

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)  
CERTIFICATE OF PRACTICE NUMBER: 3619  
NAME OF PROJECT: TOR19-0077-00, WOODBINE AVENUE  
LOCATION: MOBIS ROAD, MARKHAM, ONTARIO

ITEM

ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9

1

PROJECT DESCRIPTION:  
XXXXXXX

☐ NEW

☐ ADDITION

☐ CHANGE OF USE

☐ PART 11

11.1 TO 11.4

☐ PART 3

1.1.2 (A)

☐ PART 9

1.1.2 (A) & 9.10.1.3

2

MAJOR OCCUPANCY(S) XXXX

3.1.2.1.(1)

9.10.2

3

BUILDING AREA (sq.m.) NEW: XXXX TOTAL: XXXX

1.4.1.2 (A)

1.4.1.2 (A)

4

GROSS AREA (sq.m.) NEW: XXXX TOTAL: XXXX

1.4.1.2 (A)

1.4.1.2 (A)

5

NUMBER OF STOREYS ABOVE GRADE: XX BELOW GRADE: XX

1.4.1.2 (A) & 3.2.1.1

1.4.1.2 (A) & 9.10.4

6

NUMBER OF STREETS / FIRE FIGHTER ACCESS: XX

3.2.2.10 & 3.2.5.5

9.10.20

7

BUILDING CLASSIFICATION(S) XX

3.2.2.20-83

9.10.2

8

SPRINKLER SYSTEM PROPOSED

☐ ENTIRE BUILDING

☐ SELECTED COMPARTMENTS

☐ SELECTED FLOOR AREAS

☐ BASEMENT ☐ IN LIEU OF ROOF RATING

☐ NOT REQUIRED

3.2.2.20-83

9.10.8.2

9

STANDPIPE REQUIRED ☐ YES ☐ NO

3.2.9

N/A

10

FIRE ALARM REQUIRED ☐ YES ☐ NO

3.2.4

9.10.18

11

WATER SERVICE / SUPPLY IS ADEQUATE ☐ YES ☐ NO ☐ N/A

3.2.5.7

N/A

12

HIGH BUILDING ☐ YES ☐ NO

3.2.6

N/A

13

CONSTRUCTION RESTRICTIONS

☐ COMBUSTIBLE PERMITTED

☐ NON-COMBUSTIBLE REQUIRED

☐ BOTH

☐ COMBUSTIBLE

☐ NON-COMBUSTIBLE

☐ BOTH

3.2.2.20-83

9.10.6

14

MEZZANINE(S) AREA m2 XX

3.2.1.1.(3)-(8)

9.10.4.1

15

OCCUPANT LOAD BASED ON ☐ m2 / PERSON ☐ DESIGN OF BUILDING

3.1.17

9.9.1.3

16

BARRIER-FREE DESIGN ☐ YES ☐ NO

3.8

9.5.2

17

HAZARDOUS SUBSTANCES ☐ YES ☐ NO

3.3.1.2 & 3.3.1.19

9.10.1.3 (4)

18

REQUIRED FIRE RESISTANCE RATING (FRR)

HORIZONTAL ASSEMBLIES FRR (HOURS)

FLOORS: XX HOURS

ROOF: XX HOURS

MEZZANINE: XX HOURS

FRR OF SUPPORTING MEMBERS

FLOORS: XX HOURS

ROOF: XX HOURS

MEZZANINE: XX HOURS

LISTED DESIGN No. OR DESCRIPTION (SG-2)

3.2.2.20-83 & 3.2.1.4

9.10.8

19

SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS

WALL

AREA OF EBF (sq. m.)

LD (m)

L/H OR H/L

PERMITTE D MAX. % OF OPENINGS

PROPOSED % OF OPENINGS

FRR (HOURS)

LISTED DESIGN No. OR DESCRIPT.

COMB. CONSTR.

COMB. CONSTR. NONC. CLADDING

NON-COMB. CONSTRUCTION

NORTH

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SOUTH

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EAST

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WEST

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3.2.3

9.10.14

BERKSHIRE AXIS MARKHAM

MOBIS ROAD MARKHAM, ONTARIO

OWNER

COMPANY NAME

FIRM NAME  
STREET  
CITY, STATE, ZIP CODE

NAME OF CONTACT  
PH: (000) 000-0000  
FAX: (000) 000-0000

OWNER'S CONSULTANTS

GENERAL CONTRACTOR

COMPANY NAME

FIRM NAME  
STREET  
CITY, STATE ZIP CODE

NAME OF CONTACT  
PH: (000) 000-0000  
FAX: (000) 000-0000

ARCHITECT

WARE MALCOMB

180 Bass Pro Mills Dr #103  
Vaughan, Ontario, Canada L4K 5W4

C.ROCHA/ A. MORSY  
P 905.760.1221  
F 905.248.3344

ARCHITECT'S CONSULTANTS

VICINITY MAP

SHEET INDEX

TOTAL SHEETS 12

ARCHITECTURAL

A0.1 TITLE SHEET

A1.1 SITE PLAN

A2.1 FLOOR PLAN - BLDG 1

A2.1a FLOOR PLAN - BLDG 2

A3.1 ROOF PLAN - BLDG 1

A3.1a ROOF PLAN - BLDG 2

A4.1 EXTERIOR ELEVATIONS - BLDG 1

A4.1a EXTERIOR ELEVATIONS - BLDG 1

A4.1b EXTERIOR ELEVATIONS - BLDG 1

A4.2 EXTERIOR ELEVATIONS - BLDG 2

A4.2a EXTERIOR ELEVATIONS - BLDG 2

A4.2b EXTERIOR ELEVATIONS - BLDG 2

ARCHITECTURAL SHEET COUNT: 12

TITLE SHEET

DATE

REMARKS

PA/PM: C. ROCHA/ A. MORSY

DRAWN BY: D.V.

