 2018.
03	Building Permit Amendment	Nov. 13, 2018.
02	Building Permit Amendment	Oct. 24, 2018.
01	Building Permit	Dec. 08, 2017.
No	Issued For	Date

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Drawing Title
2ND FLOOR & BASEMENT FLOOR PLANS

Project
INTERIOR ALTERATIONS

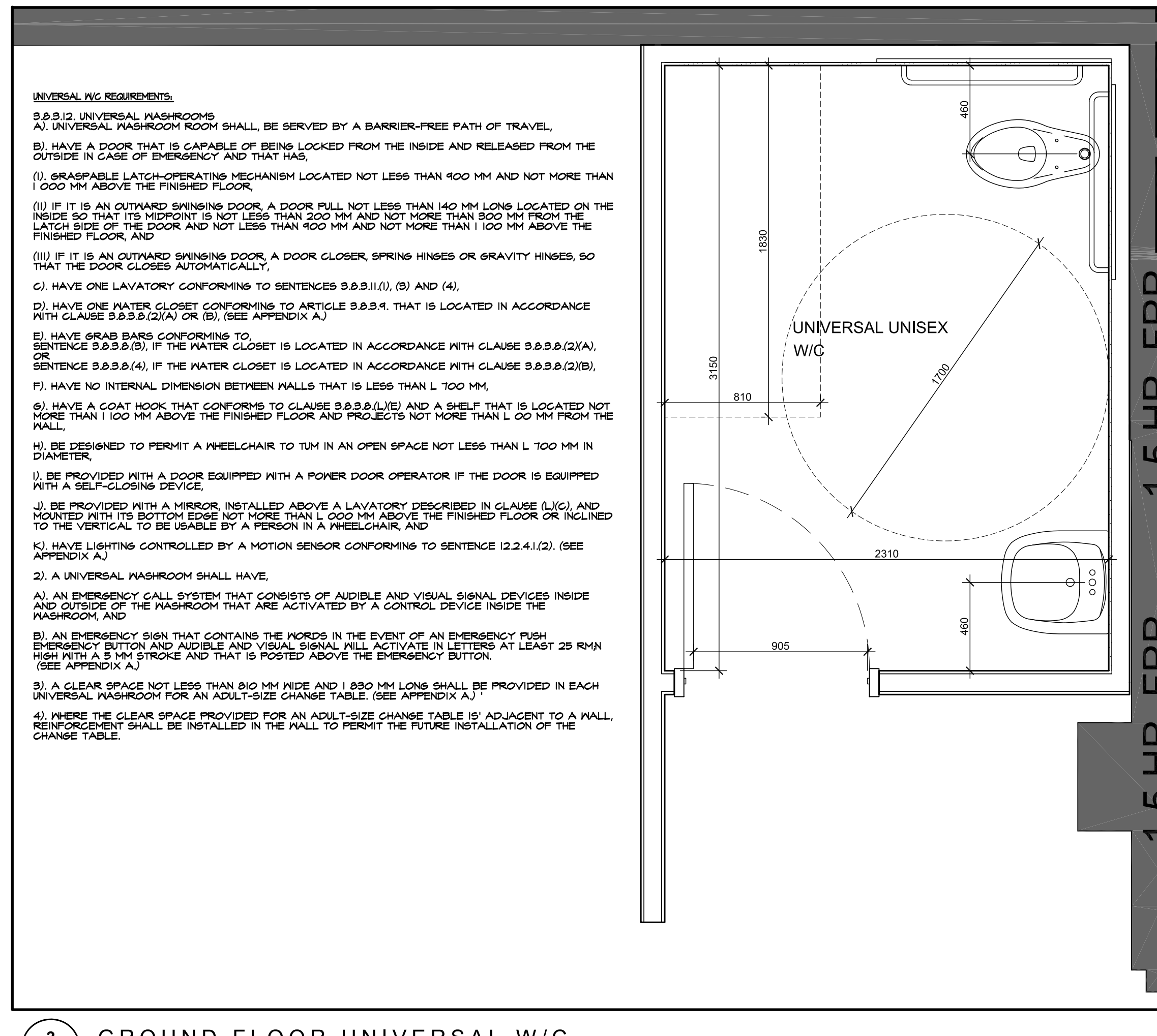
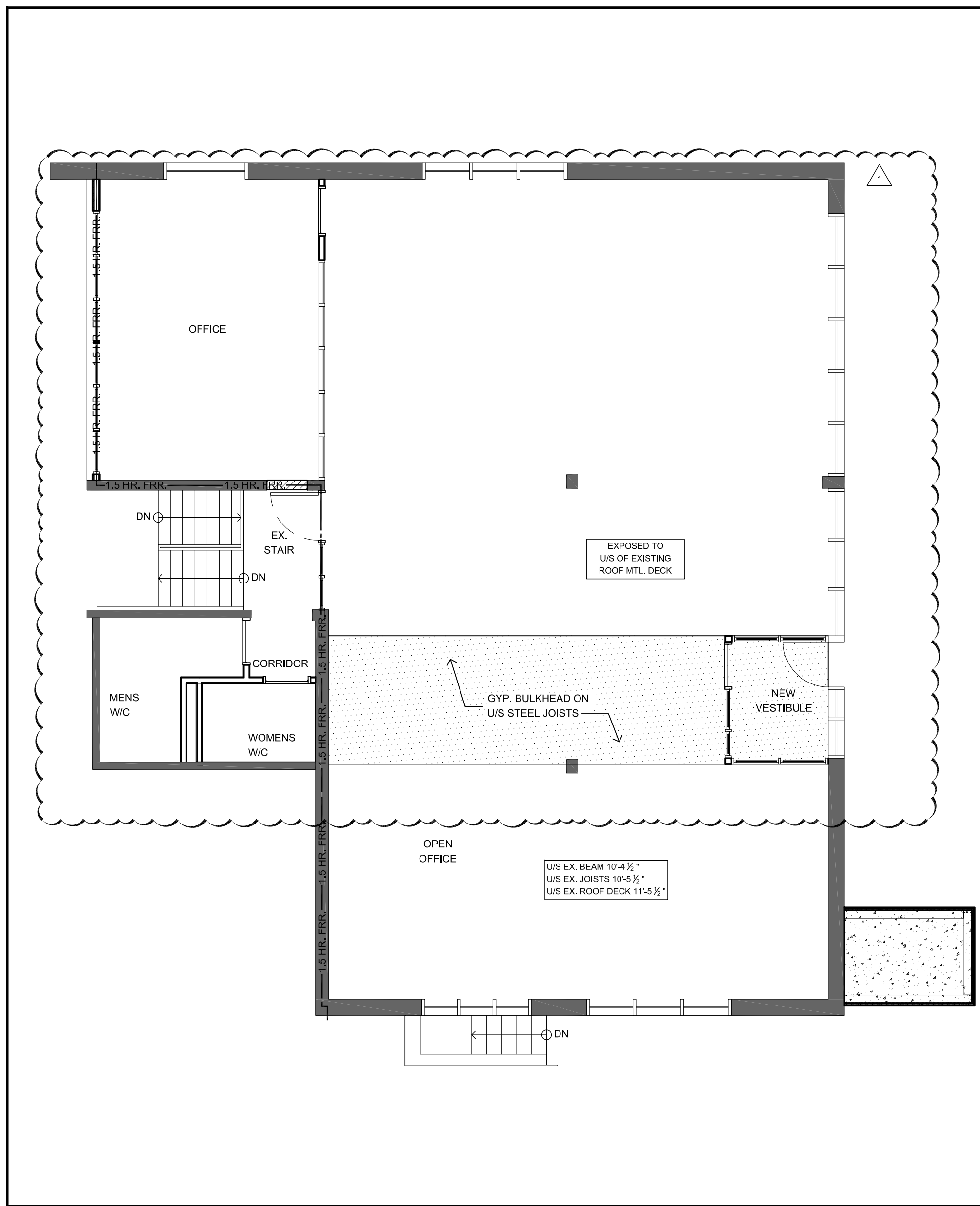
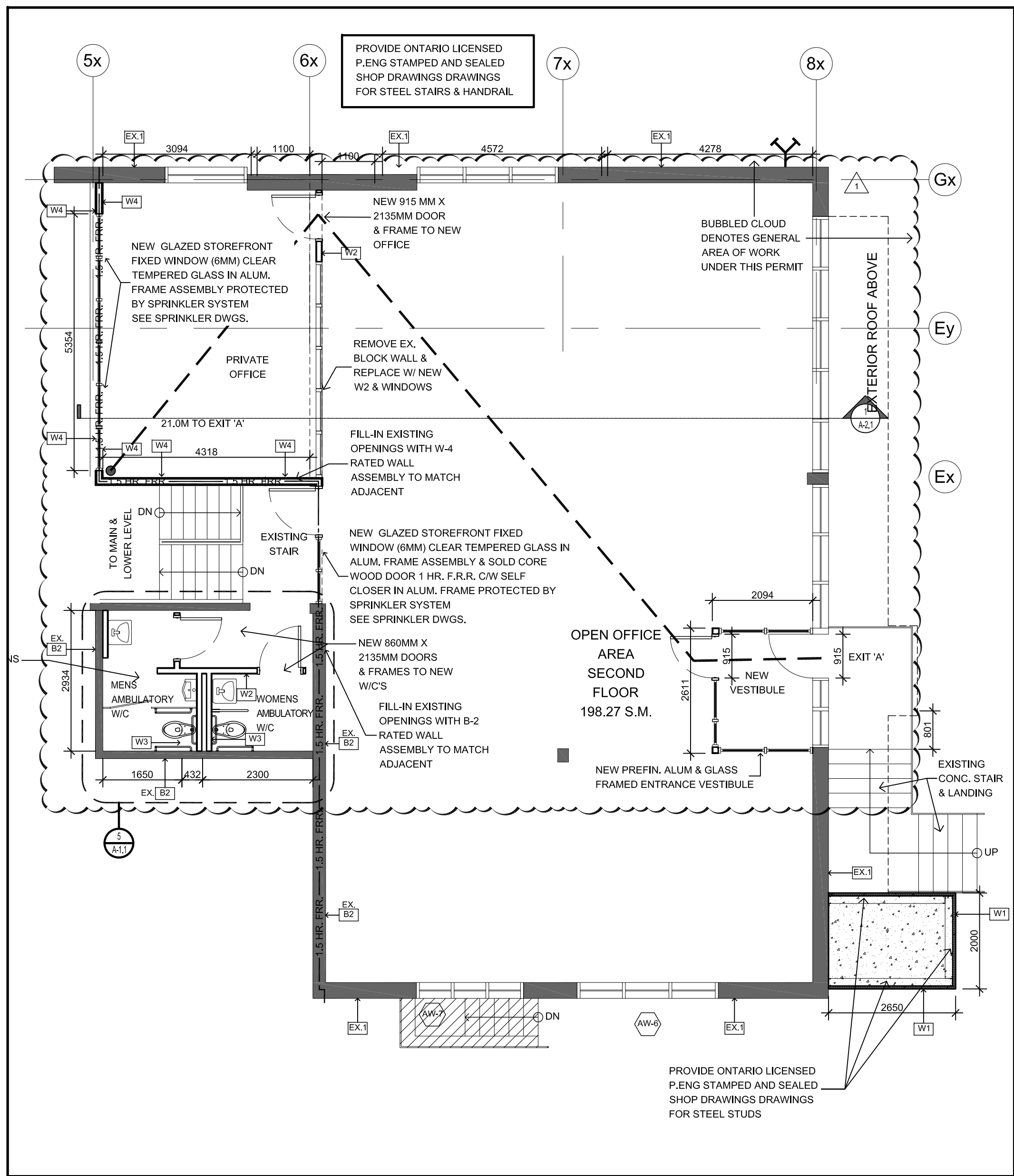
120 DONCASTER AVENUE, THORNHILL, ON
AS NOTED
T.A. Drawn by
F.A. Checked by
2017-013 File No.
2019-01-10 Plot Date



