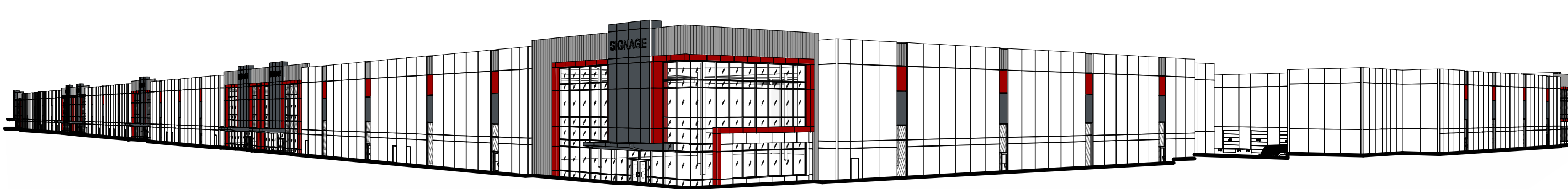


NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.) CERTIFICATE OF PRACTICE NUMBER: 3619 NAME OF PROJECT: TOR19-0077-00, WOODBINE AVENUE LOCATION: MOBIS ROAD, MARKHAM, ONTARIO														
ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9										BUILDING CODE REFERENCE: REFERENCES ARE TO DIVISION B UNLESS NOTED. (A)FOR DIVISION A OR (C) FOR DIVISION C.			
1	PROJECT DESCRIPTION: XXXXXXX				☐ NEW ☐ ADDITION ☐ CHANGE OF USE		☐ PART 11 11.1 TO 11.4		☐ PART 3 1.1.2 (A)		☐ PART 9 1.1.2 (A) & 9.10.1.3			
2	MAJOR OCCUPANCY(S) XXXX										3.1.2.1.(1)		9.10.2	
3	BUILDING AREA (sq.m.) NEW: XXXX				TOTAL: XXXX				1.4.1.2 (A)		1.4.1.2 (A)			
4	GROSS AREA (sq.m.) NEW: XXXX				TOTAL: XXXX				1.4.1.2 (A)		1.4.1.2 (A)			
5	NUMBER OF STOREYS ABOVE GRADE: XX				BELOW GRADE: XX				1.4.1.2 (A) & 3.2.1.1		1.4.1.2 (A) & 9.10.4			
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: XX										3.2.2.10 & 3.2.5.5		9.10.20	
7	BUILDING CLASSIFICATION(S) XX										3.2.2.20-83		9.10.2	
8	SPRINKLER SYSTEM PROPOSED				☐ ENTIRE BUILDING ☐ SELECTED COMPARTMENTS ☐ SELECTED FLOOR AREAS ☐ BASEMENT ☐ IN LIEU OF ROOF RATING ☐ NOT REQUIRED				3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX		9.10.8.2 INDEX			
9	STANDPIPE REQUIRED				☐ YES ☐ NO				3.2.9		N/A			
10	FIRE ALARM REQUIRED				☐ YES ☐ NO				3.2.4		9.10.18			
11	WATER SERVICE / SUPPLY IS ADEQUATE				☐ YES ☐ NO ☐ N/A				3.2.5.7		N/A			
12	HIGH BUILDING				☐ YES ☐ NO				3.2.6		N/A			
13	CONSTRUCTION RESTRICTIONS				☐ COMBUSTIBLE PERMITTED ☐ COMBUSTIBLE ☐ NON-COMBUSTIBLE ☐ NON-COMBUSTIBLE ☐ BOTH				3.2.2.20-83		9.10.6			
14	MEZZANINE(S) AREA m2 XX								3.2.1.1.(3)-(8)		9.10.4.1			
15	OCCUPANT LOAD BASED ON				☐ m2 / PERSON ☐ DESIGN OF BUILDING				3.1.17		9.9.1.3			
	1ST FLOOR: XX OCCUPANCY: XX LOAD (PERSONS): XX													
	2ND FLOOR: XX OCCUPANCY: XX LOAD (PERSONS): XX													
16	BARRIER-FREE DESIGN				☐ YES ☐ NO				3.8		9.5.2			
17	HAZARDOUS SUBSTANCES				☐ YES ☐ NO				3.3.1.2 & 3.3.1.19		9.10.1.3 (4)			
18	REQUIRED FIRE RESISTANCE RATING (FRR)				HORIZONTAL ASSEMBLIES FRR (HOURS)				LISTED DESIGN No. OR DESCRIPTION (SG-2)					
FLOORS: XX HOURS														
ROOF: XX HOURS														
MEZZANINE: XX HOURS														
FRR OF SUPPORTING MEMBERS					LISTED DESIGN No. OR DESCRIPTION (SG-2)									
FLOORS: XX HOURS														
	ROOF: XX HOURS													
	MEZZANINE: XX HOURS													
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS										3.2.3		9.10.14	
	WALL	AREA OF EBF (sq. m.)	LD. (m)	L/H OR H/L	PERMITTE D MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN No. OR DESCRIP.	COMB. CONSTR.	COMB. CONSTR. NONC. CLADDING	NON-COMB. CONSTRUCTION			
	NORTH	-	-	-	-	-	-	-	-	-	-			
	SOUTH	-	-	-	-	-	-	-	-	-	-			
	EAST	-	-	-	-	-	-	-	-	-	-			
	WEST	-	-	-	-	-	-	-	-	-	-			

VICINITY MAP

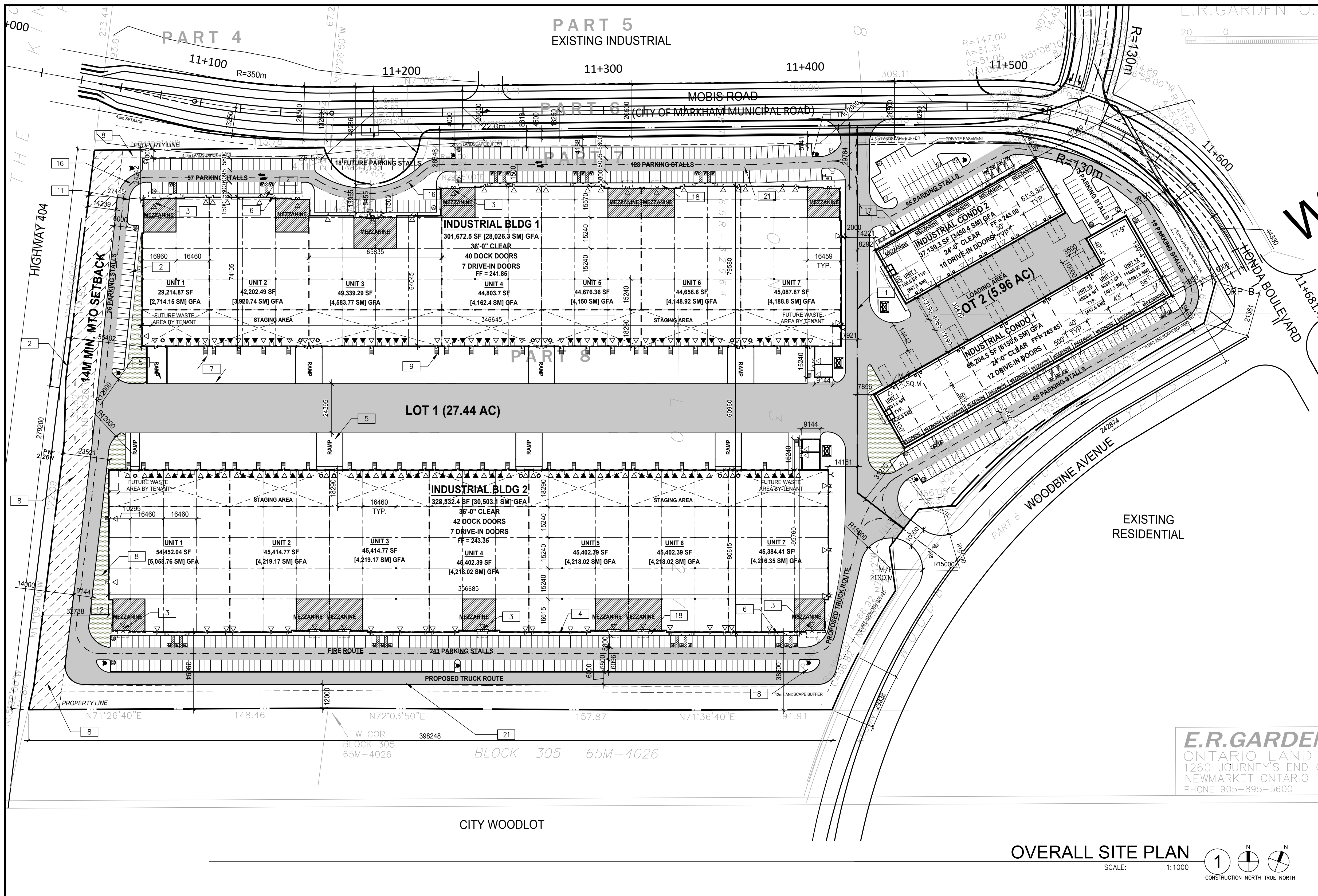
BERKSHIRE AXIS MARKHAM

MOBIS ROAD
MARKHAM, ONTARIO

An architectural rendering of a large industrial building, identified as the Berkshire Axis Markham. The building is a long, low-profile structure with a series of vertical supports and a flat roof. It features a central entrance area with a prominent red frame and a sign that reads "STORAGE". The building is surrounded by a parking lot with several cars parked. The rendering is presented in a wireframe style with some color highlights.

OWNER		OWNER'S CONSULTANTS	
COMPANY NAME			
FIRM NAME STREET CITY, STATE, ZIP CODE			
NAME OF CONTACT PH: (000) 000-0000 FAX: (000) 000-0000			
GENERAL CONTRACTOR			
COMPANY NAME			
FIRM NAME STREET CITY, STATE, ZIP CODE			
NAME OF CONTACT PH: (000) 000-0000 FAX: (000) 000-0000			
ARCHITECT		ARCHITECT'S CONSULTANTS	
WARE MALCOMB			
180 Bass Pro Mills Dr #103 Vaugan, Ontario, Canada L4K 5W4			
C.ROCHA/ A. MORSY P 905.760.1221 F 905.248.3344			

SHEET INDEX		TOTAL SHEETS
		12
ARCHITECTURAL		
A0.1	TITLE SHEET	
A1.1	SITE PLAN	
A2.1	FLOOR PLAN - BLDG 1	
A2.1a	FLOOR PLAN - BLDG 2	
A3.1	ROOF PLAN - BLDG 1	
A3.1a	ROOF PLAN - BLDG 2	
A4.1	EXTERIOR ELEVATIONS - BLDG 1	
A4.1a	EXTERIOR ELEVATIONS - BLDG 1	
A4.1b	EXTERIOR ELEVATIONS - BLDG 1	
A4.2	EXTERIOR ELEVATIONS - BLDG 2	
A4.2a	EXTERIOR ELEVATIONS - BLDG 2	
A4.2b	EXTERIOR ELEVATIONS - BLDG 2	
ARCHITECTURAL SHEET COUNT: 12		



SITE STATISTICS

TOR19-0077-00 Site Statistics					
TOTAL SITE AREA	1,454,886 SF (33.9 AC)				
	LOT 1		LOT 2		
	BUILDING 1 & 2		CONDO 1 & 2		
	Required	Proposed	Required	Proposed	
LANDSCAPE BUFFER AREA					
EAST BUFFER (m)	3.00	0.00	6.00		
WEST BUFFER (m)	3.00	14.00	3.00		
SOUTH BUFFER (m)	3.00	12.00	6.00		
NORTH BUFFER (m)	6.00	4.50	6.00		
REQUIRED FRONT YARD BUILDING SETBACK (m)	6.00	29.76	6.00	1.00	
REQUIRED EXTERIOR SIDE YARD BUILDING SETBACK (m)	3.00	23.52	3.00	1.00	
REQUIRED EXTERIOR SIDE YARD BUILDING SETBACK (m)	3.00	7.90	3.00		
REQUIRED REAR YARD BUILDING SETBACK (m)	3.00	38.50	N/A	N/A	
WTO SETBACK	14.00	14.00	N/A	N/A	
LOT AREA (AC)					
	27.60		6.30		
TOTAL GROUND FLOOR AREA (m ²)	58,529.37		9600.95		
F.A.R.	0.52		0.38		
	BUILDING 1	BUILDING 2	CONDO 1	CONDO 2	
MEZZANINE (m ²)	1,838.12	1,774.94	992.45	573.45	
INDUSTRIAL AREA (m ²)	26,188.17	28,728.14	5,158.20	2,876.90	
TOTAL BUILDING GFA (m ²)	28,026.29	30,503.08	6,150.65	3,450.35	
MECH/ELEC ROOM (m ²)	136.36	136.36	21.13	21.13	
STAGING AREA (m ²)	6,236.73	6,461.76	N/A	N/A	
NET FLOOR AREA (m ²)	21,547.20	23,901.93	6,129.47	3,429.22	
City of Markham Parking Standards Bylaw 28-87					
Parking is calculated for each individual industrial premises as follows:					
Industrial:					
Net floor area up to 1200 sq.m.: 1 parking space per 40 sq.m. or portion thereof net floor area					
Net floor area between 1200 sq.m. and 6000 sq.m.: 1 parking space per 100 sq.m. or portion thereof net floor area					
Net floor area exceeds 6000 sq.m.: 1 parking space per 200 sq.m. or portion thereof net floor area					
Office:					
1 parking space per 30 sq.m. of net floor area					