JOB NO.: TOR19-0077-00

SHEET A0.1

WARE MALCOMB

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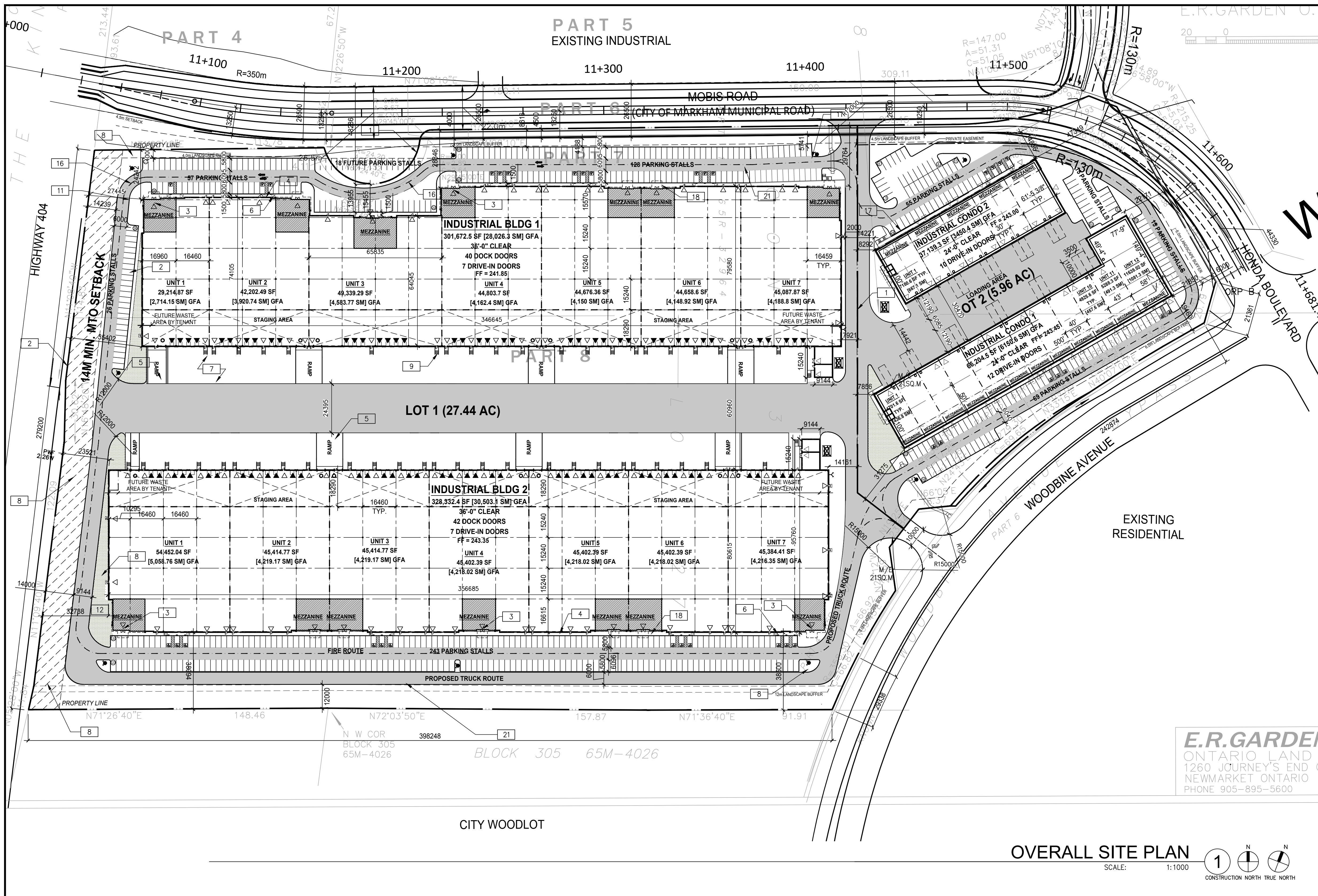
BERKSHIRE AXIS MARKHAM