5 KEY PLAN
A1.0 N.T.S.

FIRM NAME: ALAIMO ARCHITECTURE INC. CERTIFICATE OF PRACTICE NUMBER: 4995 FRANK ALAIMO, O.A.A. 27 ROYTEC, UNIT 2A WOODBIDGE, ONTARIO, L4L 8E3 NAME OF PROJECT: INTERIOR ALTERATIONS OF 2ND FLOOR OFFICE AREA & BASEMENT STORAGE RM. LOCATION: 120 DONCASTER AVENUE, THORNHILL, ON AREA OF WORK UNDER THIS PERMIT (SM) 198.27 S.M.									
ITEM	2012 ONTARIO BUILDING CODE DATA MATRIX						OBC REFERENCE		
	PROJECT DESCRIPTION:				<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION		<input type="checkbox"/> PART 11 11.1 - 11.14	<input checked="" type="checkbox"/> PART 3 1.1.2[A]	<input type="checkbox"/> PART 9 1.1.2[A] & 9.10.1.3
2	MAJOR OCCUPANCY(S) 3.2.2.72 Group 'F' Div. 2 & 3.2.2.56 Group 'D'						3.1.2.1(1) 9.10.2.		
3	BUILDING AREA (SM) EXISTING 1,368.89 NEW 0 TOTAL 1,368.89 SM						1.4.1.2[A] 1.4.1.2[A]		
5	NUMBER OF STOREYS ABOVE GRADE 1 BELOW GRADE 1						1.4.1.2[A] + 3.2.1.1. 1.4.1.2[A] & 9.10.4		
5.1	HEIGHT OF BUILDING EXISTING (REFER IN PLACE BUILDING PERMIT)						3.2.2.20. -.83 1.4.1.2[A] & 9.10.4		
6	NUMBER OF STREETS / FIREFIGHTER ACCESS 1 STREET						3.2.2.10. & 3.2.5. 9.10.20.		
7	BUILDING CLASSIFICATION 3.2.2.72 - Group 'F' Div. 2						3.2.2.20. -.83 9.10.2.		
8	SPRINKLER SYSTEM PROPOSED				<input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPONENTS <input type="checkbox"/> SELECTED FLOORS AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED		3.2.2.20. -.83 3.2.1.5. 3.2.2.17. INDEX 9.10.8.2. INDEX		
9	STANDPIPE REQUIRED				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.9. N/A		
10	FIRE ALARM REQUIRED				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.4. 9.10.18.		
11	WATER SERVICE / SUPPLY IS ADEQUATE				<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		3.2.5.7. N/A		
12	HIGH BUILDING				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6. N/A		
13	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE				<input checked="" type="checkbox"/> BOTH		3.2.2.20. -.83 9.10.6.		
14	ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE				<input type="checkbox"/> BOTH				
15	MEZZANINE(S) AREA (SM) EXISTING 14.7 S.M. NEW 0 TOTAL 14.7 SM						3.2.1.1(3) - (8) 9.10.4.1.		
15	OCCUPANT LOAD BASED ON				<input type="checkbox"/> m2 / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING				
	GROUND FLOOR OCCUPANCY GROUP 'F-2' LOAD UP TO 48								
	SECOND FLOOR OCCUPANCY GROUP 'D' LOAD UP TO 48								
16	BARRIER-FREE DESIGN				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.8. 9.5.2.		
17	HAZARDOUS SUBSTANCES				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.1.2. & 3.3.1.19. 9.10.1.3(4)		
18	REQUIRED FIRE RESISTANCE RATING (FRR)				HORIZONTAL ASSEMBLIES FRR (HOURS)		LISTED DESIGN NO./DESCRIPTION (SB-2) 3.2.1.4. 9.10.9.		
					FLOORS 1.5 HOURS		U.L.C. - F-816 (34 Hr. F.R.R. req. 1.5 Hr. F.R.R. provided)		
					ROOF N/A HOURS		U.L.C. - F-816		
					MEZZANINES 1.5 HOURS		LISTED DESIGN NO./DESCRIPTION (SB-2) 9.10.6. S.B. 2.6 (34 Hr. F.R.R. req. 1.5 Hr. F.R.R. provided)		
					FRR OF SUPPORTING MEMBERS		O.B.C. S.B. 2.6 (34 Hr. F.R.R. req. 1.5 Hr. F.R.R. provided)		
					FLOORS 1.5 HOURS		O.B.C. S.B. 2.6		
					ROOF N/A HOURS				
					MEZZANINES 1.5 HOURS				
19	PLUMBING FIXTURE CALCULATION - GROUP 'F-2' (WAREHOUSE AREA)				OCCUPANT LOAD		3.7.4.2. - 3.7.4.9.		
	MALE / FEMALE COUNT @ 50 % / 50 % EXCEPT AS NOTED OTHERWISE				BC TABLE NUMBER		FIXTURES REQUIRED		
	UP TO 24 MEN				3.7.4.9		1 2 nd		
	1* UNIV. WIC ADDS 1 MALE & 1 FEMALE TO EACH GROUP D & F-2 WIC COUNTS				UP TO 24 WOMEN		1 2 nd		
	PLUMBING FIXTURE CALCULATION - GROUP 'D' (OFFICE AREA)				3.7.4.9		1 2 nd		
	MALE / FEMALE COUNT @ 50 % / 50 % EXCEPT AS NOTED OTHERWISE				UP TO 24 MEN		1 2 nd		
	1* UNIV. WIC ADDS 1 MALE & 1 FEMALE TO EACH GROUP D & F-2 WIC COUNTS				UP TO 24 WOMEN		1 2 nd		
					1 UNIV. WIC		1 1		
	TOTAL				96		5 8 th		