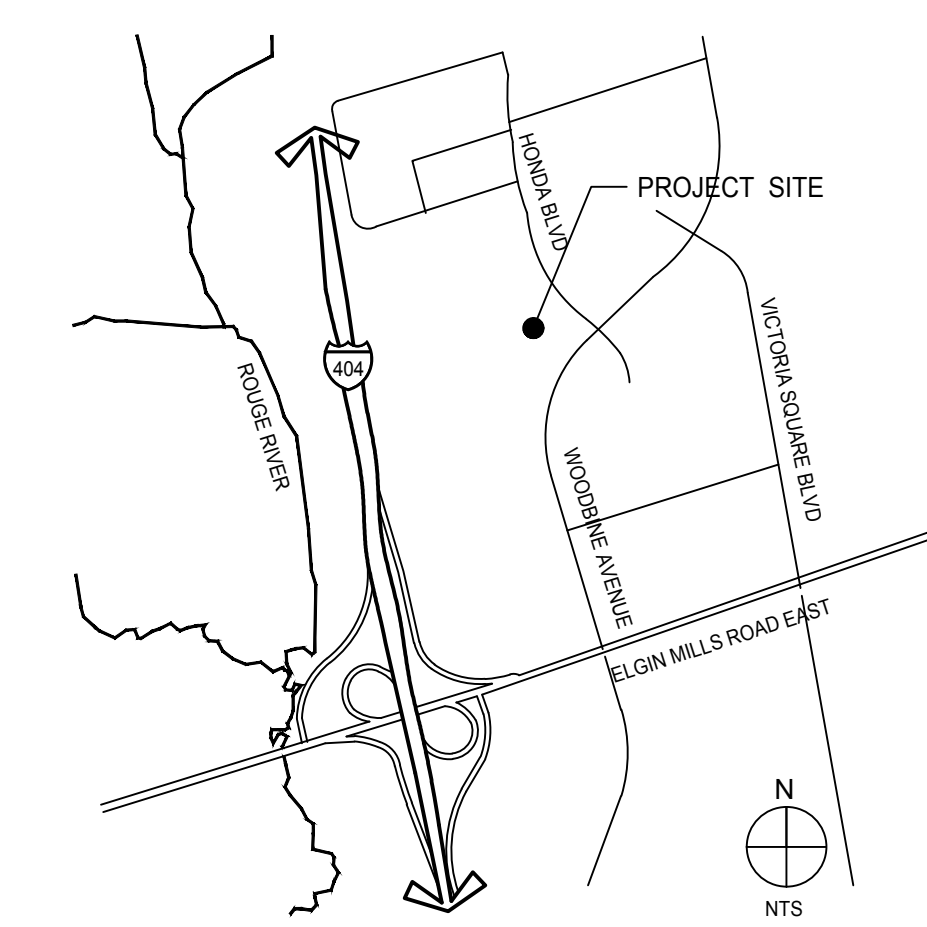
SITE PLAN NOTES

- PROPERTY LINE
- 2750x5800 PARKING STALL, PAINTED PARKING STRIPPING PER CITY MARKHAM MUNICIPAL STANDARDS.
- PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O
- DRIVE-IN RAMP, SEE CIVIL DRAWING FOR SLOPE %
- NEW ACCESSIBLE EXTERIOR CONCRETE RAMP.
- CONCRETE APRON
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- 150mm WIDE CURB TYPICAL
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- FIRE DEPARTMENT CONNECTION / SIAMSE
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE, TYP.
- FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS () PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY CITY OF TORONTO.
- RETAINING WALL. SEE CIVIL DWNG.
- LINE OF CANOPY ABOVE
- PROPOSED LOCATION OF MECHANICAL ROOM
- PROPOSED LOCATION OF ELECTRICAL ROOM
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS
- PAINTED PEDESTRIAN PATH
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD.
- PROPOSED LOCATION OF GAS METER
- CURB RADII AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- SNOW STORAGE AREA
- LOCATION OF BIKE RACK.

SITE LEGEND

- AREA OF WORK IN SEPARATE APPLICATION FOR MUNICIPAL R.O.W.
- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- FIRE ACCESS ROUTE WITH 12.0M TURNING RADIUS
- TRUCK LOADING DOCK DOOR
- MAN DOOR
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- FLUSH CURB FOR ACCESSIBLE PARKING. FOR SLOPE % SEE CIVIL DRAWINGS
- PROPOSED WALLPACK LIGHTING (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- PROPOSED LIGHTING POLE (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- TRANSFORMER LOCATION
- CURRENT PROPERTY LINE
- DRIVE-IN DOOR

KEY PLAN



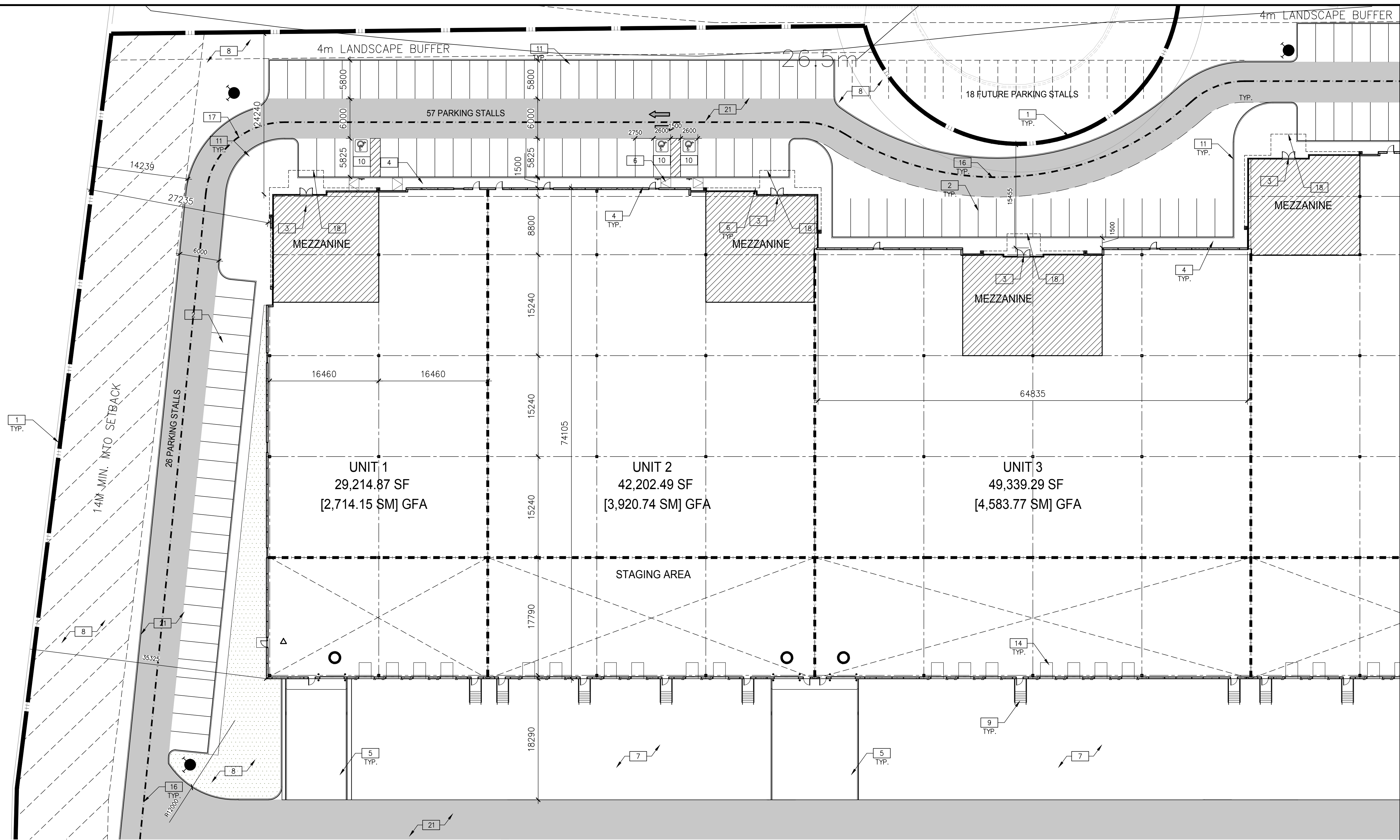
OVERALL SITE PLANS

DATE	2020-02-03	PROGRESS SET	REMARKS
1			

PA / PM:	AM
DRAWN BY:	
JOB NO.:	TOR19-0077-00

SHEET

A1.0



PARTIAL SITE PLAN - BUILDING 1
SCALE: 1:300
CONSTRUCTION NORTH TRUE NORTH

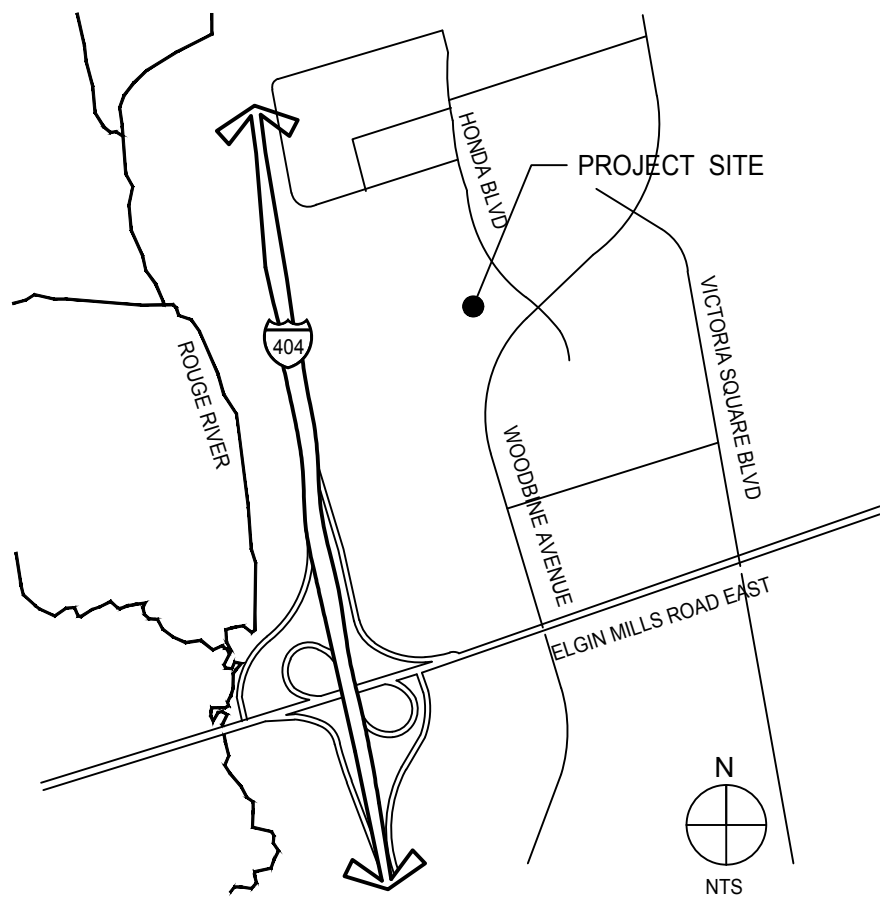
SITE PLAN NOTES

- 1 PROPERTY LINE
- 2 2750x5800 PARKING STALL, PAINTED PARKING STRIPING PER CITY MARKHAM MUNICIPAL STANDARDS.
- 3 PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
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- 26 SNOW STORAGE AREA
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- PROPOSED LIGHTING POLE (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- TRANSFORMER LOCATION
- CURRENT PROPERTY LINE
- DRIVE-IN DOOR