MOBIS ROAD MARKHAM, ONTARIO

13-02-2020\_PROGRESS SET

BM 360/TOR19-0077-00, Woodbine Avenue/0077\_ARCH1.rvt





## SITE STATISTICS

| TOR19-0077-00 Site Statistics                                                                                     |                        |            |             |          |
|-------------------------------------------------------------------------------------------------------------------|------------------------|------------|-------------|----------|
| TOTAL SITE AREA                                                                                                   | 1,454,886 SF (33.9 AC) |            |             |          |
|                                                                                                                   | LOT 1                  |            | LOT 2       |          |
|                                                                                                                   | BUILDING 1 & 2         |            | CONDO 1 & 2 |          |
|                                                                                                                   | Required               | Proposed   | Required    | Proposed |
| LANDSCAPE BUFFER AREA                                                                                             |                        |            |             |          |
| EAST BUFFER (m)                                                                                                   | 3.00                   | 0.00       | 6.00        |          |
| WEST BUFFER (m)                                                                                                   | 3.00                   | 14.00      | 3.00        |          |
| SOUTH BUFFER (m)                                                                                                  | 3.00                   | 12.00      | 6.00        |          |
| NORTH BUFFER (m)                                                                                                  | 6.00                   | 4.50       | 6.00        |          |
| REQUIRED FRONT YARD BUILDING SETBACK (m)                                                                          | 6.00                   | 29.76      | 6.00        | 14.85    |
| REQUIRED EXTERIOR SIDE YARD BUILDING SETBACK (m)                                                                  | 3.00                   | 23.52      | 3.00        | 19.45    |
| REQUIRED EXTERIOR SIDE YARD BUILDING SETBACK (m)                                                                  | 3.00                   | 7.80       | 3.00        | 7.80     |
| REQUIRED REAR YARD BUILDING SETBACK (m)                                                                           | 3.00                   | 38.50      | N/A         | N/A      |
| WTO SETBACK                                                                                                       | 14.00                  | 14.00      | N/A         | N/A      |
| WTO SEAR                                                                                                          |                        |            |             |          |
| LOT AREA (AC)                                                                                                     | 27.60                  |            | 6.30        |          |
| TOTAL GROUND FLOOR AREA (m²)                                                                                      | 58,529.37              |            | 9600.95     |          |
| F.A.R.                                                                                                            | 0.52                   |            | 0.38        |          |
|                                                                                                                   |                        |            |             |          |