4 OBC MATRIX
A1.0 N.T.S.



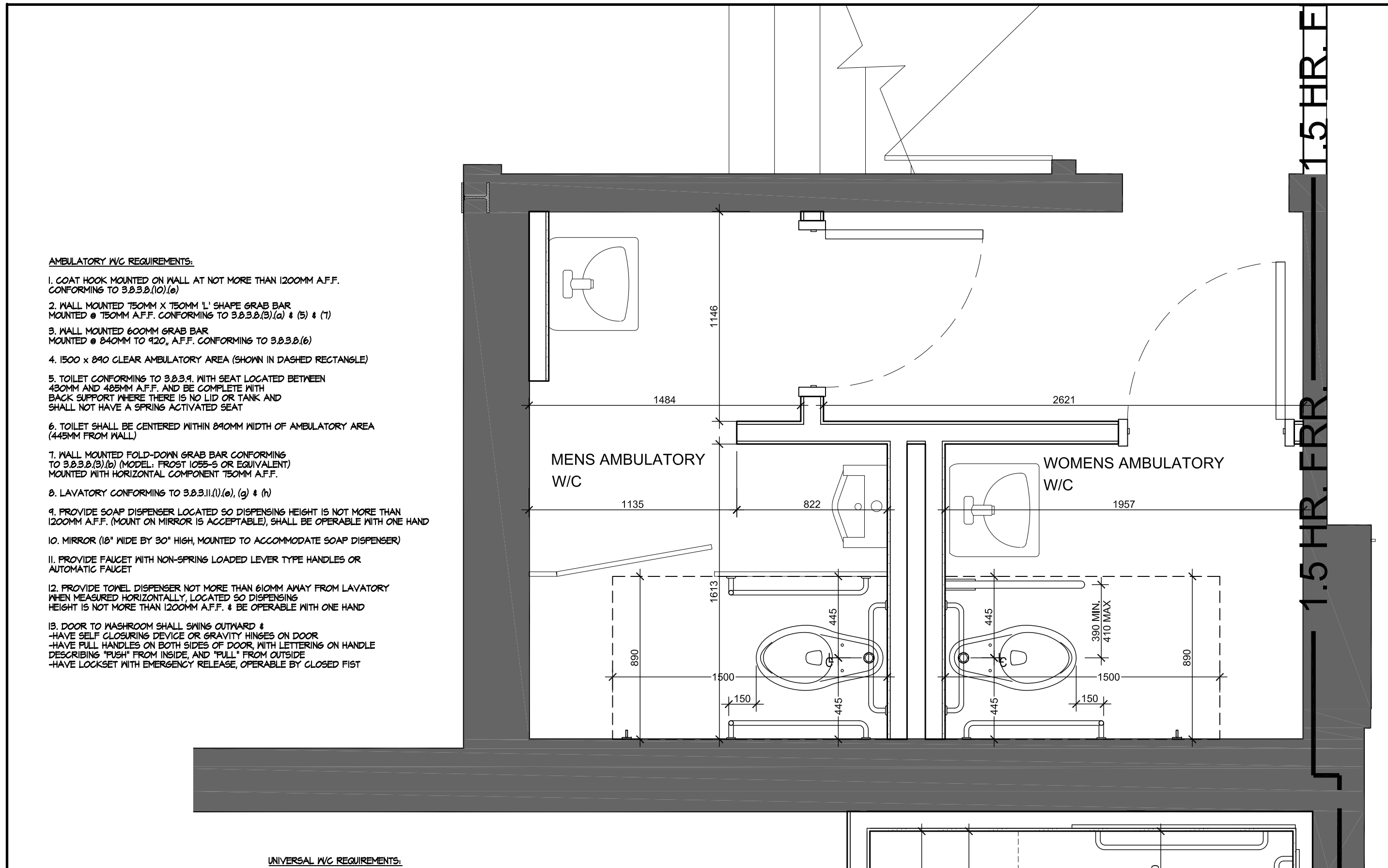
WALL SCHEDULE						
TYPE OF WALL	WALL SYMBOL	DESCRIPTION	FIRE RESISTANCE RATING	ASSEMBLY	WALL THICKNESS	HEIGHT
	EX.1 EX.2	EXISTING EXTERIOR WALL BRICK FINISH EXISTING EXTERIOR WALL MTL. SIDING FINISH (REFER TO EXISTING BUILDING PERMIT)	EXISTING	EXISTING	EXISTING	FROM T/O FND WALL TO T/O ROOF PARAPET (3300mm A.F.F.)
NON-LOAD BEARING WALL	W1	EIFS WALL SYSTEM: STUCCO FINISH ON 25mm INSULATION BOARD ON WATERPROOFING MEMBRANE ON 16mm DENSGLASS EXTERIOR SHEATHING ON 203 mm STEEL STUDS	0 HR F.R.R.		244mm	FROM T/O EXISTING WALL TO T/O ROOF PARAPET (4500 mm A.F.F., SEE ELEVATIONS)
NON-LOAD BEARING WALL	B1	140mm CONCRETE BLOCK (SITE VERIFY ADJACENT EXISTING CONC. WALL, SHOULD MATCH)	0 HR F.R.R.		140mm	GROUND FLOOR TO U/S OF EXISTING ROOF MTL. DECK (3480 mm A.F.F.)
NON-LOAD BEARING WALL	B2	190mm CONCRETE BLOCK (SITE VERIFY ADJACENT EXISTING CONC. WALL, SHOULD MATCH)	1.5 HR F.R.R.		190mm	GROUND FLOOR TO U/S OF EXISTING ROOF MTL. DECK (3480 mm A.F.F.)
NON-LOAD BEARING WALL	B3	240mm CONCRETE BLOCK (SITE VERIFY ADJACENT EXISTING CONC. WALL, SHOULD MATCH)	1.5 HR F.R.R.		240mm	GROUND FLOOR TO U/S OF EXISTING ROOF MTL. DECK (3480 mm A.F.F.)
NON-LOAD BEARING STEEL STUDS - 25 GAUGE	W2 (1) (2)	31mm X 92mm STEEL STUDS (3625/125-18) SPACED AT 400mm O.C., 1 LAYER OF 15.9mm REGULAR GYPSUM WALL BOARD ON BOTH SIDES	0 HR F.R.R.		124mm	GROUND FLOOR TO U/S OF EXISTING ROOF MTL. DECK (3480 mm A.F.F.)
NON-LOAD BEARING STEEL STUDS - 25 GAUGE	W3 (1) (2)	31mm X 92mm STEEL STUDS (3625/125-18) SPACED AT 400mm O.C., 1 LAYER OF 15.9mm REGULAR GYPSUM WALL BOARD ON INTERIOR SIDE	0 HR F.R.R.		108mm	GROUND FLOOR TO U/S OF EXISTING ROOF MTL. DECK (3480 mm A.F.F.)
NON-LOAD BEARING STEEL STUDS - 25 GAUGE	W4 (1) (2) (3) (4)	92mm STEEL STUDS SPACED AT 400mm O.C., 2 LAYERS OF 15.9mm TYPE 'X' GYPSUM WALL BOARD ON BOTH SIDES ULC-W424 DESIGN - 2 HR F.R.R. PROVIDED (1.5 HR F.R.R. REQUIRED)	1.5 HR F.R.R.		156mm	FROM T/O FLOOR TO U/S OF EXISTING STEEL BEAM/ ROOF MTL. DECK (3480 mm A.F.F.)
WALL SCHEDULE NOTES						
1. THE COMPLETE DESCRIPTIONS OF INDICATED FINISHES ARE AS FOLLOWS: 13.7mm REGULAR GYPSUM BOARD CONFORMING TO CAN/CSA-A82.37, "GYPSUM BOARD" BOTH SIDES OF THE WALL MUST HAVE ITS JOINTS TAPED AND FINISHED. FASTENER TYPES AND SPACING MUST CONFORM TO CSA-A82.31, "GYPSUM BOARD APPLICATION" 2. REGULAR GYPSUM BOARD USED IN SINGLE LAYER ASSEMBLIES MUST BE INSTALLED SO ALL EDGES ARE SUPPORTED. 3. THE FIRE SEPARATIONS SHALL TERMINATE SO THAT SMOKE TIGHT JOINTS ARE PROVIDED WHERE THE WALL ABUTS ON OR INTERSECTS A FLOOR, ROOF SLAB OR ROOF DECK, (AS PER CBC 3.1.8.3. & 3.1.8.1.1.(1)(b)) SOURCE - NATIONAL RESEARCH COUNCIL - INSTITUTE FOR RESEARCH IN CONSTRUCTION 4. CONTRACTOR TO REINFORCE FRAMED PARTITION TO SUPPORT LATERAL LOAD AS PER O.B.C. 4.1.5.17						

4 WALL SCHEDULES

A1.1

N.T.S.

GENERAL NOTE:
SEE ELECTRICAL DWGS. FOR TYPE & QUANTITY
OF EACH LIGHT FIXTURE IN EVENT OF DISCREPANCY
RELY UPON ELECTRICAL DWGS. FOR TYPE &
QUANTITY AND ARCHITECTURAL DWGS. FOR
LOCATIONS.



5 SECOND FLOOR AMBULATORY W/C'S

A1.1

SCALE 1:20

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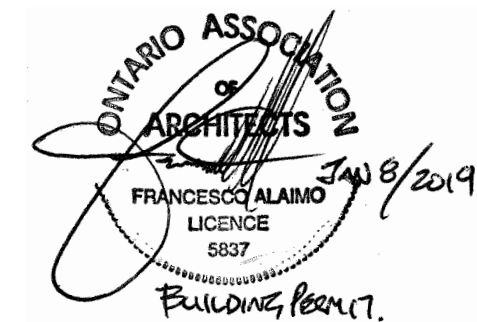
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No	Revision	Date
1	Amendment to Issued B.P.	Aug. 20, 2018
2	B.P. Resubmission	Nov. 13, 2018
3	B.P. Resubmission	Jan. 4, 2019
4	B.P. Resubmission	Jan. 10, 2019

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Drawing Title

2ND FLOOR PLAN &
WALL TYPE SCHEDULE

Project

INTERIOR ALTERATIONS

120 DONCASTER AVENUE, THORNHILL, ON

AS NOTED

Scale

T.A.

Drawn by

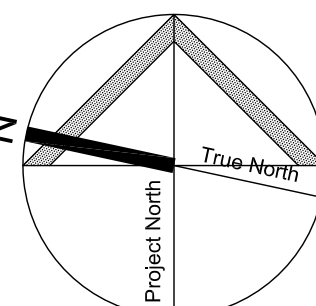
F.A.