KEY PLAN



PARTIAL SITE PLAN

DATE	REMARKS
1 2020-02-03	PROGRESS SET

PA / PM:	AM
DRAWN BY:	
JOB NO.:	TOR19-0077-00

SHEET

A1.1

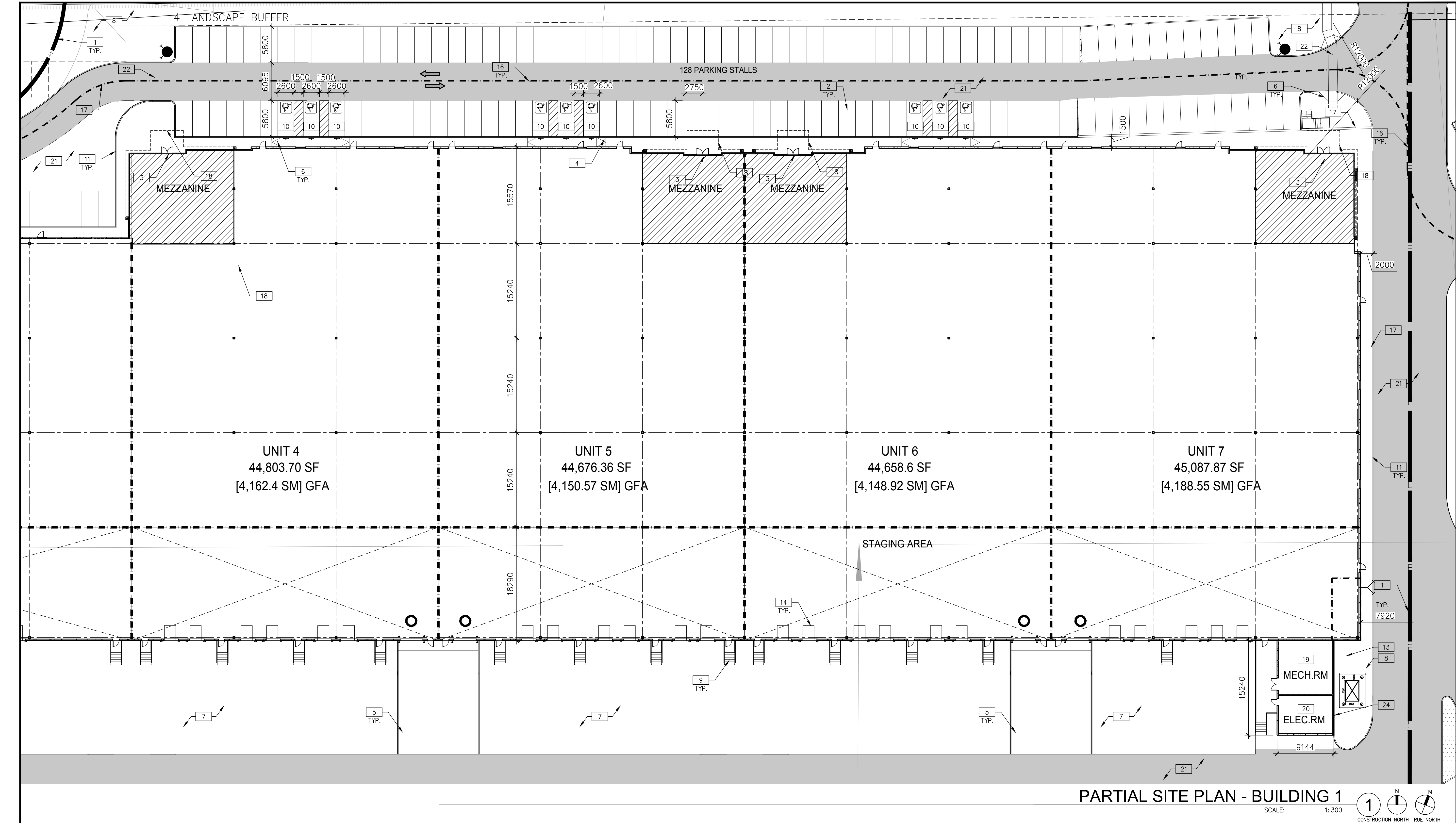
WARE MALCOMB
Leading Design for Commercial Real Estate

architecture
planning
interiors
graphics
civil engineering

180 bass pro mills drive, unit 103
vaughan, ontario, L4K 5W9
p 905.760.1221
f 905.248.3344
a business name of WMA Inc.

BERKSHIRE AXIS
MARKHAM

MOBIS ROAD
MARKHAM, ONTARIO



PARTIAL SITE PLAN - BUILDING 1
SCALE: 1:300
1
CONSTRUCTION NORTH TRUE NORTH

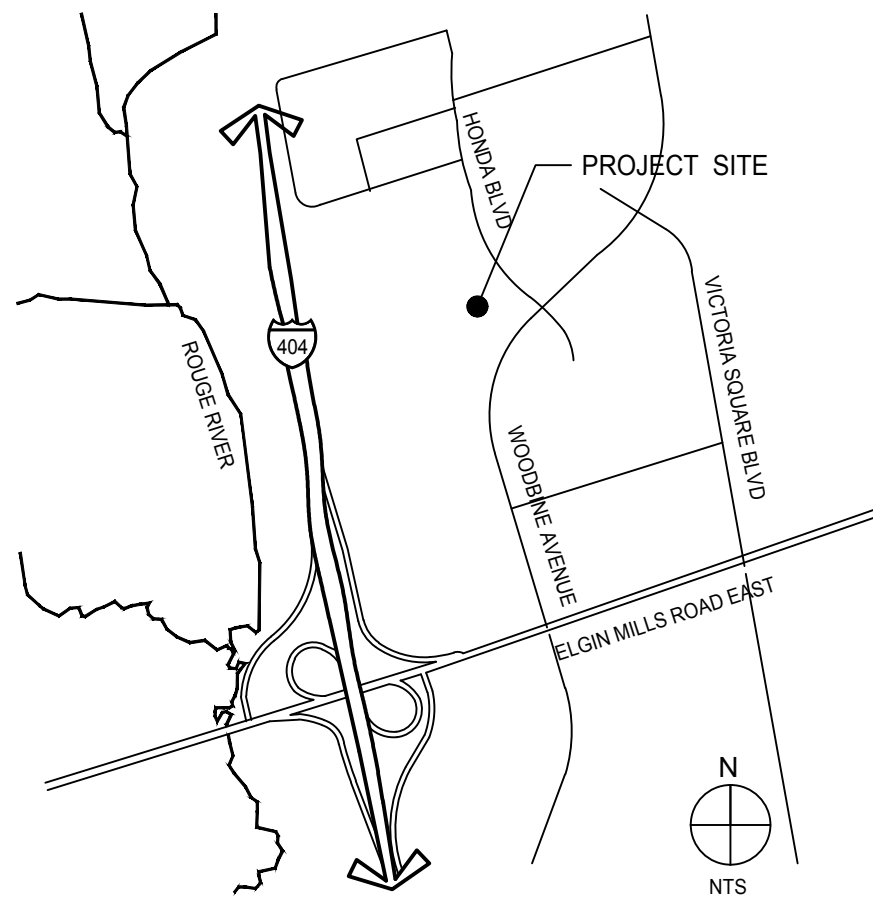
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KEY PLAN



WARE MALCOMB
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architecture
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MARKHAM, ONTARIO

PARTIAL SITE PLAN

DATE	REMARKS
1 2020-02-03	PROGRESS SET

PA / PM:	AM
DRAWN BY:	
JOB NO.:	TOR19-0077-00

SHEET
A1.1a

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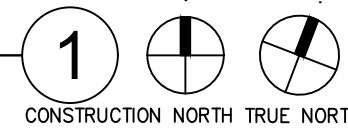
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BERKSHIRE AXIS
MARKHAM

MOBIS ROAD
MARKHAM, ONTARIO

PARTIAL SITE PLAN - BUILDING 2

SCALE: 1: 300



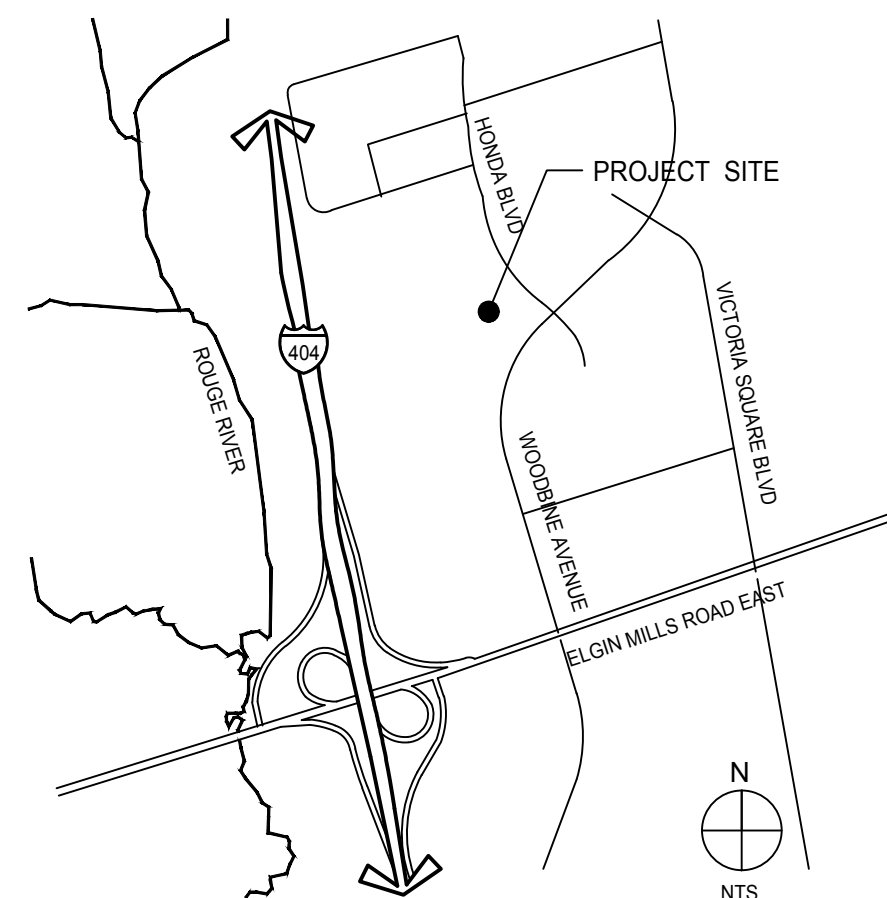
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- LOCATION OF BIKE RACK.

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- PROPOSED WALLPACK LIGHTING (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- PROPOSED LIGHTING POLE (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- TRANSFORMER LOCATION
- CURRENT PROPERTY LINE
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KEY PLAN