|                                                                                                                   | BUILDING 1             | BUILDING 2 | CONDO 1     | CONDO 2  |
| MEZZANINE (m²)                                                                                                    | 1,838.12               | 1,774.94   | 992.45      | 573.45   |
| INDUSTRIAL AREA (m²)                                                                                              | 26,188.17              | 28,728.14  | 5,158.20    | 2,876.90 |
| TOTAL BUILDING GFA (m²)                                                                                           | 28,026.29              | 30,503.08  | 6,150.65    | 3,450.35 |
| MECH/ELEC ROOM (m²)                                                                                               | 136.36                 | 136.36     | 21.13       | 21.13    |
| STAGING AREA (m²)                                                                                                 | 6,236.73               | 6,461.76   | N/A         | N/A      |
| NET FLOOR AREA (m²)                                                                                               | 21,547.20              | 23,901.93  | 6,129.47    | 3,429.22 |
| City of Markham Parking Standards Bylaw 28-87                                                                     |                        |            |             |          |
| Parking is calculated for each individual industrial premises as follows:                                         |                        |            |             |          |
| Industrial:                                                                                                       |                        |            |             |          |
| Net floor area up to 1200 sq. m: 1 parking space per 40 sq. m or portion thereof net floor area                   |                        |            |             |          |
| Net floor area between 1200 sq. m and 6000 sq. m: 1 parking space per 100 sq. m or portion thereof net floor area |                        |            |             |          |
| Net floor area exceeds 6000 sq. m: 1 parking space per 200 sq. m or portion thereof net floor area                |                        |            |             |          |
| Office:                                                                                                           |                        |            |             |          |
| 1 parking space per 30 sq. m of net floor area                                                                    |                        |            |             |          |

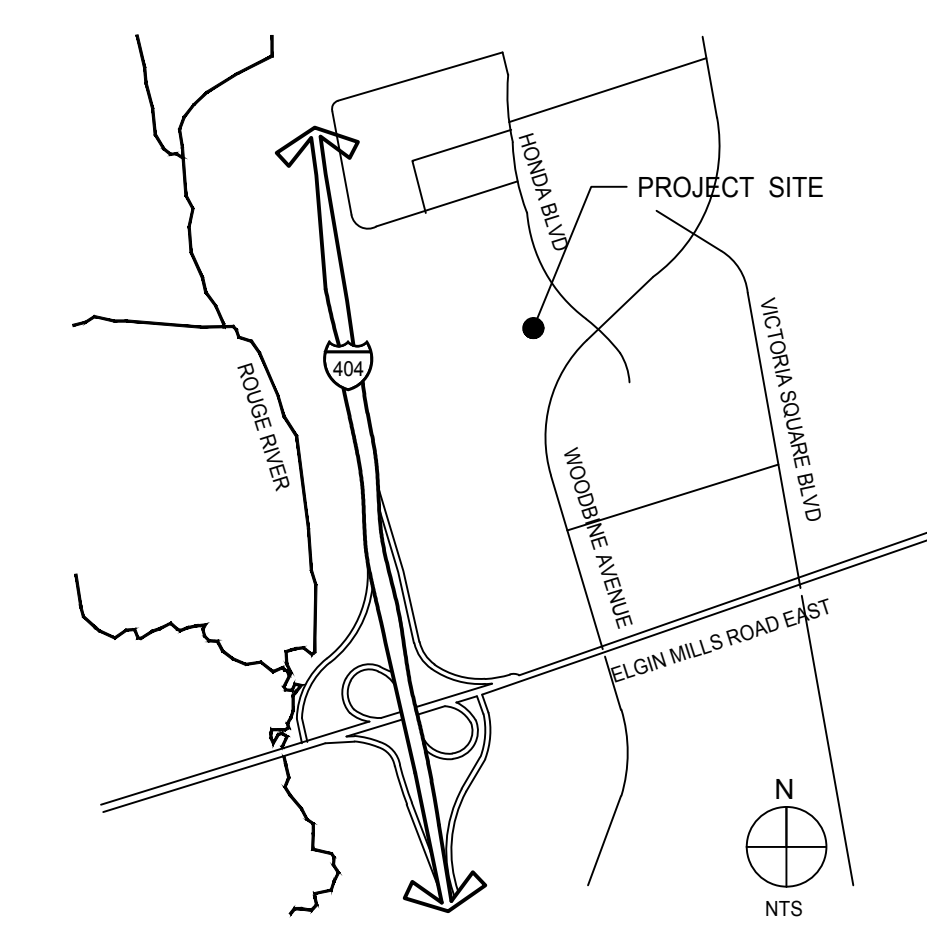
## SITE PLAN NOTES

- PROPERTY LINE
- 2750x5800 PARKING STALL, PAINTED PARKING STRIPPING PER CITY MARKHAM MUNICIPAL STANDARDS.
- PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O
- DRIVE-IN RAMP, SEE CIVIL DRAWING FOR SLOPE %
- NEW ACCESSIBLE EXTERIOR CONCRETE RAMP.
- CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY OF MARKHAM MUNICIPAL STANDARDS. EACH PAIR OF SHARED STALL TO HAVE (2) 2600x5800 LONG WITH A 1500mm WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- 150mm WIDE CURB TYPICAL
- EMPLOYEE AMENITY AREA - SEE LANDSCAPE DWGS.
- FIRE DEPARTMENT CONNECTION / SIAMSE
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE, TYP.
- FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS ( ) PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY CITY OF TORONTO.
- RETAINING WALL. SEE CIVIL DWNG.
- LINE OF CANOPY ABOVE
- PROPOSED LOCATION OF MECHANICAL ROOM
- PROPOSED LOCATION OF ELECTRICAL ROOM
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS
- PAINTED PEDESTRIAN PATH
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD.
- PROPOSED LOCATION OF GAS METER
- CURB RADII AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- SNOW STORAGE AREA
- LOCATION OF BIKE RACK.