Checked by

2017-013

2019-01-10

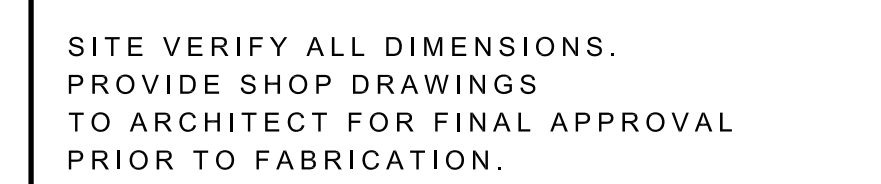
Plot Date



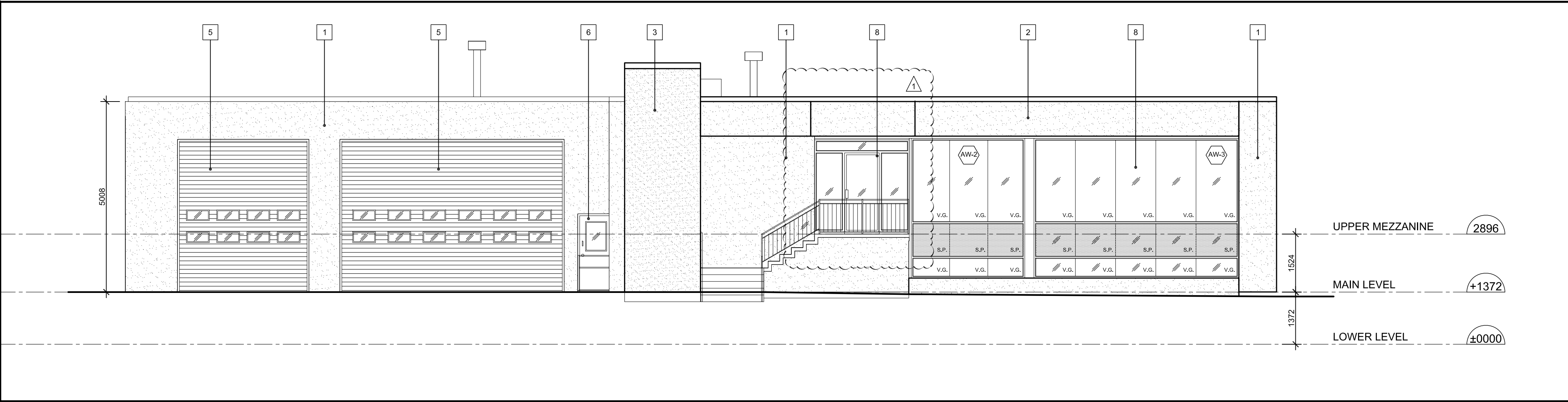
02 OF 05

A1.1

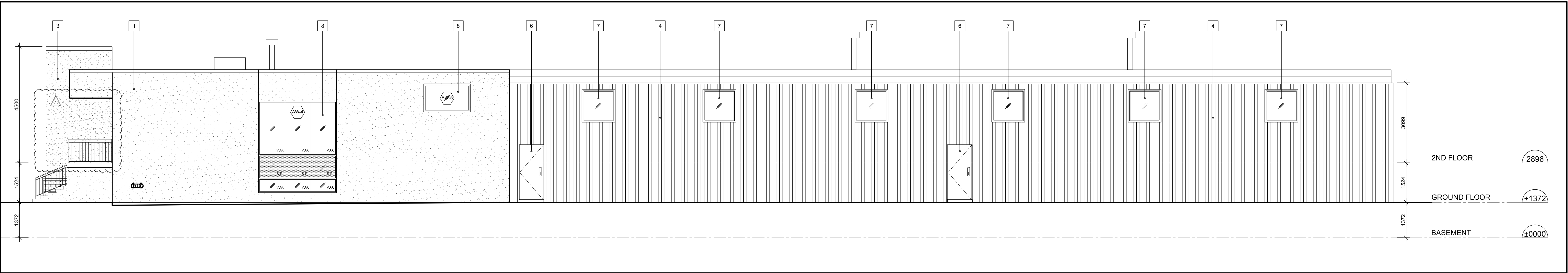
1	DOOR SCHEDULE
A-1.2	N. T. S.



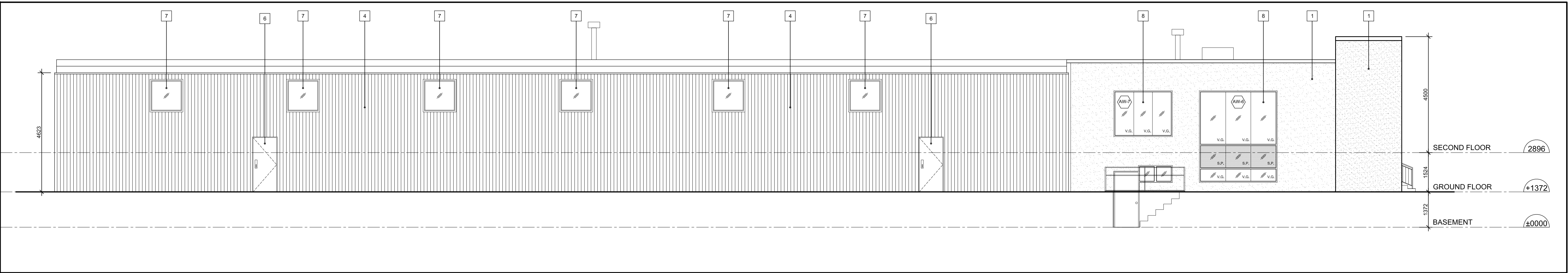
ONTARIO ASSOCIATION
OF
ARCHITECTS
FRANCESCO ALAIMO
LICENCE
5837
JAN 8/2019
BUILDING PERMIT