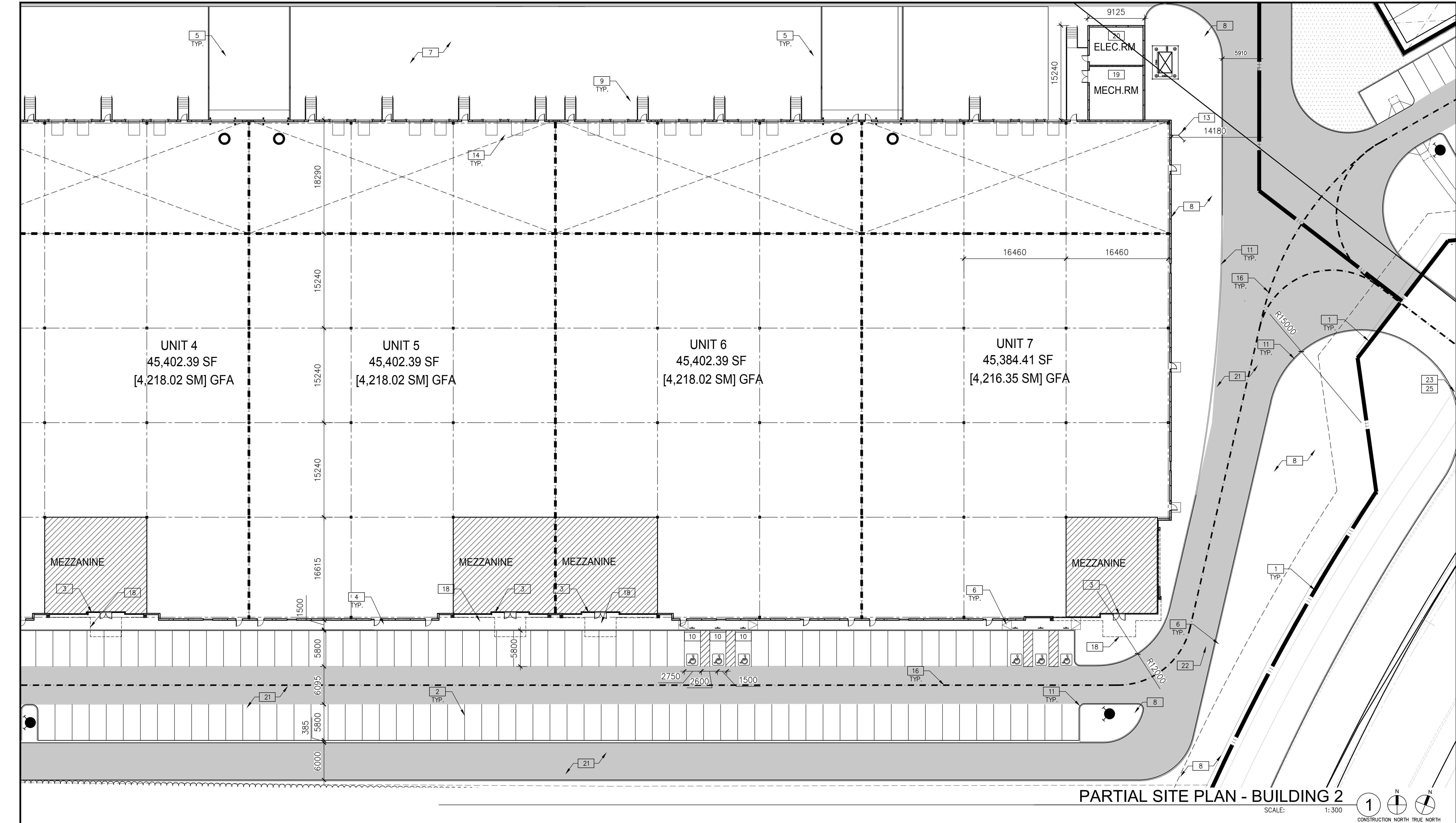
PARTIAL SITE PLAN

DATE	REMARKS	
	PROGRESS SET	
1	2020-02-03	

PA / PM:	AM
DRAWN BY:	
JOB NO.:	TOR19-0077-00

SHEET

A1.2



PARTIAL SITE PLAN - BUILDING 2
SCALE: 1:300
CONSTRUCTION NORTH TRUE NORTH

SITE PLAN NOTES

- 1

PROPERTY LINE
- 2

2750x5800 PARKING STALL, PAINTED PARKING STRIPPING PER CITY MARKHAM MUNICIPAL STANDARDS.
- 3

PRINCIPLE ENTRY – TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 4

1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O
- 5

DRIVE-IN RAMP, SEE CIVIL DRAWING FOR SLOPE %
- 6

NEW ACCESSIBLE EXTERIOR CONCRETE RAMP.
- 7

CONCRETE APRON
- 8

LANDSCAPE AREA – SEE LANDSCAPE DWGS.
- 9

EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- 10

TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPPING PER CITY OF MARKHAM MUNICIPAL STANDARDS. EACH PAIR OF SHARED STALL TO HAVE (2) 2600X5800 LONG WITH A 1500mm WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- 11

150mm WIDE CURB TYPICAL
- 12

EMPLOYEE AMENITY AREA – SEE LANDSCAPE DWGS.
- 13

FIRE DEPARTMENT CONNECTION / SIAMESE
- 14

TRUCK LOADING DOCK (TYPICAL)

15

LOADING SPACE, TYP.

16

FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS (— — — — —) PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY CITY OF TORONTO.

17

RETAINING WALL. SEE CIVIL DWNG.

18

LINE OF CANOPY ABOVE

19

PROPOSED LOCATION OF MECHANICAL ROOM

20

PROPOSED LOCATION OF ELECTRICAL ROOM

21

HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS

22

PAINTED PEDESTRIAN PATH

23

ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD.

24

PROPOSED LOCATION OF GAS METER

25

CURB RADII AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. – SEE CIVIL DWGS.

26

SNOW STORAGE AREA

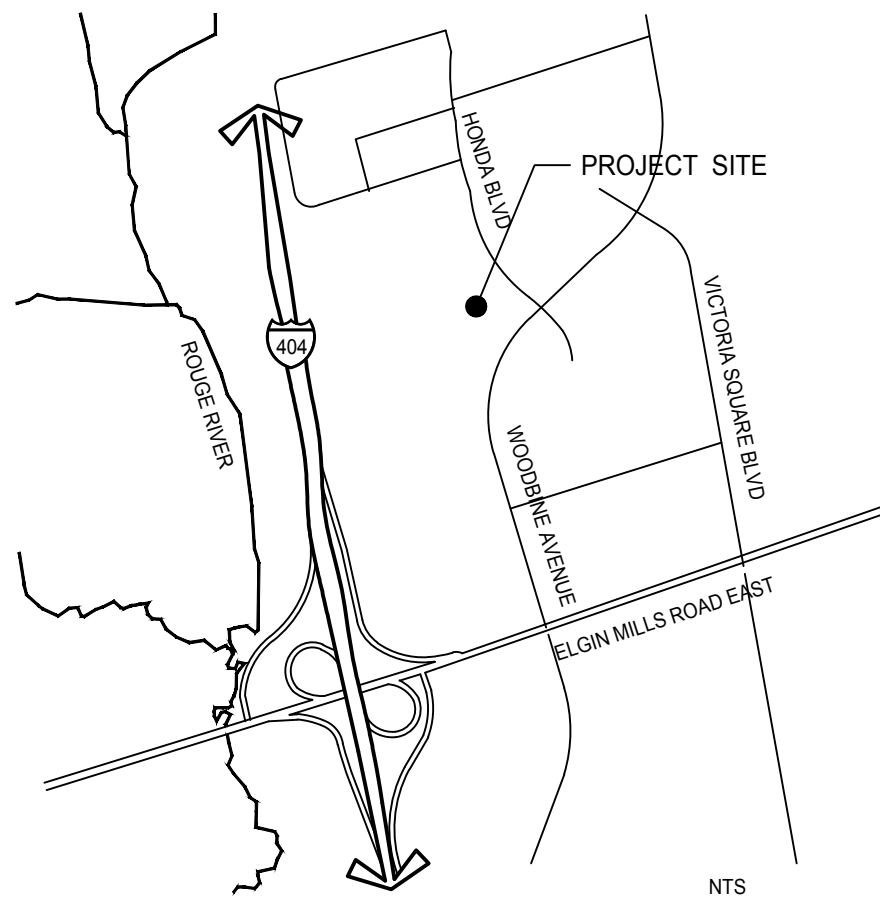
27

LOCATION OF BIKE RACK.

SITE LEGEND

- AREA OF WORK IN SEPARATE APPLICATION FOR MUNICIPAL R.O.W.
- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- FIRE ACCESS ROUTE WITH 12.0M TURNING RADIUS
- TRUCK LOADING DOCK DOOR
- MAN DOOR
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- FLUSH CURB FOR ACCESSIBLE PARKING. FOR SLOPE % SEE CIVIL DRAWINGS
- PROPOSED WALLPACK LIGHTING (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- PROPOSED LIGHTING POLE (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- TRANSFORMER LOCATION
- CURRENT PROPERTY LINE
- DRIVE-IN DOOR

KEY PLAN



BERKSHIRE AXIS
MARKHAM

MOBIS ROAD
MARKHAM, ONTARIO

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PARTIAL SITE PLAN

DATE	REMARKS
1 2020-02-03	PROGRESS SET

PA / PM:	AM
DRAWN BY:	
JOB NO.:	TOR19-0077-00

SHEET
A1.2a

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**BERKSHIRE AXIS
MARKHAM**

MOBIS ROAD
MARKHAM, ONTARIO

FLOOR PLAN - BLDG 1

REMARKS

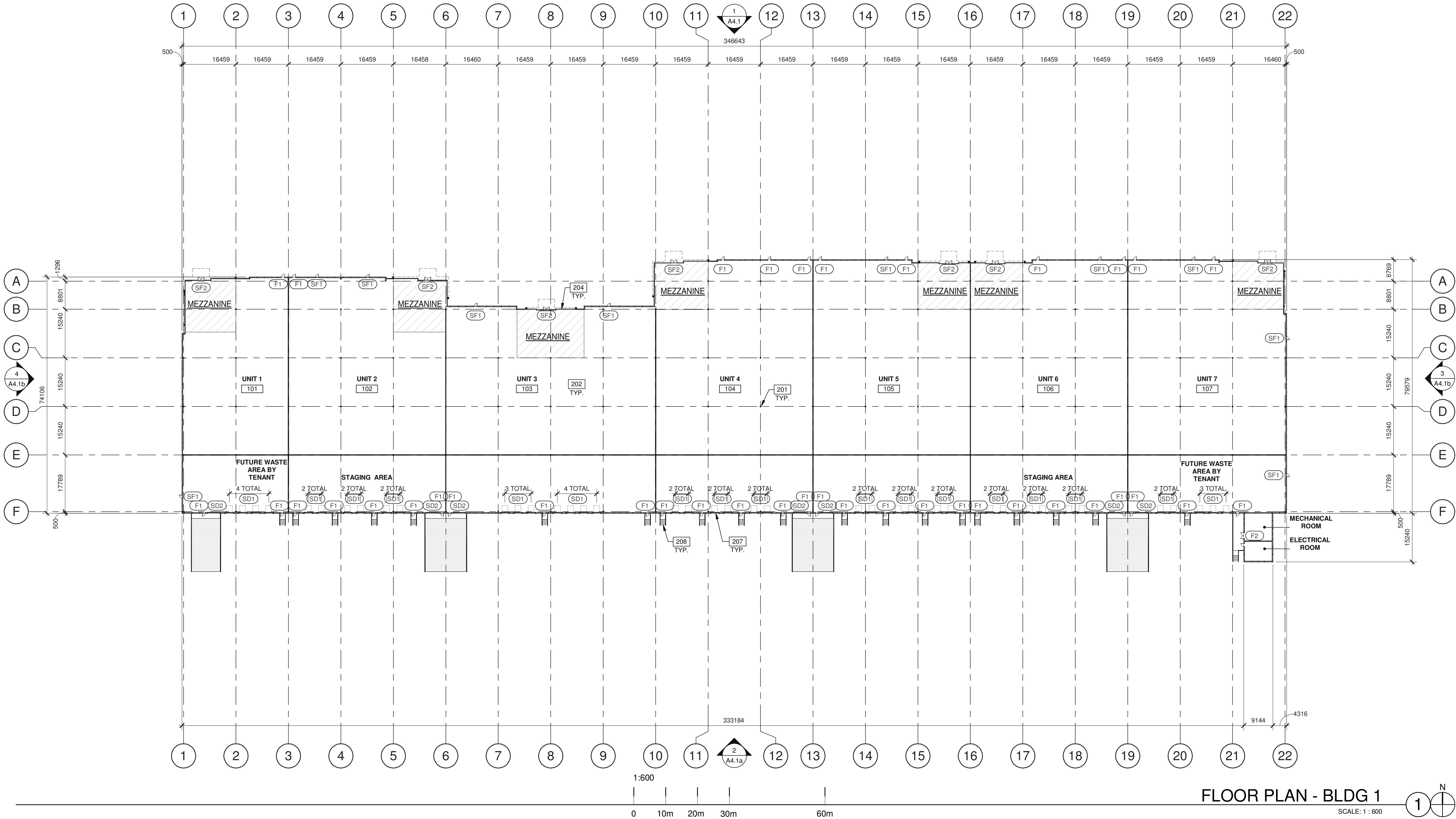
DATE

PA/PM: C. ROCH/A. MORSY
DRAWN BY: D.V.
JOB NO.: TOR19-0077-00

SHEET

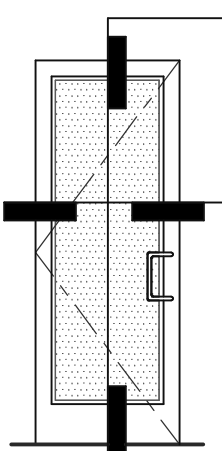
A2.1

13-02-2020_PROGRESS SET



DOOR TYPES

(SF1) ALUMINUM
STOREFRONT



(SF1) 965mm x 2440mm
CLEAR ANOD. ALUM. STOREFRONT
DOOR W/TEMPERED GLAZING
(NARROW STYLE)

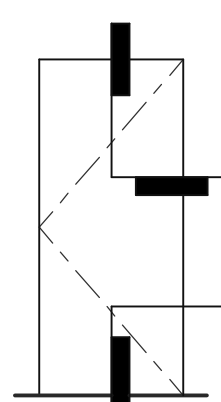
(SF2) 1930mm x 2440mm (PAIR)
CLEAR ANOD. ALUM. STOREFRONT
DOOR W/TEMPERED GLAZING
(NARROW STYLE)

FRAME: MANUFACTURER

HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA EXIT DEVICE
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR
MANUFACTURER

(F1) HOLLOW
METAL



(F1) 965mm x 2135mm
PAINTED INSULATED
HOLLOW METAL DOOR

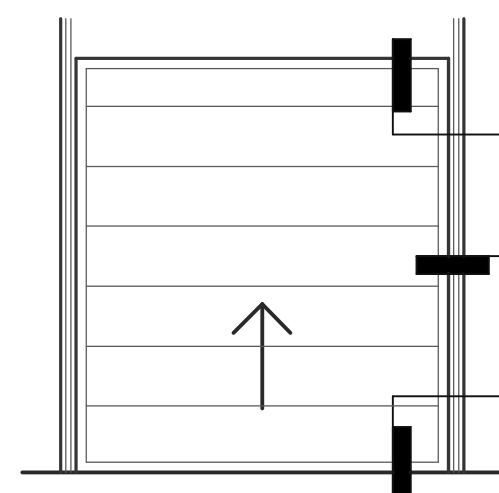
FRAME: PAINTED HOLLOW METAL

(F2) 1930mm x 2135mm
PAINTED INSULATED
HOLLOW METAL DOOR

FRAME: PAINTED HOLLOW METAL

HARDWARE:
3 EA HINGES
1 EA EXIT DEVICE
1 EA CYLINDER
1 EA CLOSER
1 EA PERIMETER SEAL
1 EA BOTTOM DRIP
1 EA THRESHOLD
1 EA LOCK GUARD
1 EA HVY DUTY FLOOR STOP

(SD1) SECTIONAL O.H. DOOR



(SD1) 2745mm x 3050mm
DOCK HIGH SECTIONAL VERTICAL
LIFT OVERHEAD DOOR W/ FACTORY
PAINTED FINISH.