## SITE LEGEND

- AREA OF WORK IN SEPARATE APPLICATION FOR MUNICIPAL R.O.W.
- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- FIRE ACCESS ROUTE WITH 12.0M TURNING RADIUS
- TRUCK LOADING DOCK DOOR
- MAN DOOR
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- FLUSH CURB FOR ACCESSIBLE PARKING. FOR SLOPE % SEE CIVIL DRAWINGS
- PROPOSED WALLPACK LIGHTING (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- PROPOSED LIGHTING POLE (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- TRANSFORMER LOCATION
- CURRENT PROPERTY LINE
- DRIVE-IN DOOR

## KEY PLAN



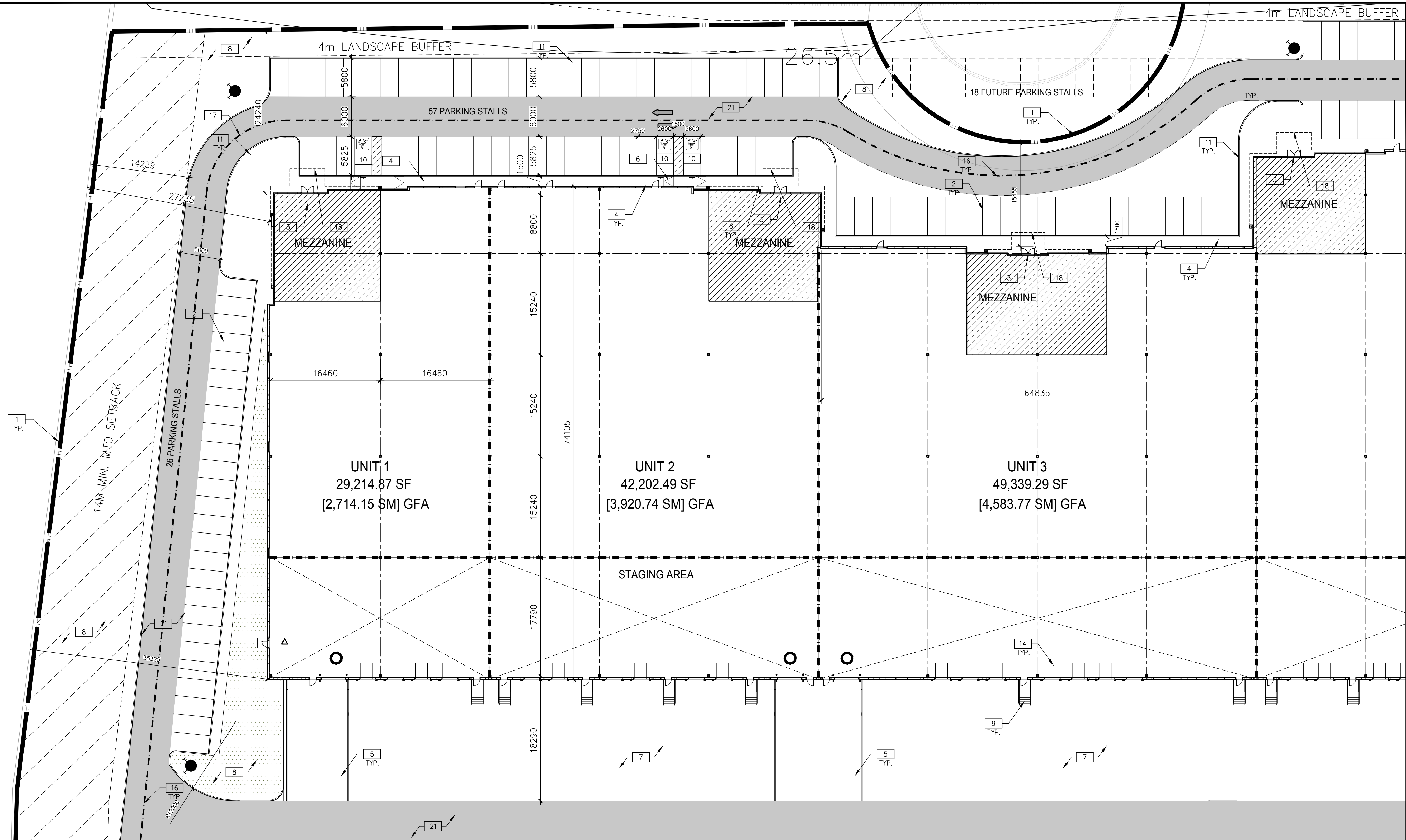
## OVERALL SITE PLANS

PA / PM: AM  
DRAWN BY:  
JOB NO.: TOR19-0077-00

SHEET

A1.0





PARTIAL SITE PLAN - BUILDING 1  
SCALE: 1:300  
1  
CONSTRUCTION NORTH TRUE NORTH

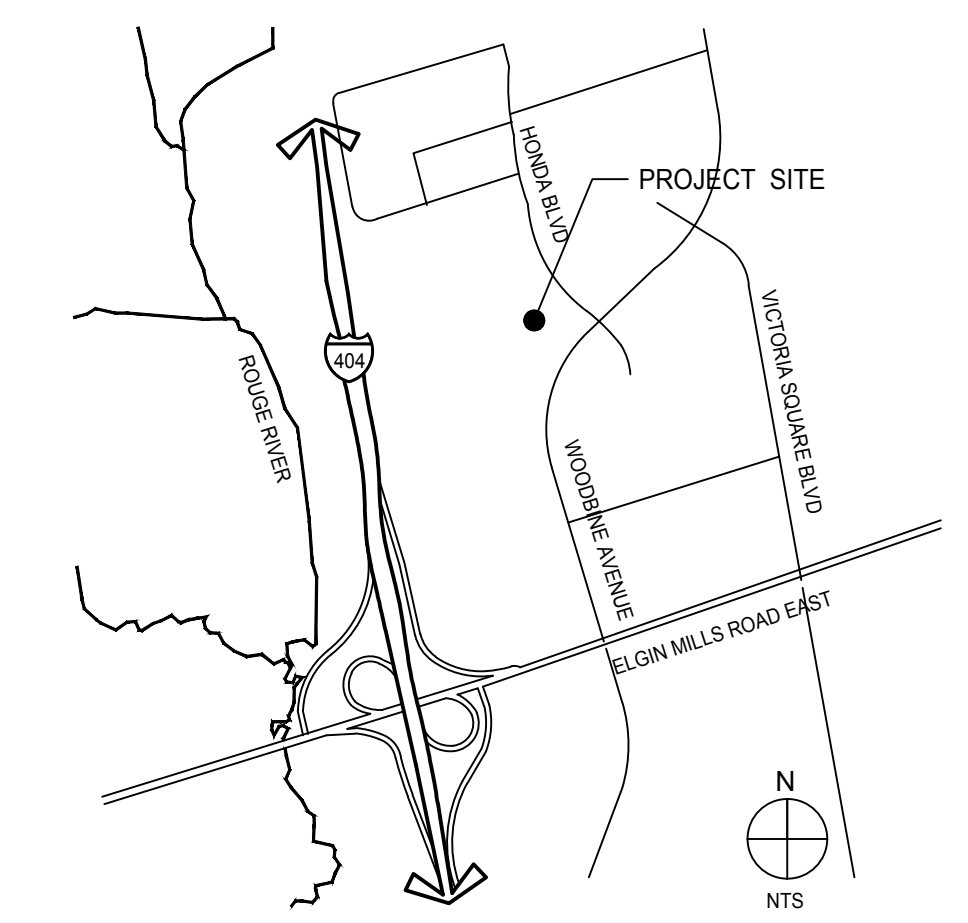
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### KEY PLAN



**WARE MALCOMB**  
Leading Design for Commercial Real Estate

architecture  
planning  
interiors  
graphics  
civil engineering

180 bass pro mills drive, unit 103  
vaughan, ontario, L4K 5W9  
p 905.760.1221  
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a business name of WMA Inc.