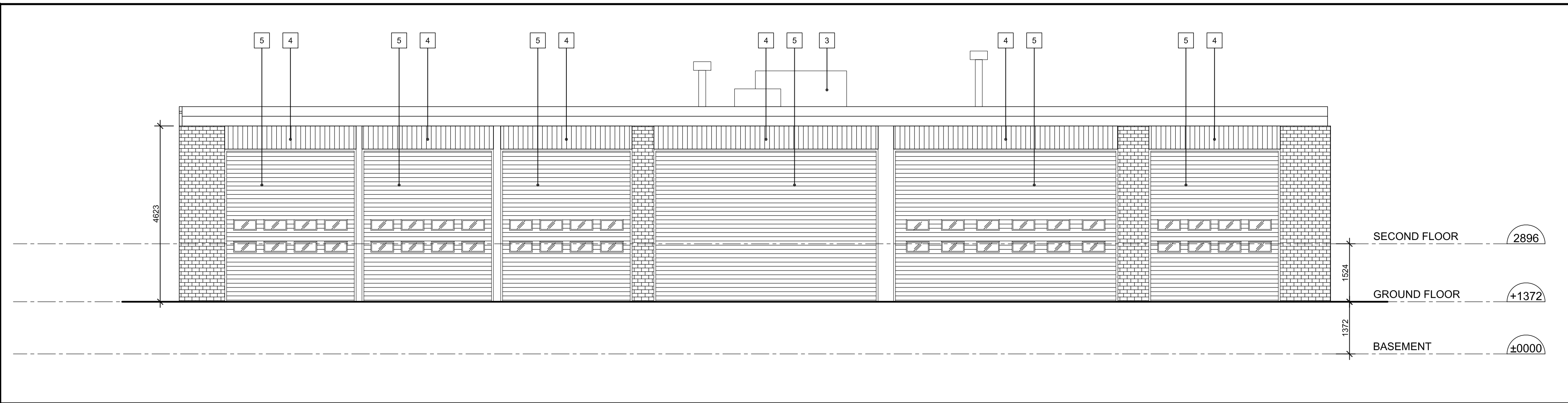
1 FRONT ELEVATION
SCALE 1:75



2 SIDE ELEVATION
SCALE 1:75



3 SIDE ELEVATION
SCALE 1:75



4 BACK ELEVATION
SCALE 1:75

- | | | | |
|---|---|---------|--|
| 1 | EXTERIOR STUCCO
COLOUR: #1 | 6 | EXISTING MAN DOOR
DOOR & FRAME TO BE REPAINTED
COLOUR: TO BE DETERMINED BY
ARCHITECT AT LATER DATE |
| 2 | EXTERIOR STUCCO
COLOUR: #2 | 7 | EXISTING MTL. WINDOW
WINDOW FRAME TO BE REPAINTED
COLOUR: TO BE DETERMINED BY
ARCHITECT AT LATER DATE |
| 3 | EXTERIOR STUCCO
COLOUR: #3 | 8 | NEW CLEAR ANODIZED
ALUMINUM GLAZING UNIT
SHOP DRAWING TO BE PROVIDED |
| 4 | EXISTING MTL. SIDING
TO BE REPAINTED
COLOUR: TO BE DETERMINED BY
ARCHITECT AT LATER DATE | 9 | NEW MTL. ENTRANCE STAIR
HANDRAIL c/w GLASS RAILING
COLOUR: ____ |
| 5 | EXISTING O.H.G.D.
DOOR & FRAME TO BE REPAINTED
COLOUR: TO BE DETERMINED BY
ARCHITECT AT LATER DATE | LEGEND: | S.P. - SPANDREL PANEL
V.G. - VISION GLASS
T.G. - TINTED GLASS
O.H.G.D. - OVERHEAD GARAGE DOOR |

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No	Revision	Date
01	Revised Front Entrance	Jan. 16, 2019
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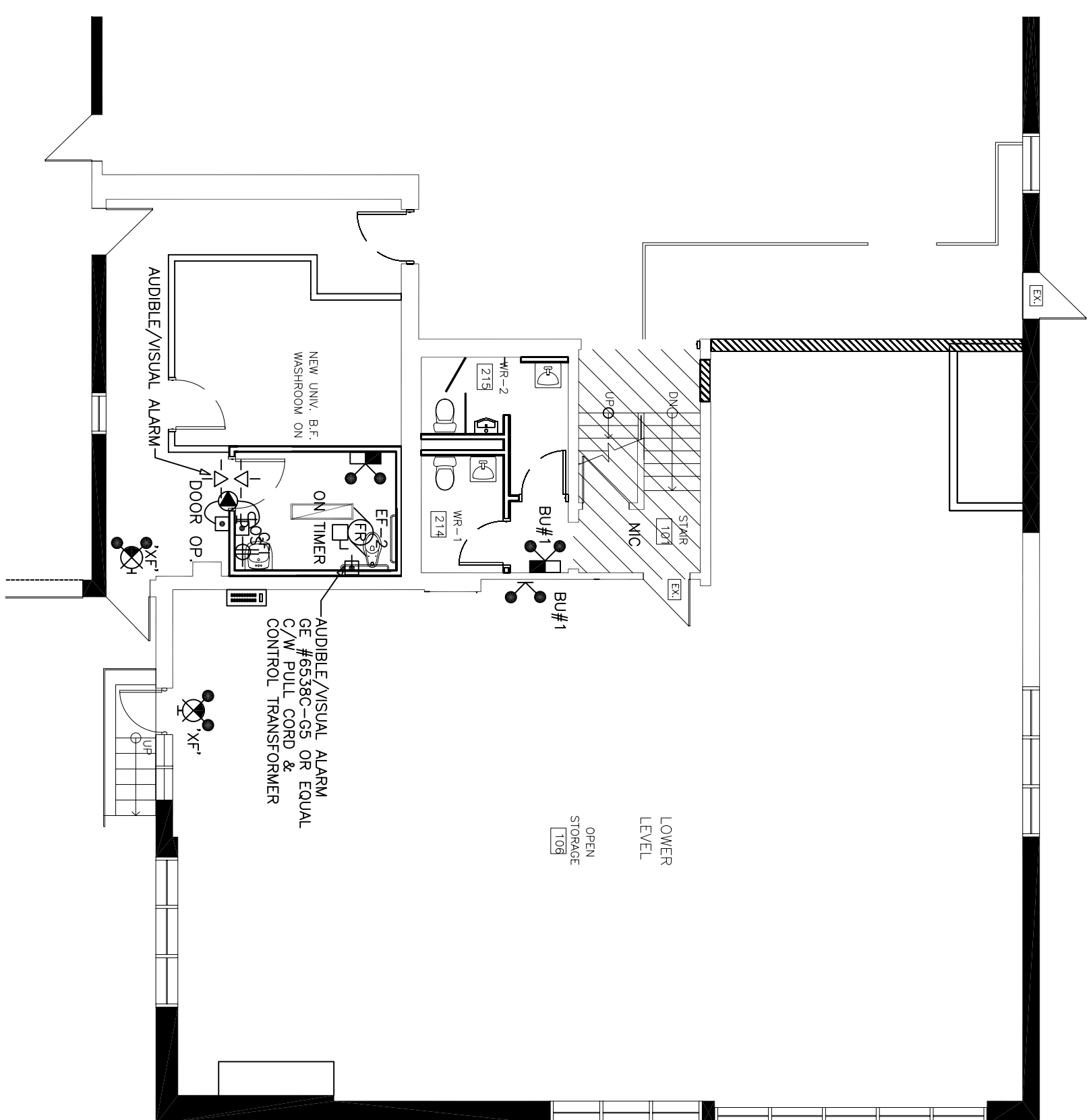
03	Building Permit Amendment	Jan. 16, 2019
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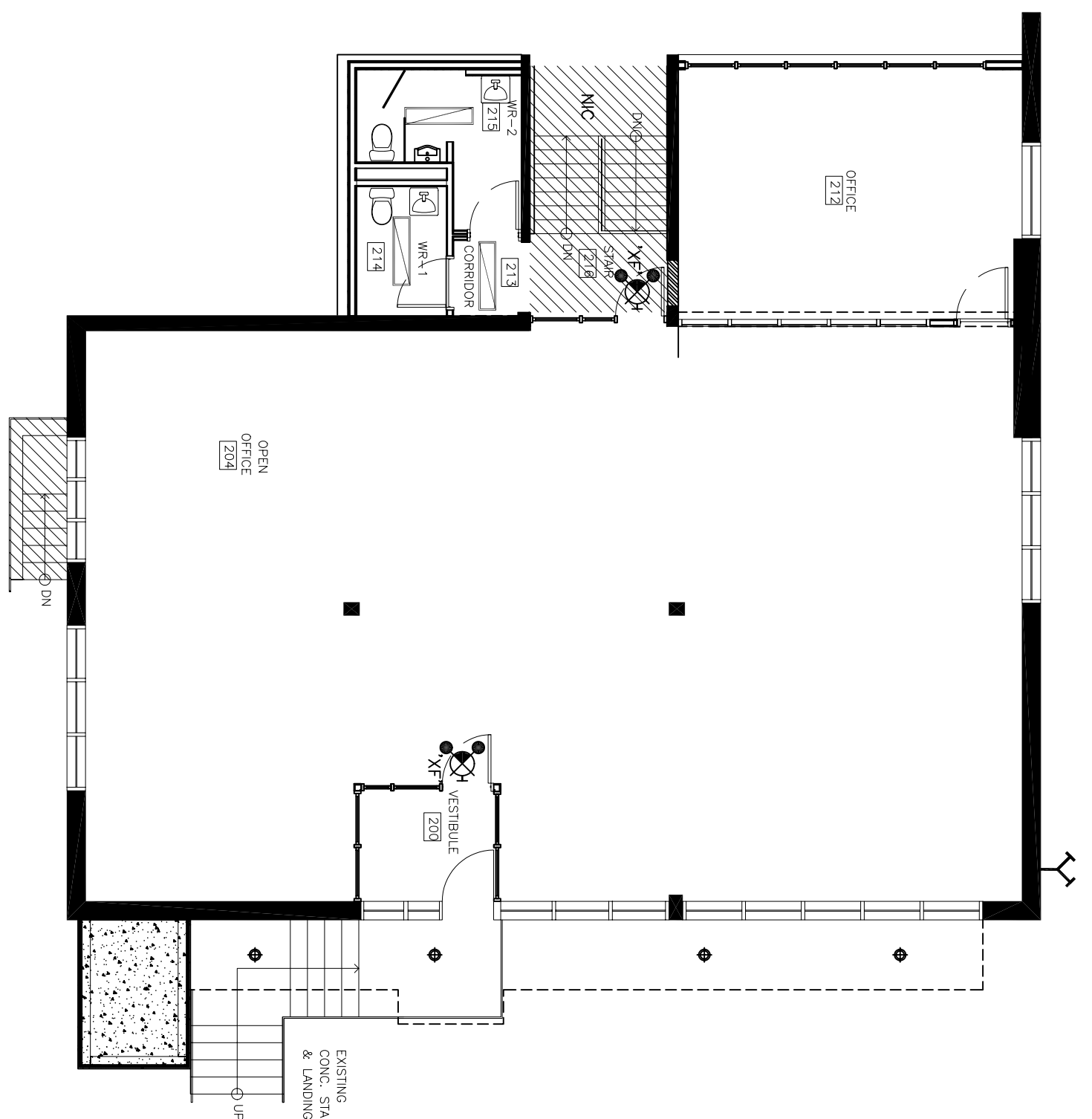
Drawing Title
ELEVATIONS