(SD2) 3660mm x 4270mm
SECTIONAL VERTICAL LIFT
OVERHEAD DOOR W/ FACTORY
PAINTED FINISH

HARDWARE:
1 EA SLIDE BOLT
1 EA PAD LOCK

FOR (SD1)

FOR (SD2)

LEGEND

FUTURE OFFICE AREA

WALL LEGEND

CONCRETE WALL
 CROSS BRACING, SEE STRUCTURAL DRAWINGS
 INSULATED METAL PANEL
 ALUMINIUM COMPOSITE PANEL

NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

- 201 STRUCTURAL STEEL COLUMN.
202 CONCRETE SLAB. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN
WAREHOUSE.
204 CURTAIN WALL SYSTEM.
207 OVERHEAD DOCK-LEVEL DOORS.
208 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.

DOOR NOTES

BUTT HINGES:
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED
EQUAL.
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS
MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL
CLOSING DEVICES: NORTON 8500 BF SERIES OR APPROVED EQUAL
STOPS: TRIMCO W1200 SERIES DOOR STOP
SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

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BERKSHIRE AXIS
MARKHAM

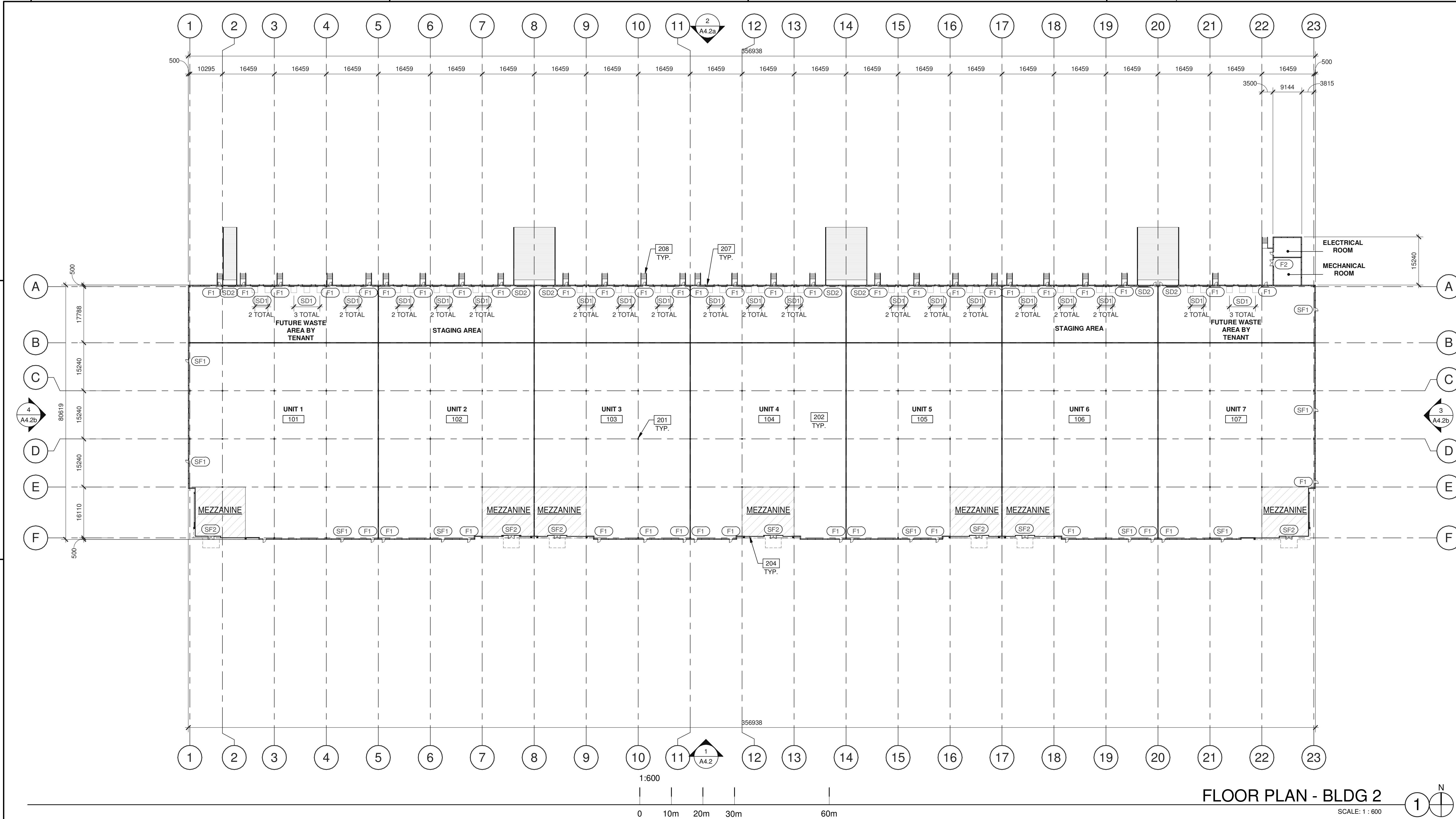
MOBIS ROAD
MARKHAM, ONTARIO

FLOOR PLAN - BLDG 2	
DATE	REMARKS

PA/PM:	C. ROCH/A. MORSEY
DRAWN BY:	D.V.
JOB NO.:	TOR19-0077-00

SHEET

A2.1a



DOOR TYPES

(SF1)

ALUMINUM
STOREFRONT

(SF2)

1930mm x 2440mm (PAIR)
CLEAR ANOD. ALUM. STOREFRONT
DOOR W/TEMPERED GLAZING
(NARROW STYLE)

FRAME: MANUFACTURER

HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA EXIT DEVICE
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR
MANUFACTURER

(F1)

HOLLOW
METAL

(F2)

1930mm x 2135mm
PAINTED INSULATED
HOLLOW METAL DOOR

FRAME: PAINTED HOLLOW METAL

HARDWARE:
3 EA HINGES
1 EA EXIT DEVICE
1 EA CYLINDER
1 EA CLOSER
1 EA PERIMETER SEAL
1 EA BOTTOM DRIP
1 EA THRESHOLD
1 EA LOCK GUARD
1 EA HVY DUTY FLOOR STOP

DOOR NOTES

BUTT HINGES:
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED
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MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL
CLOSING DEVICES: NORTON 8500 BF SERIES OR APPROVED EQUAL
STOPS: TRIMCO W1200 SERIES DOOR STOP
SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

LEGEND

FUTURE OFFICE AREA

CONCRETE WALL

CROSS BRACING, SEE STRUCTURAL DRAWINGS

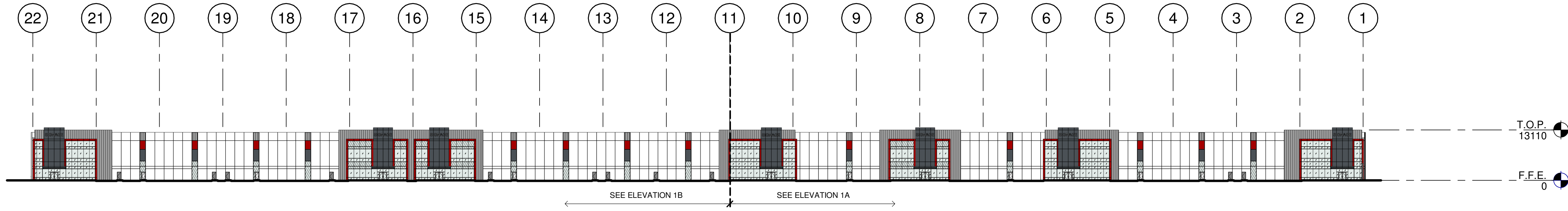
INSULATED METAL PANEL

ALUMINUM COMPOSITE PANEL

NOTES

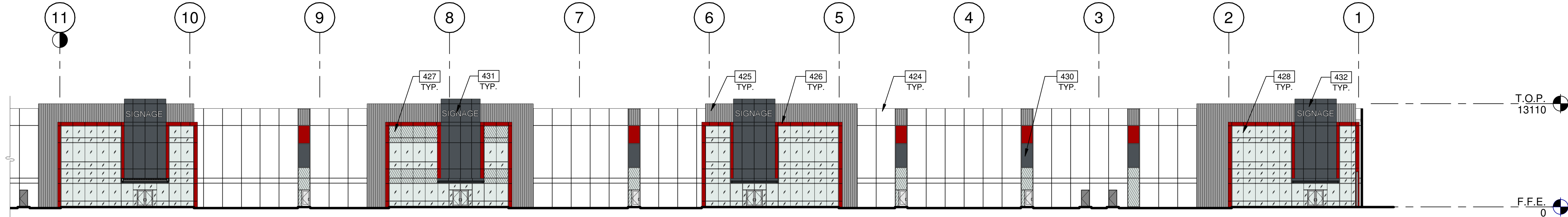
- SEE SHEET A0.2 FOR GENERAL NOTES
- 201 STRUCTURAL STEEL COLUMN.
202 CONCRETE SLAB. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN
WAREHOUSE.
204 CURTAIN WALL SYSTEM.
207 OVERHEAD DOCK-LEVEL DOORS.
208 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.

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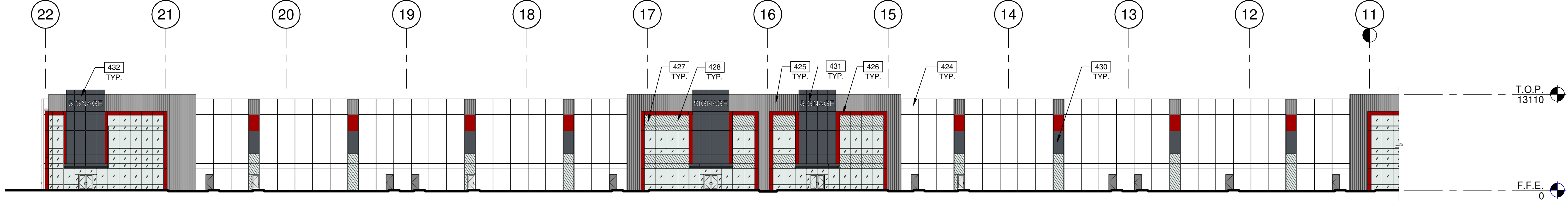
OVERALL NORTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 600



PARTIAL NORTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 300



PARTIAL NORTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 300

LEGENDS

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLOURS:

PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

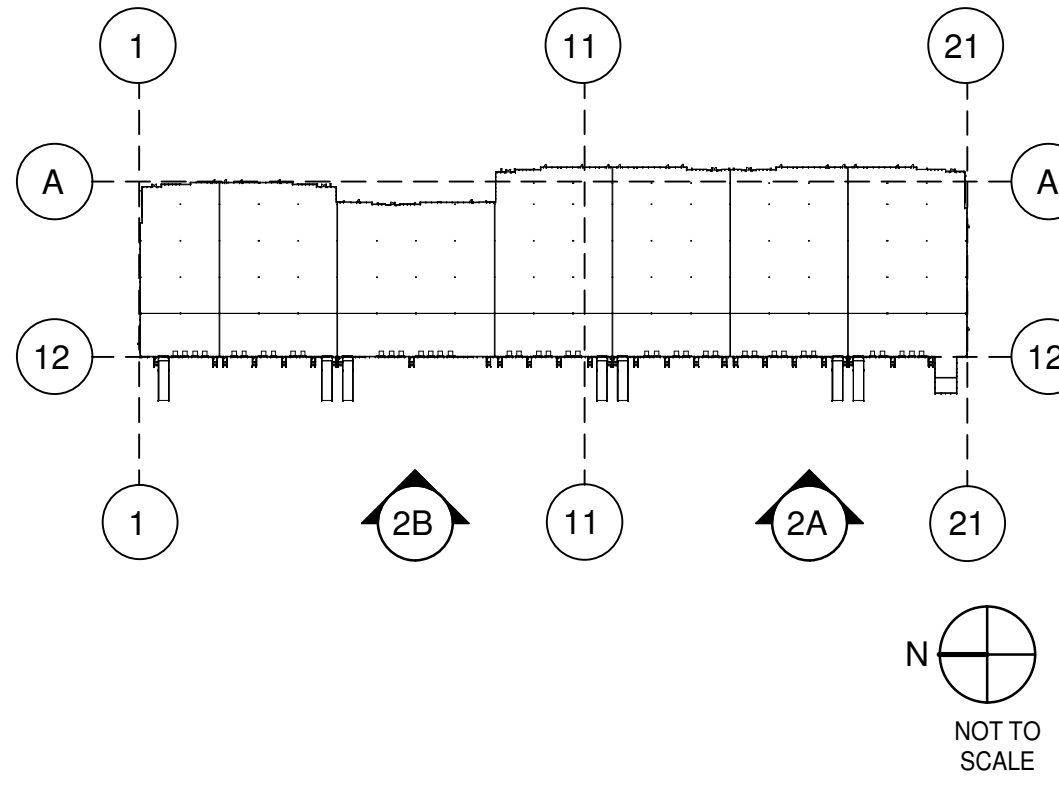
- A BASE COLOUR: XXX
- B SECONDARY COLOUR: XXX
- C ACCENT COLOUR: XXX
- D ACCENT COLOUR: XXX

NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

- 424 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.
- 425 RIBBED INSULATED METAL PANEL.
- 426 ALUMINUM COMPOSITE METAL PANEL - RED.
- 427 HIGH PERFORMANCE CURTAIN WALL SYSTEM WITH VISION AND SPANDREL PANELS.
- 428 BUTT-JOINT MULLION.
- 430 5'-0" WIDE GLERESTORY.
- 431 POTENTIAL SIGNAGE AND BRANDING LOCATION WITH ENHANCED LIGHTING.
- 432 ALUMINUM COMPOSITE METAL PANEL - BLACK.

KEY PLAN



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BERKSHIRE AXIS
MARKHAM
MOBIS ROAD
MARKHAM, ONTARIO

EXTERIOR ELEVATIONS - BLDG 1

DATE	REMARKS

PA/PM:	C. ROCH/A. MORSEY
DRAWN BY:	D.V.
JOB NO.:	TOR19-0077-00

SHEET

A4.1

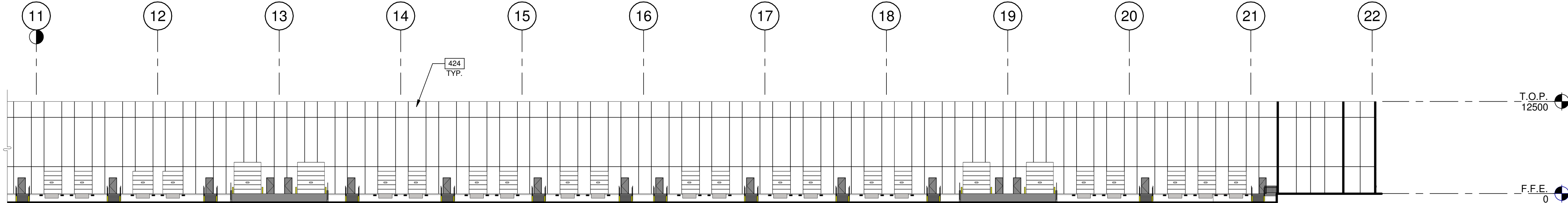
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OVERALL SOUTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 600

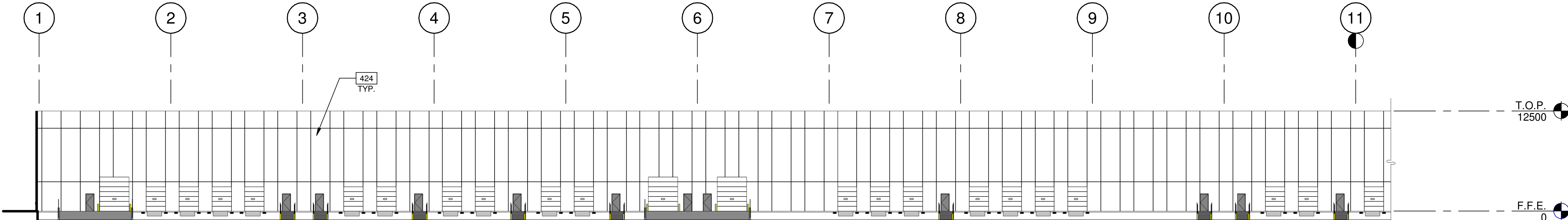
2



PARTIAL SOUTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 300

2A



PARTIAL SOUTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 300

2B

LEGENDS

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLOURS:

PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

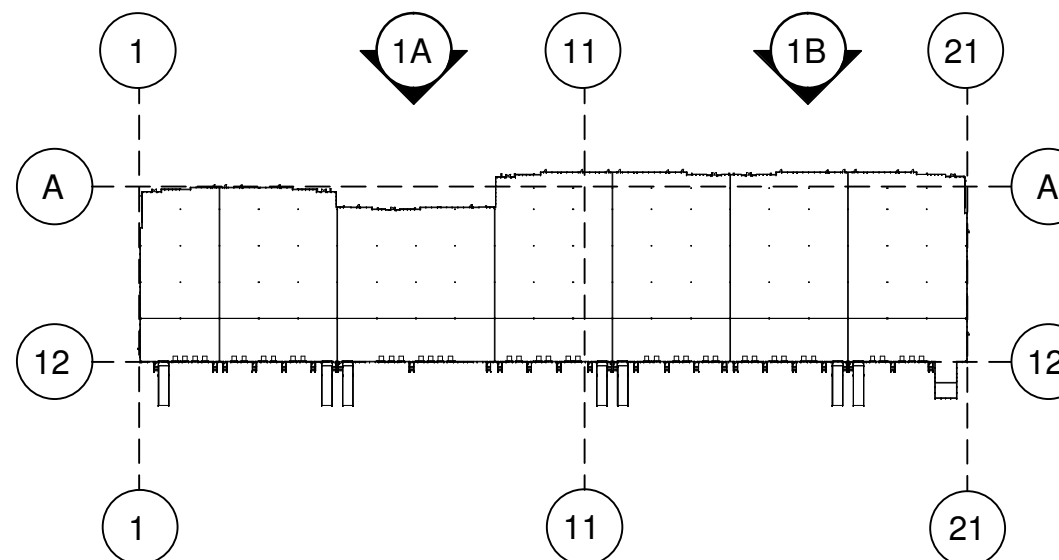
- BASE COLOUR: XXX
- SECONDARY COLOUR: XXX
- ACCENT COLOUR: XXX
- ACCENT COLOUR: XXX

NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

424 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.

KEY PLAN



NOT TO SCALE

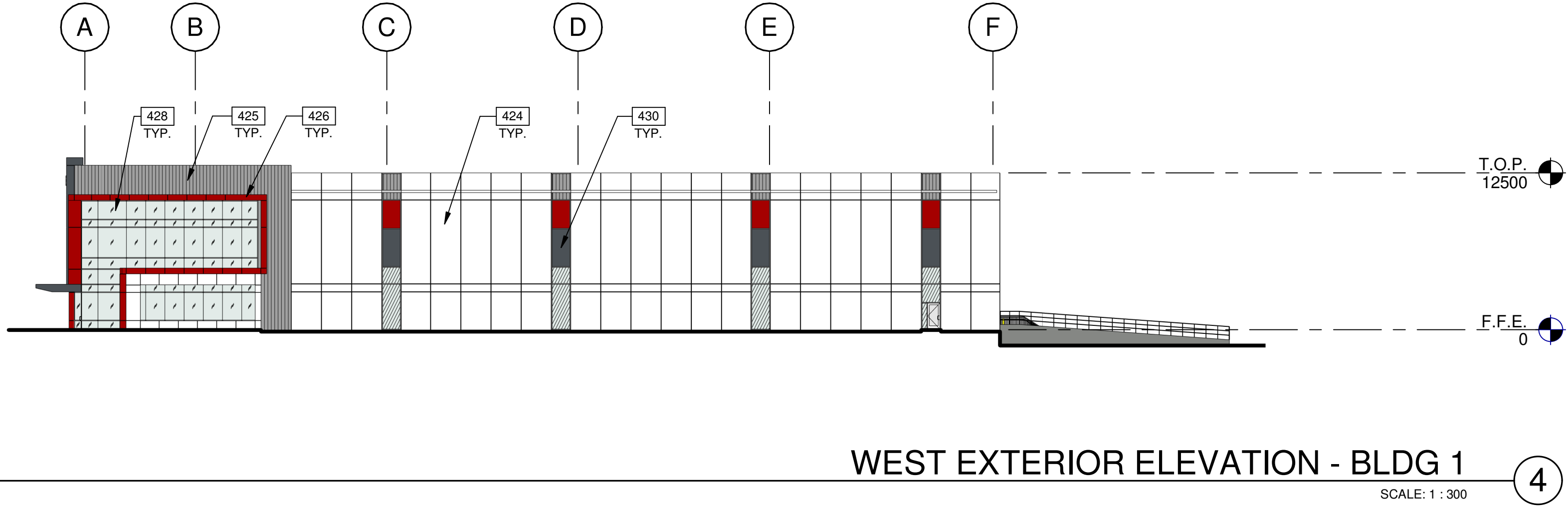
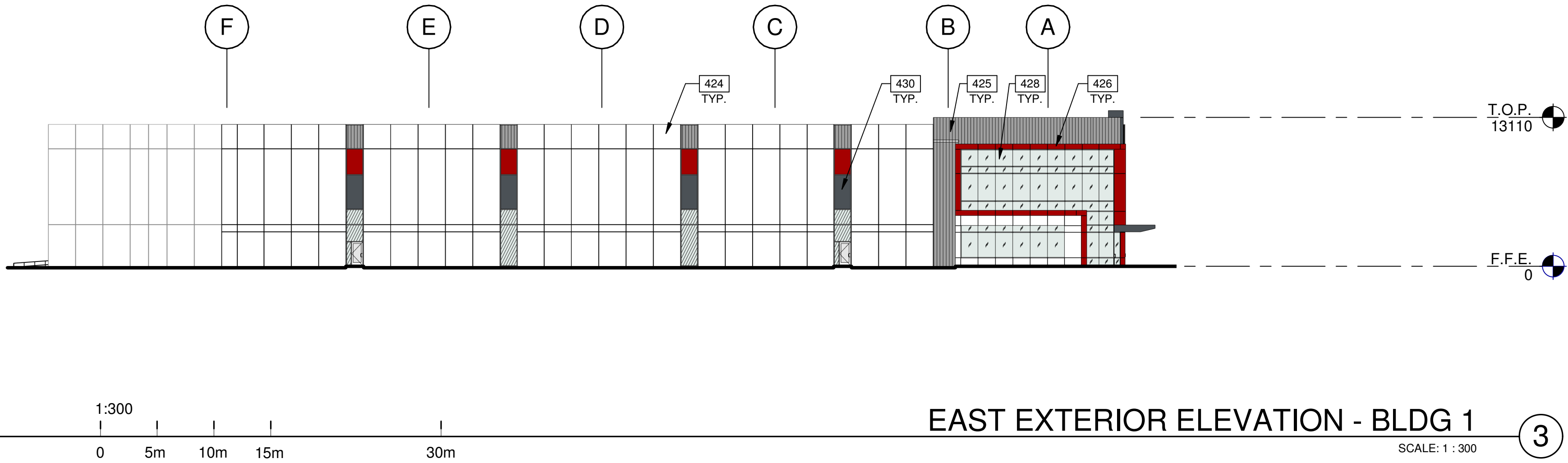
BERKSHIRE AXIS
MARKHAM
MOBIS ROAD
MARKHAM, ONTARIO

EXTERIOR ELEVATIONS - BLDG 1

DATE	REMARKS

PA/PM:	C. ROCH/A. MORSEY
DRAWN BY:	D.V.
JOB NO.:	TOR19-0077-00

A4.1a



LEGENDS

GLASS:

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLOURS:

PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

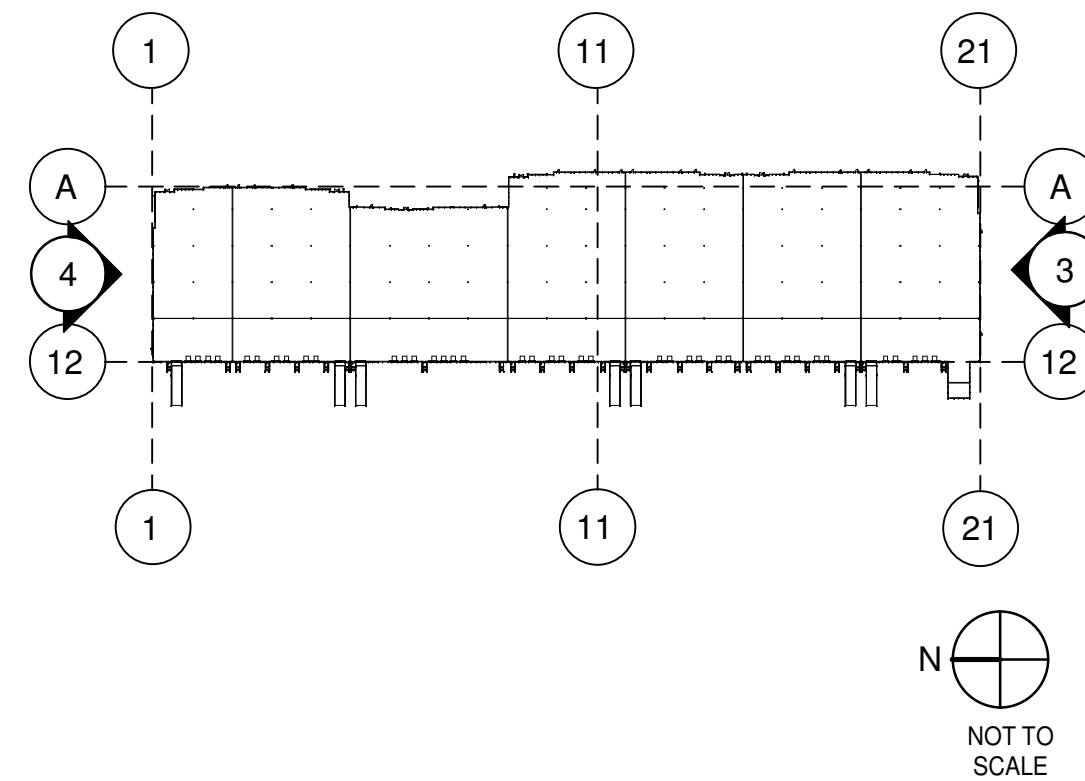
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	SECONDARY COLOUR: XXX
	ACCENT COLOUR: XXX
	ACCENT COLOUR: XXX

NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

424	8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.
425	RIBBED INSULATED METAL PANEL.
426	ALUMINUM COMPOSITE METAL PANEL - RED.
428	BUTT-JOINT MULLION.
430	5'-0" WIDE CLERESTORY.

KEY PLAN



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planning	vaughan, ontario, L4K 5W4
interiors	p 905.760.1221
graphics	f 905.248.3344
civil engineering	a business name of WMA Inc.

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MARKHAM
MOBIS ROAD
MARKHAM, ONTARIO

EXTERIOR ELEVATIONS - BLDG 1

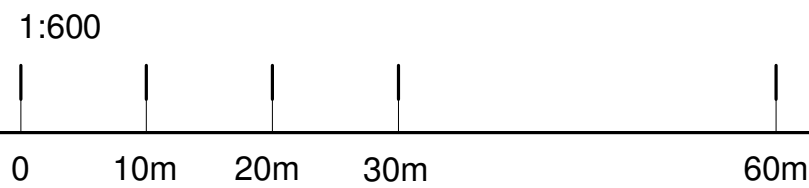
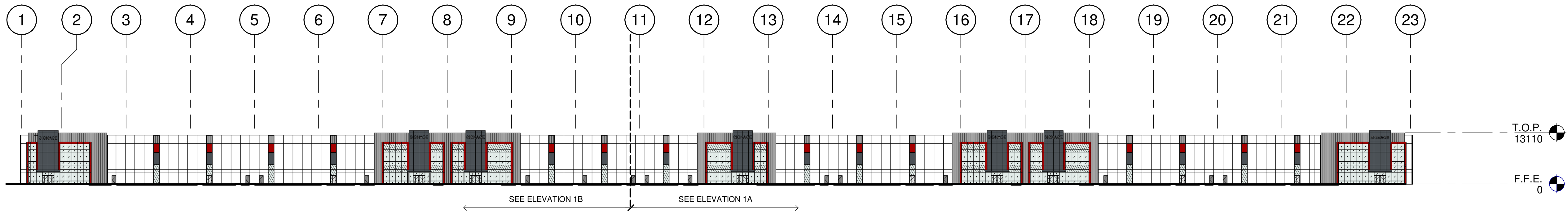
DATE	REMARKS

PA/PM:	C. ROCH/A. MORSEY
DRAWN BY:	D.V.
JOB NO.:	TOR19-0077-00

SHEET

A4.1b

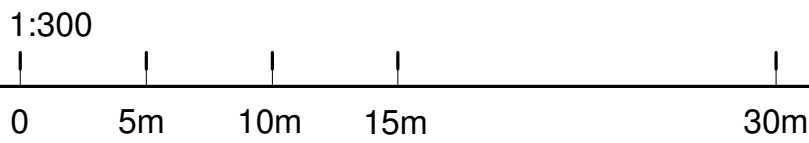
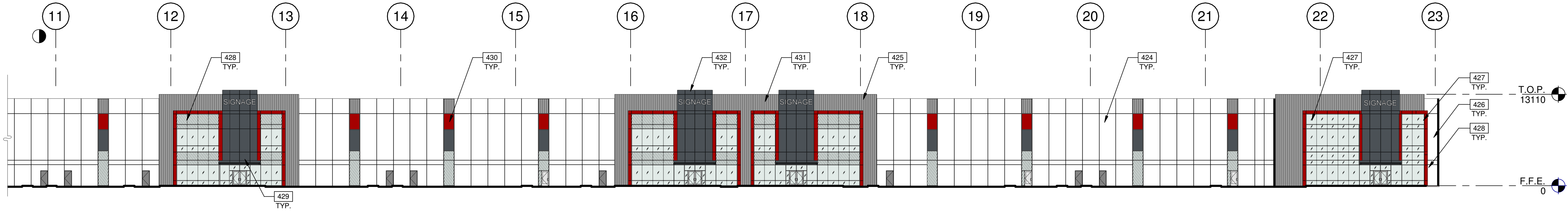
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SOUTH EXTERIOR ELEVATION - BLDG 2

SCALE: 1 : 600

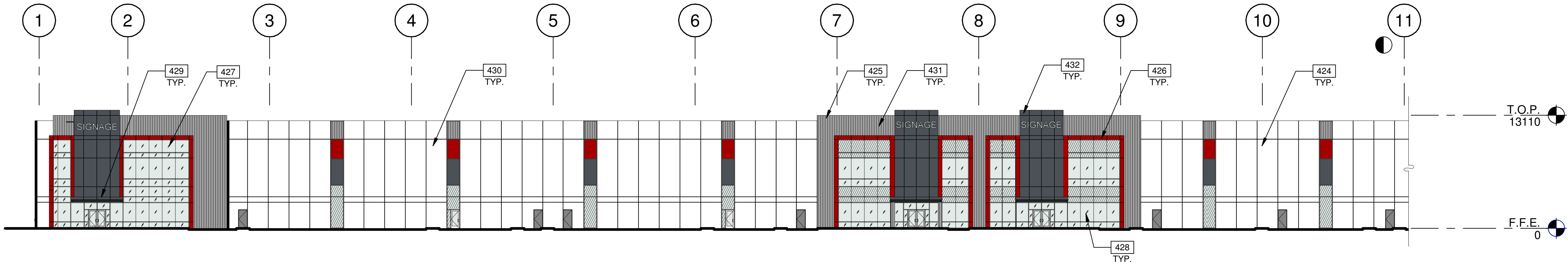
1



SOUTH EXTERIOR ELEVATION - BLDG 2

SCALE: 1 : 300

1A



SOUTH EXTERIOR ELEVATION - BLDG 2

SCALE: 1 : 300

1B

LEGENDS

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT
COLOURS:
PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

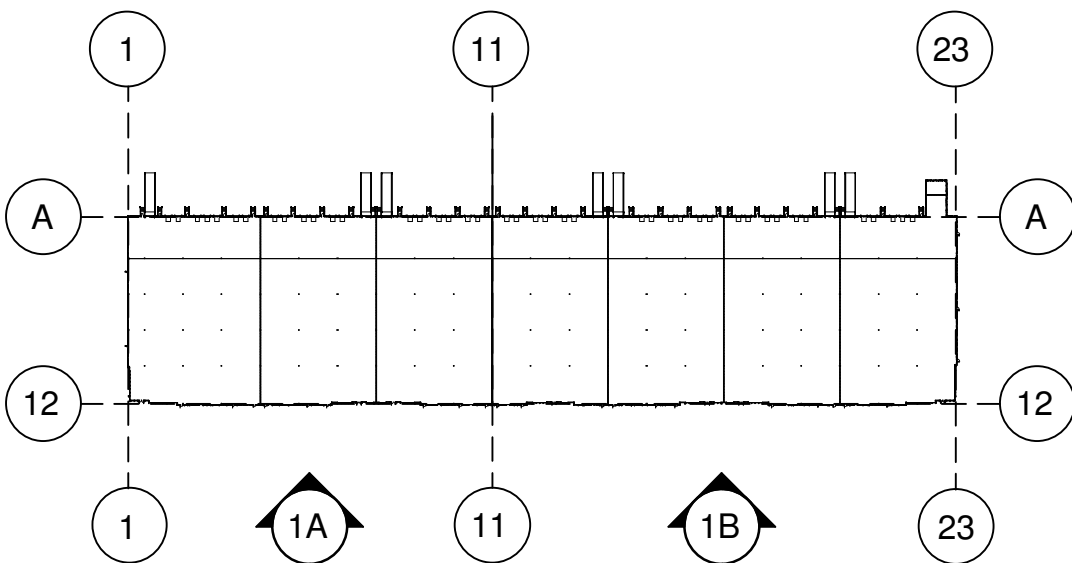
- A BASE COLOUR: XXX
- B SECONDARY COLOUR: XXX
- C ACCENT COLOUR: XXX
- D ACCENT COLOUR: XXX

NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

- 424 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.
- 425 RIBBED INSULATED METAL PANEL.
- 426 ALUMINUM COMPOSITE METAL PANEL - RED.
- 427 HIGH PERFORMANCE CURTAIN WALL SYSTEM WITH VISION AND SPANDREL PANELS.
- 428 BUTT-JOINT MULLION.
- 429 ALUMINUM COMPOSITE METAL CANOPY.
- 430 5'-0" WIDE CLERESTORY.
- 431 POTENTIAL SIGNAGE AND BRANDING LOCATION WITH ENHANCED LIGHTING.
- 432 ALUMINUM COMPOSITE METAL PANEL - BLACK.

KEY PLAN



BERKSHIRE AXIS
MARKHAM
MOBIS ROAD
MARKHAM, ONTARIO

EXTERIOR ELEVATIONS -
BLDG 2

DATE	REMARKS

PA/PM:	C. ROCH/A. MORSEY
DRAWN BY:	D.V.
JOB NO.:	TOR19-0077-00

SHEET

A4.2

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p 905.760.1221
f 905.248.3344
a business name of WMA Inc.