**BERKSHIRE AXIS  
MARKHAM**

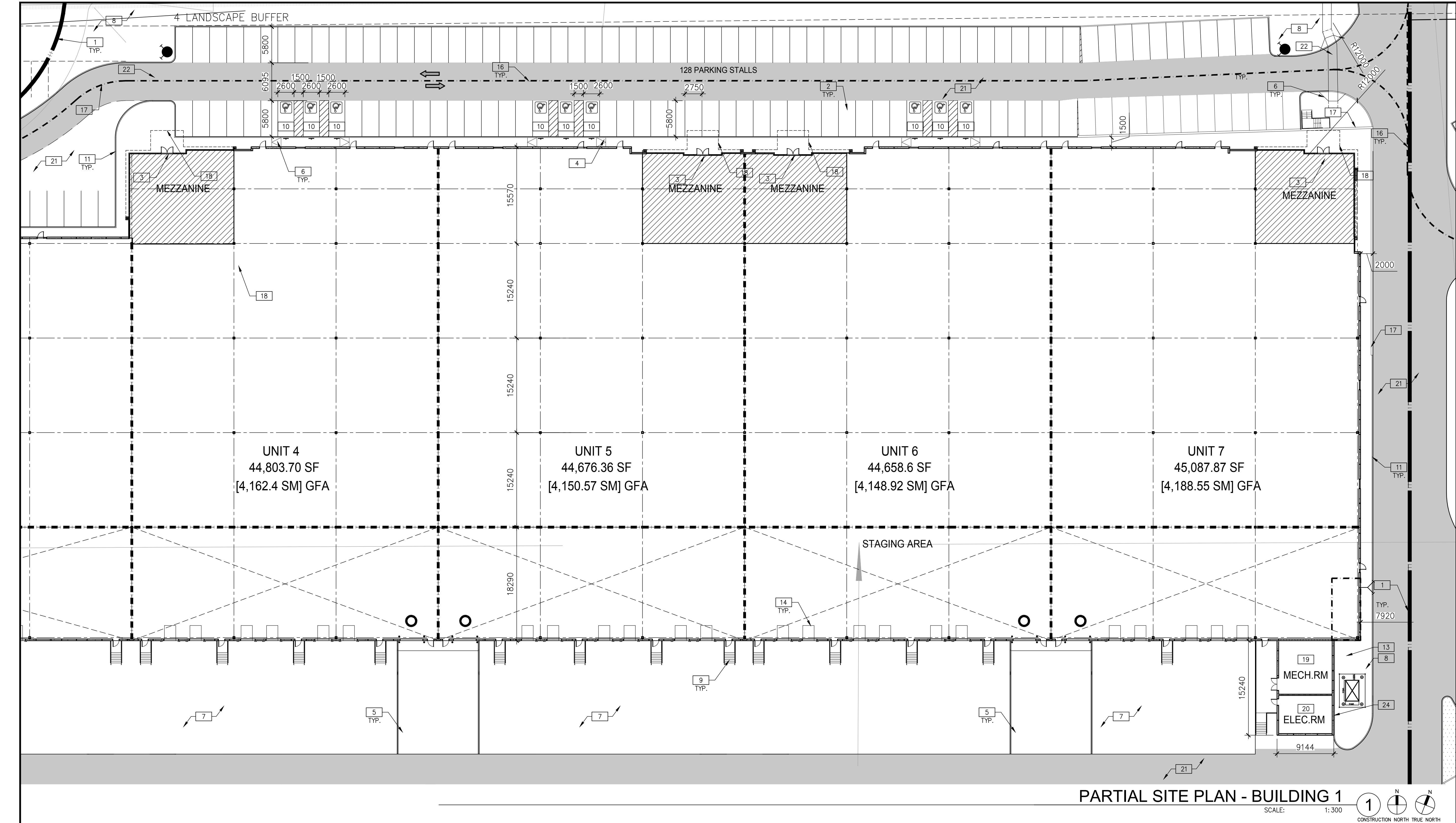
**MOBIS ROAD  
MARKHAM, ONTARIO**

| PARTIAL SITE PLAN |              | REMARKS |
|-------------------|--------------|---------|
| DATE              | PROGRESS SET |         |
| 1                 | 2020-02-03   |         |

|           |               |
|-----------|---------------|
| PA / PM:  | AM            |
| DRAWN BY: |               |
| JOB NO.:  | TOR19-0077-00 |

SHEET  
**A1.1**





PARTIAL SITE PLAN - BUILDING 1  
SCALE: 1:300  
CONSTRUCTION NORTH TRUE NORTH

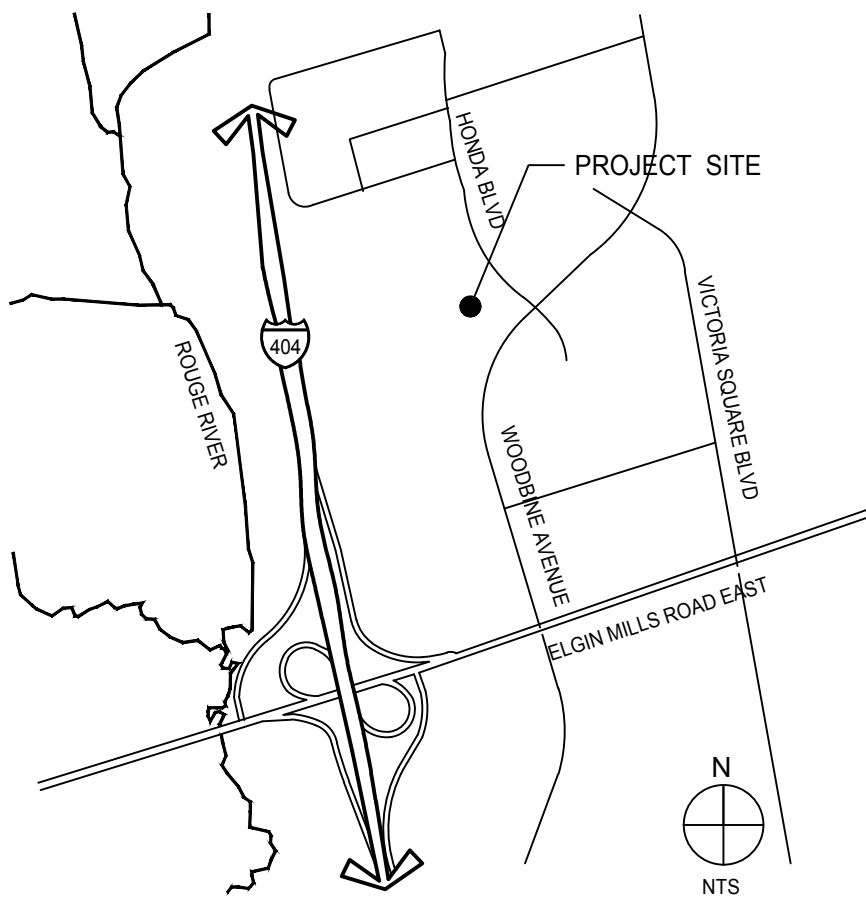
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- 6 NEW ACCESSIBLE EXTERIOR CONCRETE RAMP.
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- 13 FIRE DEPARTMENT CONNECTION / SIAMESE
- 14 TRUCK LOADING DOCK (TYPICAL)
- 15 LOADING SPACE, TYP.
- 16 FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS ( - - - ) PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY CITY OF TORONTO.
- 17 RETAINING WALL. SEE CIVIL DWNG.
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KEY PLAN



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PARTIAL SITE PLAN

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|              |              |
|              |              |
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|           |               |
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| PA / PM:  | AM            |
| DRAWN BY: |               |
| JOB NO.:  | TOR19-0077-00 |

SHEET  
A1.1a



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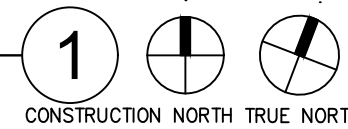
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BERKSHIRE AXIS  
MARKHAM