Project
INTERIOR ALTERATIONS





120 DONCASTER AVENUE, THORNHILL, ON
AS NOTED
Scale
T.A. Drawn by
F.A. Checked by
2017-013 File No.
2019-01-16 Plot Date



LOWER LEVEL
LIFE SAFETY SYSTEMS
PLAN 1

EXIT/EMERGENCY LIGHTING LAYOUT
PLAN '2'

INTERIOR FIXTURE SCHEDULE		
SYMBOL	DESCRIPTION	LAMPS
	SUSPENDED (CONFRM) LIGHT FIXTURE TO FURTHER DETAIL 120V	

EMERGENCY & EXIT FIXTURE SCHEDULE		QTY	DATE
ITEM DESCRIPTION			
	COMBINATION EXIT/EMERGENCY LIGHT FIXTURE C/W 2 EMERGENCY BEAMS, 36W, TRAINING MAP TYPE	2-1200	
	EMERGENCY LIGHTING BATTERY UNIT 36W 120V AC, 12V DC	2-1200	
	EMERGENCY LIGHTING BATTERY UNIT C/W TWO EMERGENCY BEAMS 72W 120V AC, 12V DC, NEW	2-1200	
	DOUBLE REMOTE EMERGENCY HEAD 12V DC	2-1200	

GENERAL NOTES:

1. STOP AND RESTIFY ALL THINGS INCLDING ALL LABOR, EQUIPMENT ON THE GRAMMUS.
2. AVOIDANCE A SURE VISIT AND RESTIFY ALL INJURIES.
3. NO ALLOWANCE SHALL BE MADE FOR ALL DAMAGES TO DO.
4. REPAIRING OR CUTTING A MACHINE REQUIRED FOR THE WORK OF THE GRAMMUS.
5. UPON COMPLETION OF THE WORK, REMOVE THE FINAL INSTRUCTIONAL CERTIFICATE OF ACCEPTANCE FROM ONBOARD HUMANITY.
6. CLEAN UP ALL DEBRIS ON A DAILY BASIS AND UPON COMPLETION OF CONTRACT. COOPERATE WITH ALL OTHER PROBLEMS.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST DESIGN OF HUMANITY. THE RULES & PROHIBS OF ALL HUMANITIES.
8. ALL MATERIAL AND EQUIPMENT TO BE NEW, CAS APPROVED, AND BE OF COMMERICAL GRADE.
9. PROVIDE A COPY OF STATE DOCUMENTS FOR THE WORK OF ALL HUMANITIES.
10. PROVIDE TEMPORARY ELECTRICAL POWER FOR THE WORK OF THE PRODUCTION OF THE GRAMMUS.
11. AS REQUIRED BY THE FEDERAL COMMISSION.
12. ALL CONTRACTS MUST BE SIGNED BY THE GRAMMUS TO BE IN FORCE.
13. SIGNED BY THE GRAMMUS TO BE IN FORCE.
14. ALL WORK TO BE COMPLETED WITHIN THE GRAMMUS. ALL WORK TO BE COMPLETED WITHIN THE GRAMMUS.
15. INSTEAD, ALL WORKS COMPLETED IN THE GRAMMUS MAY BE USED INDEPENDENTLY SUPPORTED FROM EXISTING SYSTEM.