BERKSHIRE AXIS
MARKHAM

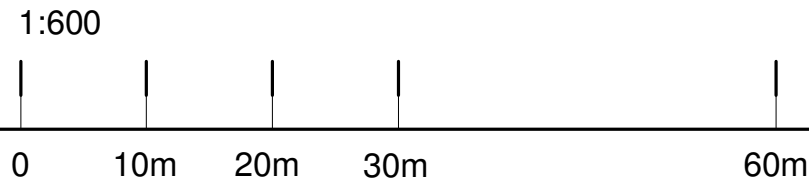
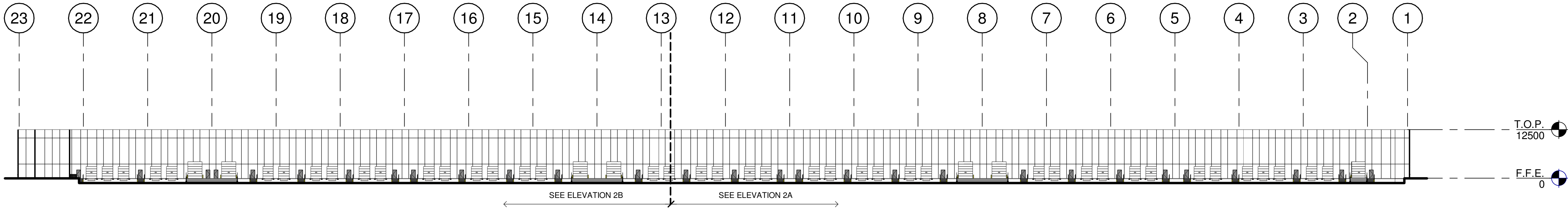
MOBIS ROAD
MARKHAM, ONTARIO

EXTERIOR ELEVATIONS - BLDG 2	
DATE	REMARKS

PA/PM:	C. ROCH/A. MORSEY
DRAWN BY:	D.V.
JOB NO.:	TOR19-0077-00

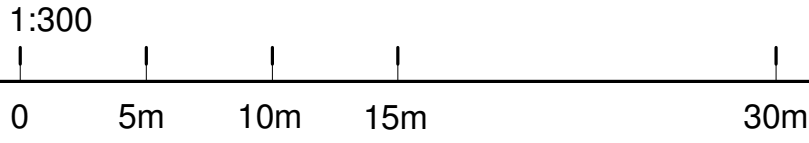
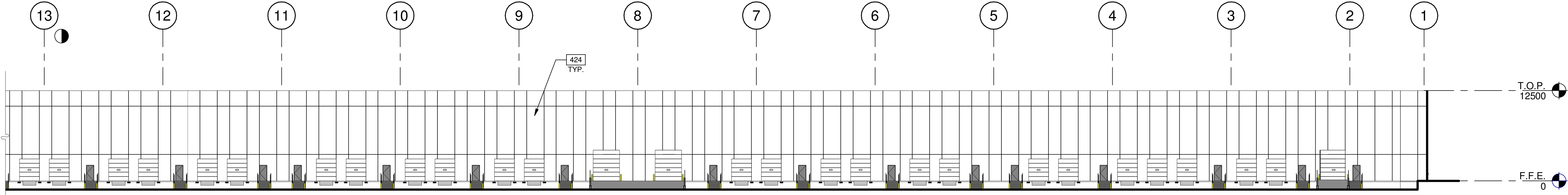
SHEET

A4.2a



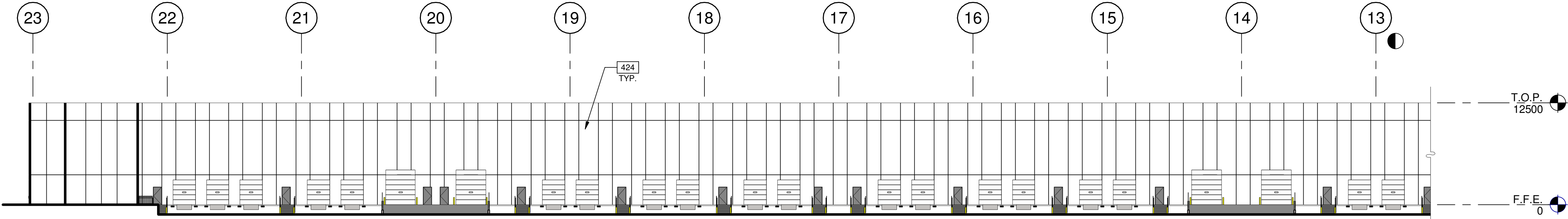
NORTH EXTERIOR ELEVATION - BLDG 2 2

SCALE: 1 : 600



NORTH EXTERIOR ELEVATION - BLDG 2 2A

SCALE: 1 : 300



NORTH EXTERIOR ELEVATION - BLDG 2 2B

SCALE: 1 : 300

LEGEND

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLOURS:

PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR
OWNER/ARCHITECT REVIEW.

- A

BASE COLOUR: XXX
- B

SECONDARY COLOUR: XXX
- C

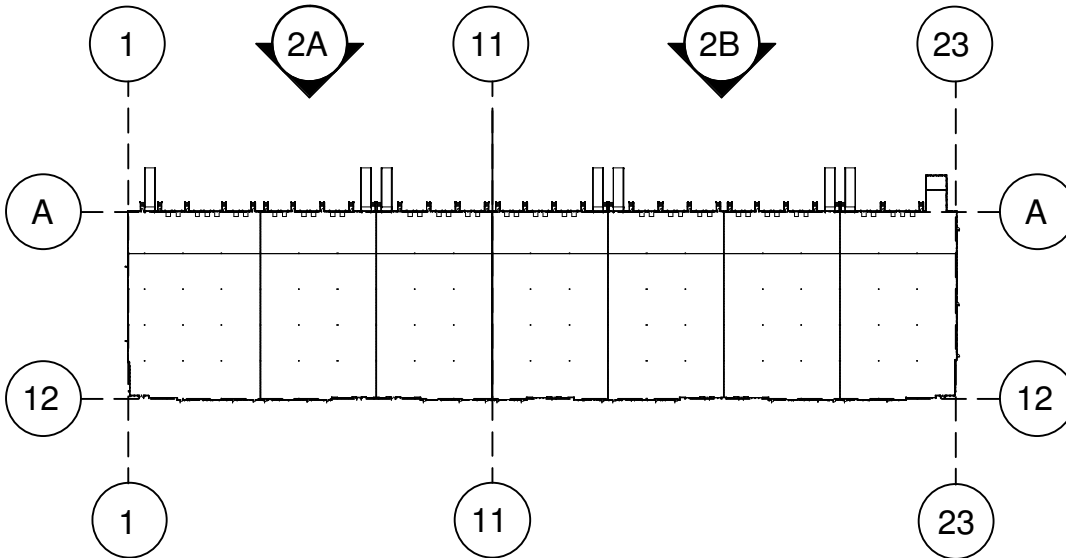
ACCENT COLOUR: XXX
- D

ACCENT COLOUR: XXX

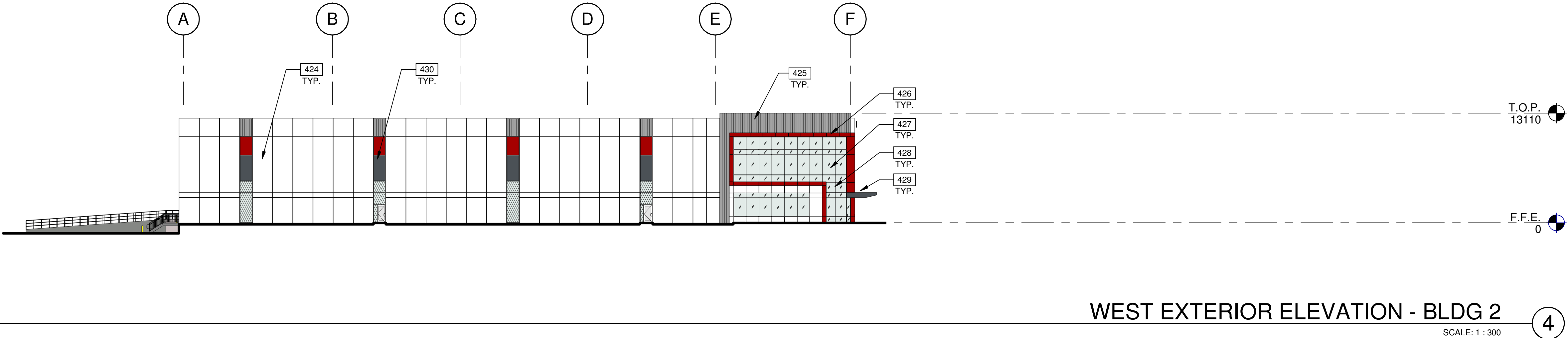
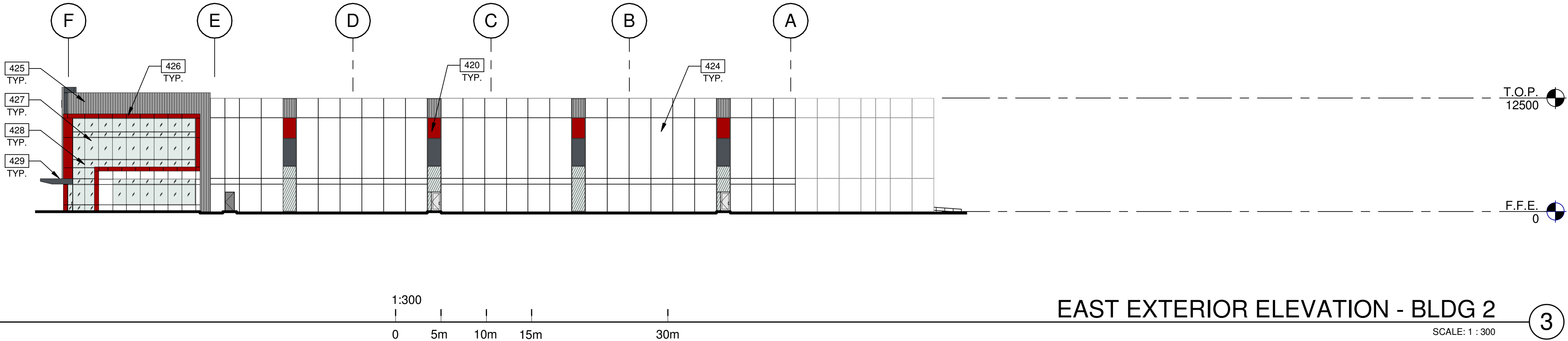
NOTES

- SEE SHEET A0.2 FOR GENERAL NOTES
- 424 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.

KEY PLAN



IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT



LEGEND

GLASS:

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLOURS:

PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

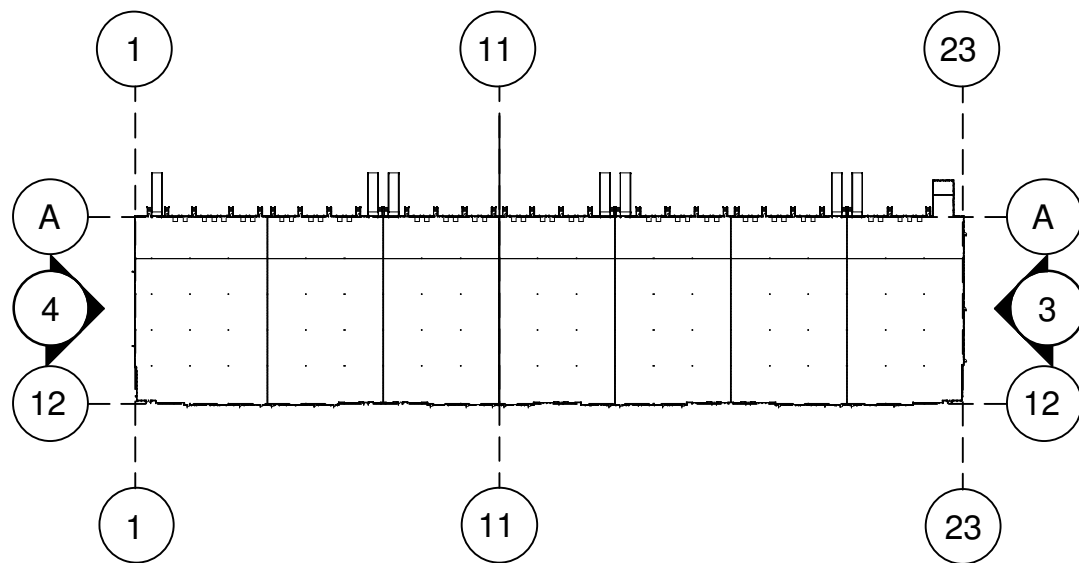
	BASE COLOUR: XXX
	SECONDARY COLOUR: XXX
	ACCENT COLOUR: XXX
	ACCENT COLOUR: XXX

NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

- 420 5' WIDE SPANDREL PANEL IN CLERESTORY.
- 424 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.
- 425 RIBBED INSULATED METAL PANEL.
- 426 ALUMINUM COMPOSITE METAL PANEL - RED.
- 427 HIGH PERFORMANCE CURTAIN WALL SYSTEM WITH VISION AND SPANDREL PANELS.
- 428 BUTT-JOINT MULLION.
- 429 ALUMINUM COMPOSITE METAL CANOPY.
- 430 5'-0" WIDE CLERESTORY.

KEY PLAN



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EXTERIOR ELEVATIONS - BLDG 2

DATE	REMARKS

PA/PM:	C. ROCH/A. MORSEY
DRAWN BY:	D.V.
JOB NO.:	TOR19-0077-00

SHEET

A4.2b