MOBIS ROAD  
MARKHAM, ONTARIO

PARTIAL SITE PLAN - BUILDING 2

SCALE: 1: 300



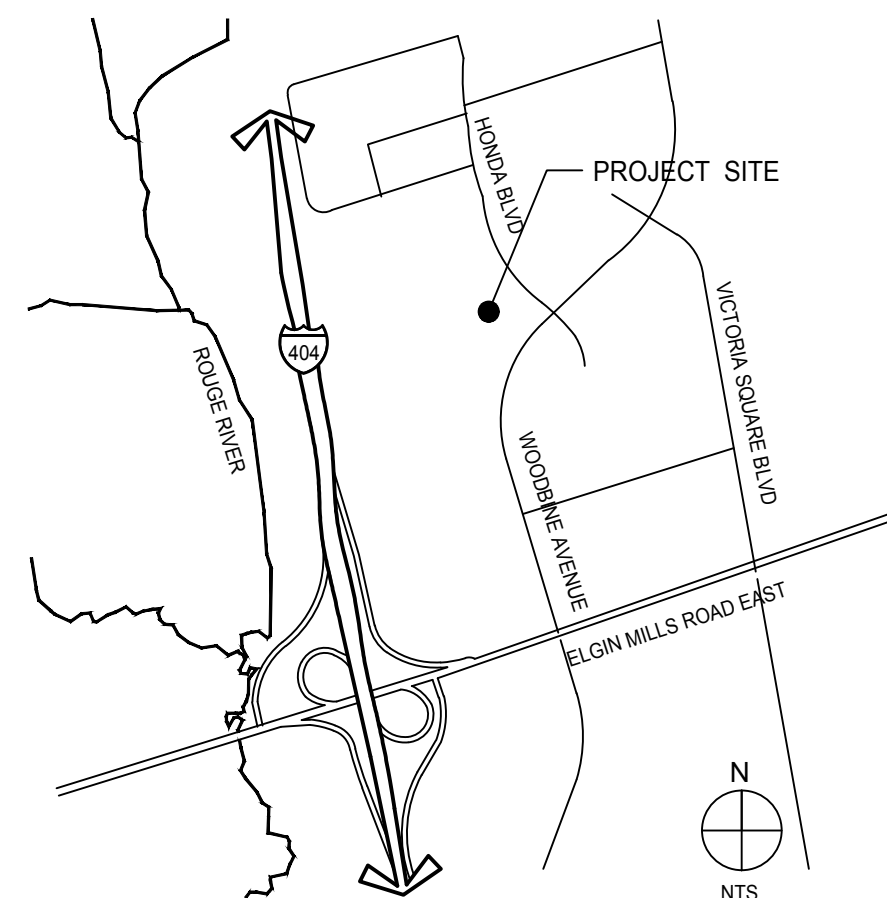
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- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD.
- PROPOSED LOCATION OF GAS METER
- CURB RADII AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- SNOW STORAGE AREA
- LOCATION OF BIKE RACK.

SITE LEGEND

- AREA OF WORK IN SEPARATE APPLICATION FOR MUNICIPAL R.O.W.
- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- FIRE ACCESS ROUTE WITH 12.0M TURNING RADIUS
- TRUCK LOADING DOCK DOOR
- MAN DOOR
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- FLUSH CURB FOR ACCESSIBLE PARKING. FOR SLOPE % SEE CIVIL DRAWINGS
- PROPOSED WALLPACK LIGHTING (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- PROPOSED LIGHTING POLE (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- TRANSFORMER LOCATION
- CURRENT PROPERTY LINE
- DRIVE-IN DOOR

KEY PLAN



PARTIAL SITE PLAN

| DATE         | REMARKS      |
|--------------|--------------|
|              | PROGRESS SET |
| 1 2020-02-03 |              |
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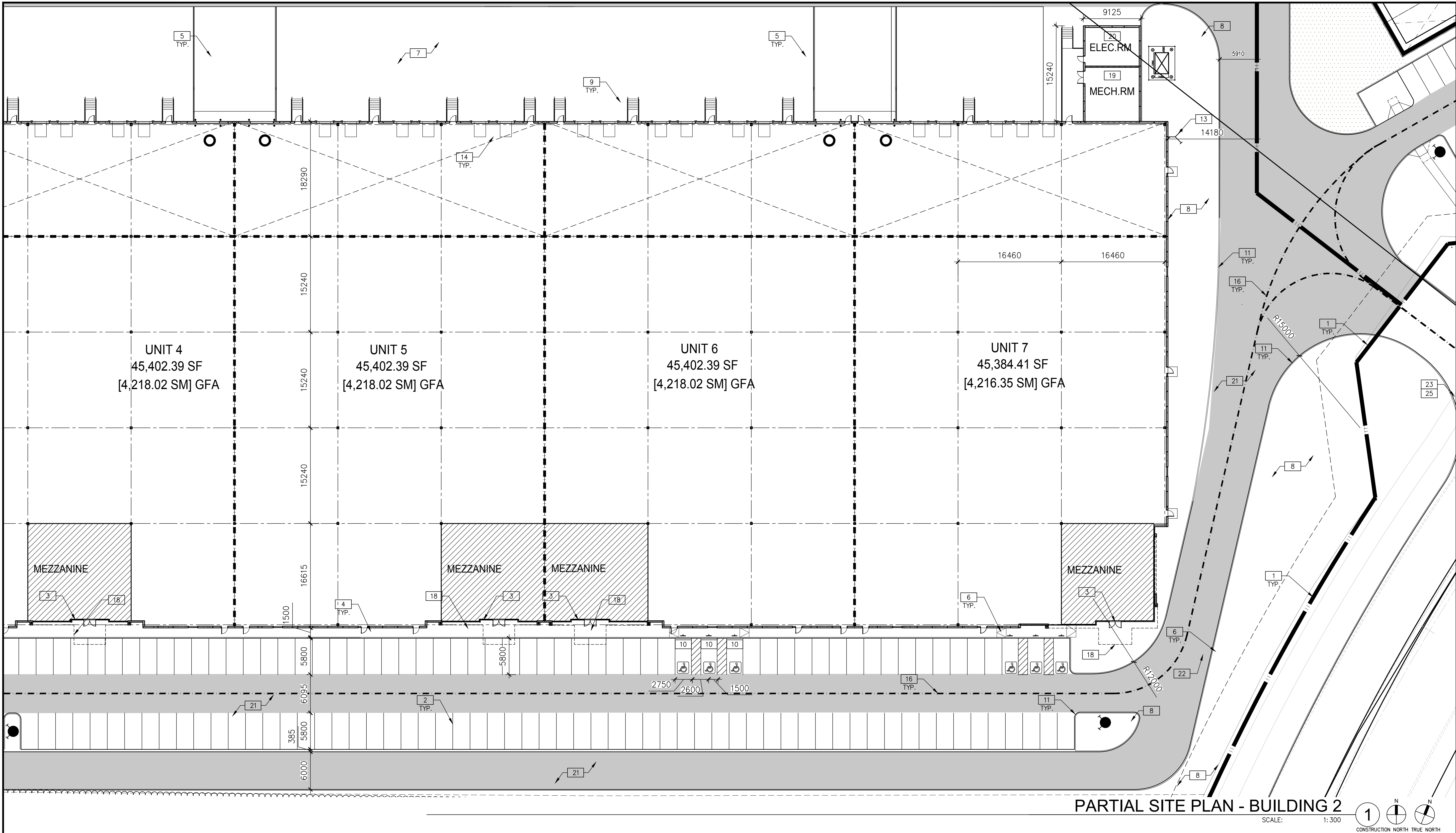
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PARTIAL SITE PLAN - BUILDING 2  
SCALE: 1:300  
CONSTRUCTION NORTH TRUE NORTH