2	REISSUED FOR PERMIT	01/17/19	MM
1	ISSUED FOR PERMIT	11/20/18	MM
No.	REVISION	DATE	BY



PROJECT NAME: INTERIOR ALTERATIONS

120 DONCASTER AVENUE
THORNHILL, ONTARIO L3T 1L3

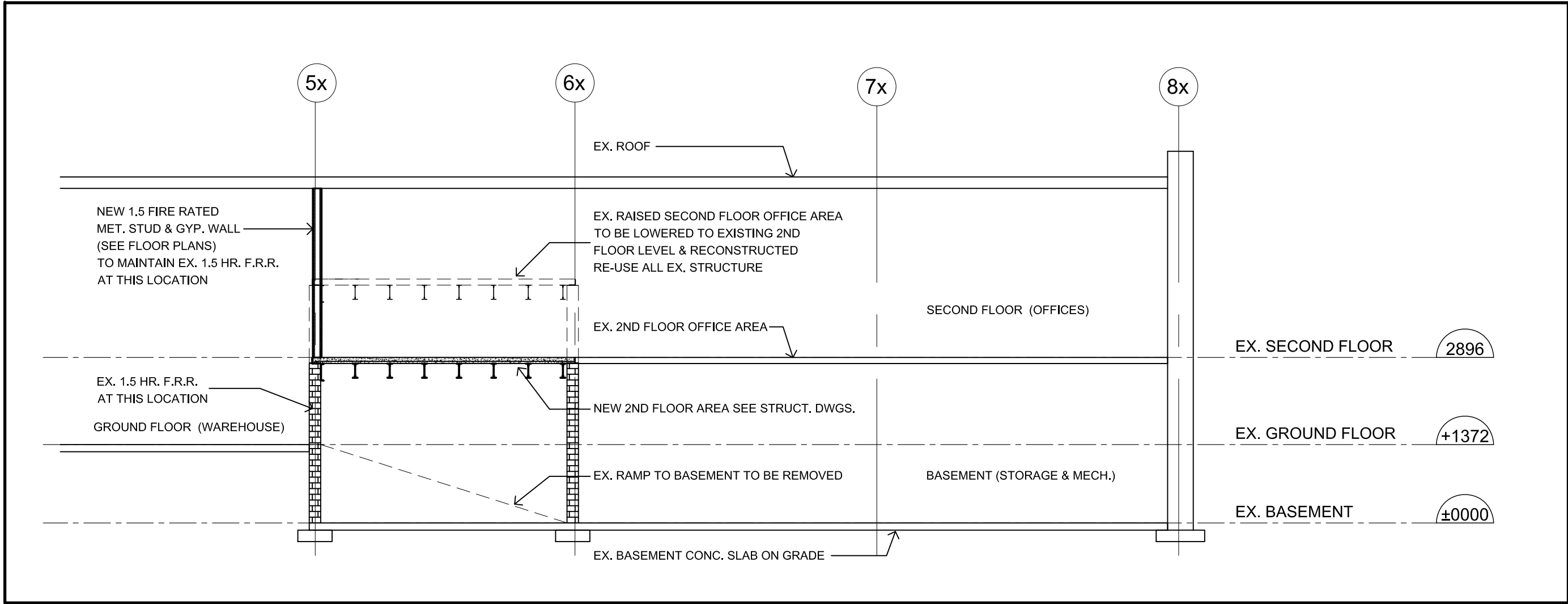
DWG. TITLE

EA M	ENGINEERING SERVICES 209-60 CALLOWHILL DR. ETOBICOKE, ON M9R 3L5 TEL: (416) 249-9690
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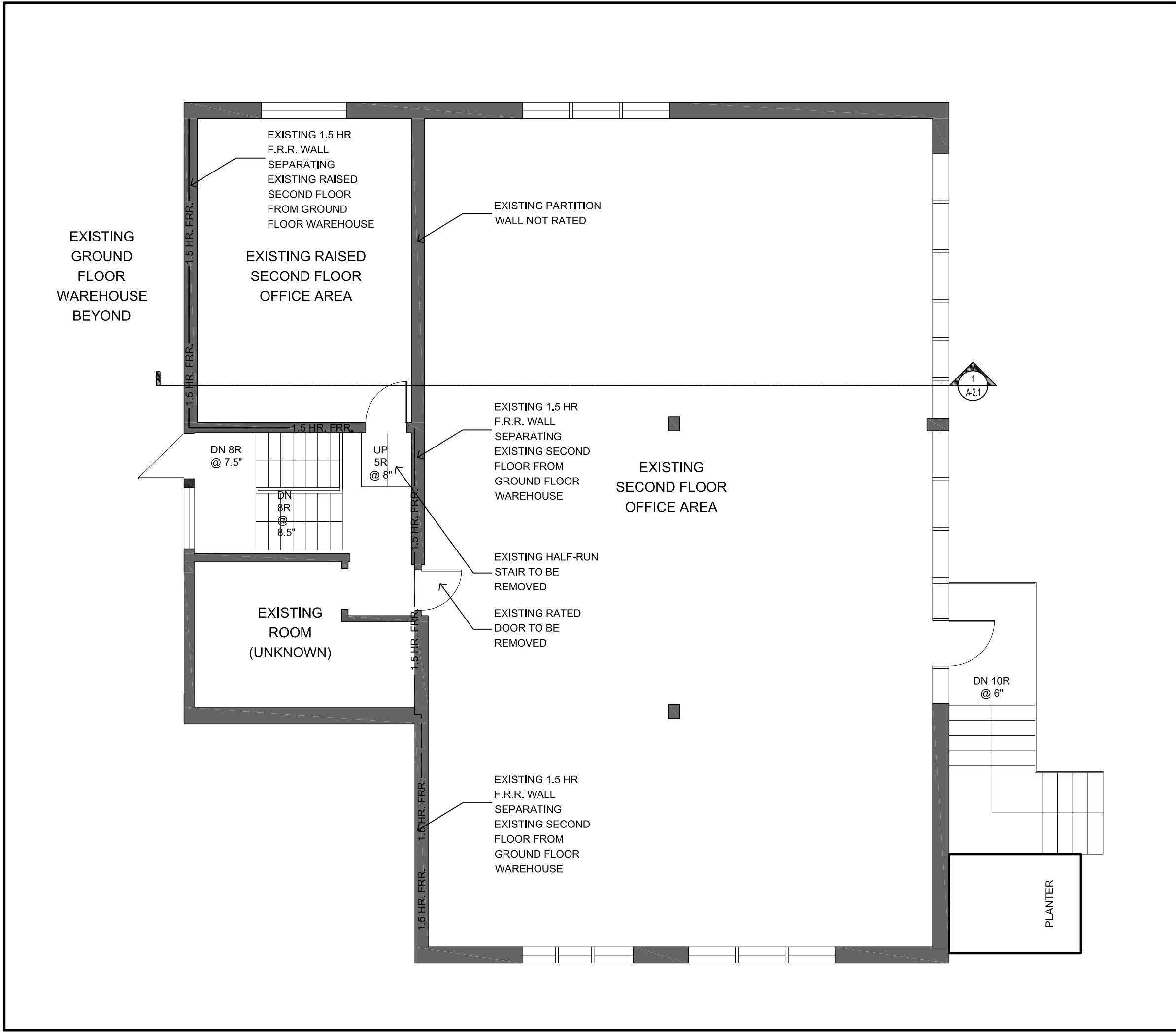
DWG. TITLE

LIFE SAFETY
SYSTEMS
LAYOUT

SCALE	1:100
DATE	11/20/18
DRAWN BY	M. MOSBY
CHECKED BY	EAM
JOB No.	DWG No. E1 OF 1



1 TYP. SECTION
A2.1 SCALE 1:7.5



2 EX. SECOND FLOOR PLAN
A2.1 SCALE 1:7.5

Contractor Must Check And Verify All Dimensions On The Job.

Do Not Scale The Drawings.

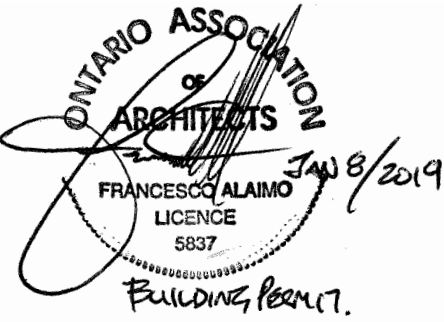
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This Drawing Is Not To Be Used For Construction Until Signed By The Architect.

No	Revision	Date

NOTE:
GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO ANY WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO CO-ORDINATE THE WORK OF ALL TRADES AND BRING TO THE ATTENTION OF THE ARCHITECT & ENGINEERS ANY DISCREPANCIES, DEVIATIONS, ETC. AS SOON AS THEY ARE DISCOVERED.



03	Building Permit Amendment	Dec. 11, 2018
02	Building Permit	Nov. 23, 2018
01	Building Permit	Nov. 13, 2018
No	Issued For	Date

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architecture
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F: (905) 856-4912
info@alaimoarchitecture.com
www.alaimoarchitecture.com

Drawing Title
**BUILDING SECTION
& EXISTING SECOND FLR. PLAN**

Project
INTERIOR ALTERATIONS

120 DONCASTER AVENUE, THORNHILL, ON
Scale
AS NOTED
Checked by
F.A.
File No.
2017-013
Plot Date
2018-12-11