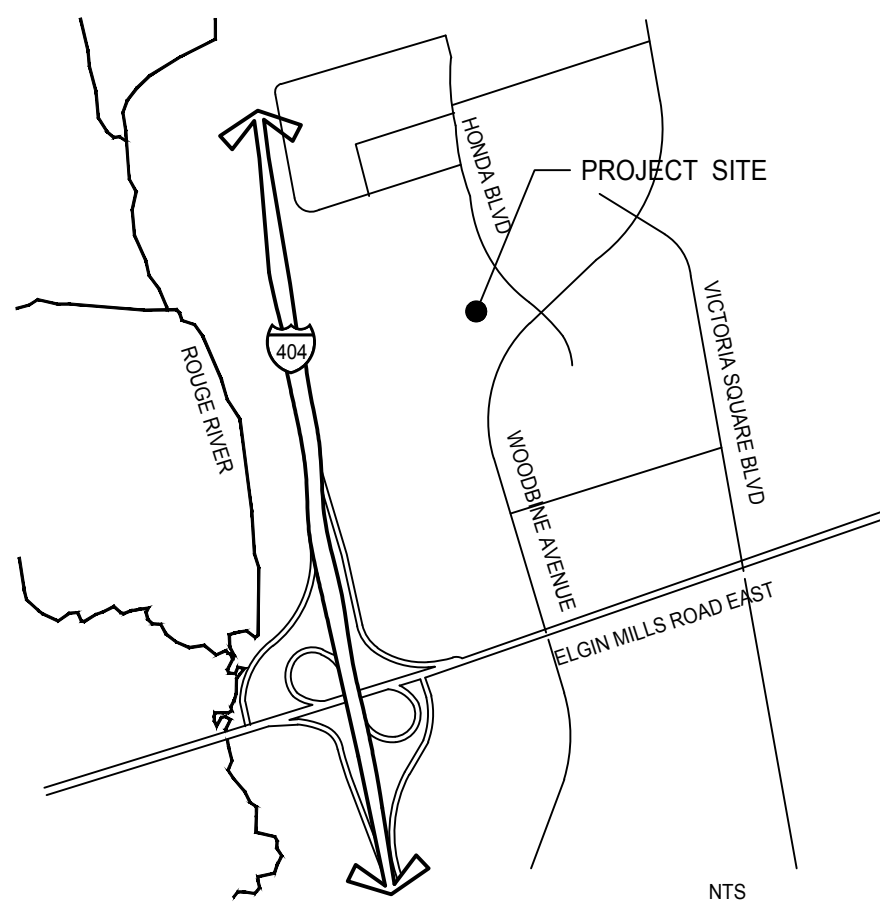
### SITE PLAN NOTES

- PROPERTY LINE
- 2750x5800 PARKING STALL, PAINTED PARKING STRIPPING PER CITY MARKHAM MUNICIPAL STANDARDS.
- PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O
- DRIVE-IN RAMP, SEE CIVIL DRAWING FOR SLOPE %
- NEW ACCESSIBLE EXTERIOR CONCRETE RAMP.
- CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPPING PER CITY OF MARKHAM MUNICIPAL STANDARDS. EACH PAIR OF SHARED STALL TO HAVE (2) 2600X5800 LONG WITH A 1500mm WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- 150mm WIDE CURB TYPICAL
- EMPLOYEE AMENITY AREA - SEE LANDSCAPE DWGS.
- FIRE DEPARTMENT CONNECTION / SIAMESE
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE, TYP.
- FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS ( - - - ) PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY CITY OF TORONTO.
- RETAINING WALL. SEE CIVIL DWNG.
- LINE OF CANOPY ABOVE
- PROPOSED LOCATION OF MECHANICAL ROOM
- PROPOSED LOCATION OF ELECTRICAL ROOM
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS
- PAINTED PEDESTRIAN PATH
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD.
- PROPOSED LOCATION OF GAS METER
- CURB RADII AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- SNOW STORAGE AREA
- LOCATION OF BIKE RACK.

### SITE LEGEND

- AREA OF WORK IN SEPARATE APPLICATION FOR MUNICIPAL R.O.W.
- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- FIRE ACCESS ROUTE WITH 12.0M TURNING RADIUS
- TRUCK LOADING DOCK DOOR
- MAN DOOR
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- FLUSH CURB FOR ACCESSIBLE PARKING. FOR SLOPE % SEE CIVIL DRAWINGS
- PROPOSED WALLPACK LIGHTING (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- PROPOSED LIGHTING POLE (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- TRANSFORMER LOCATION
- CURRENT PROPERTY LINE
- DRIVE-IN DOOR

### KEY PLAN



#### PARTIAL SITE PLAN

| DATE         | REMARKS      |
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a business name of WMA Inc.

BERKSHIRE AXIS  
MARKHAM  
MOBIS ROAD  
MARKHAM, ONTARIO

FLOOR PLAN - BLDG 1

REMARKS

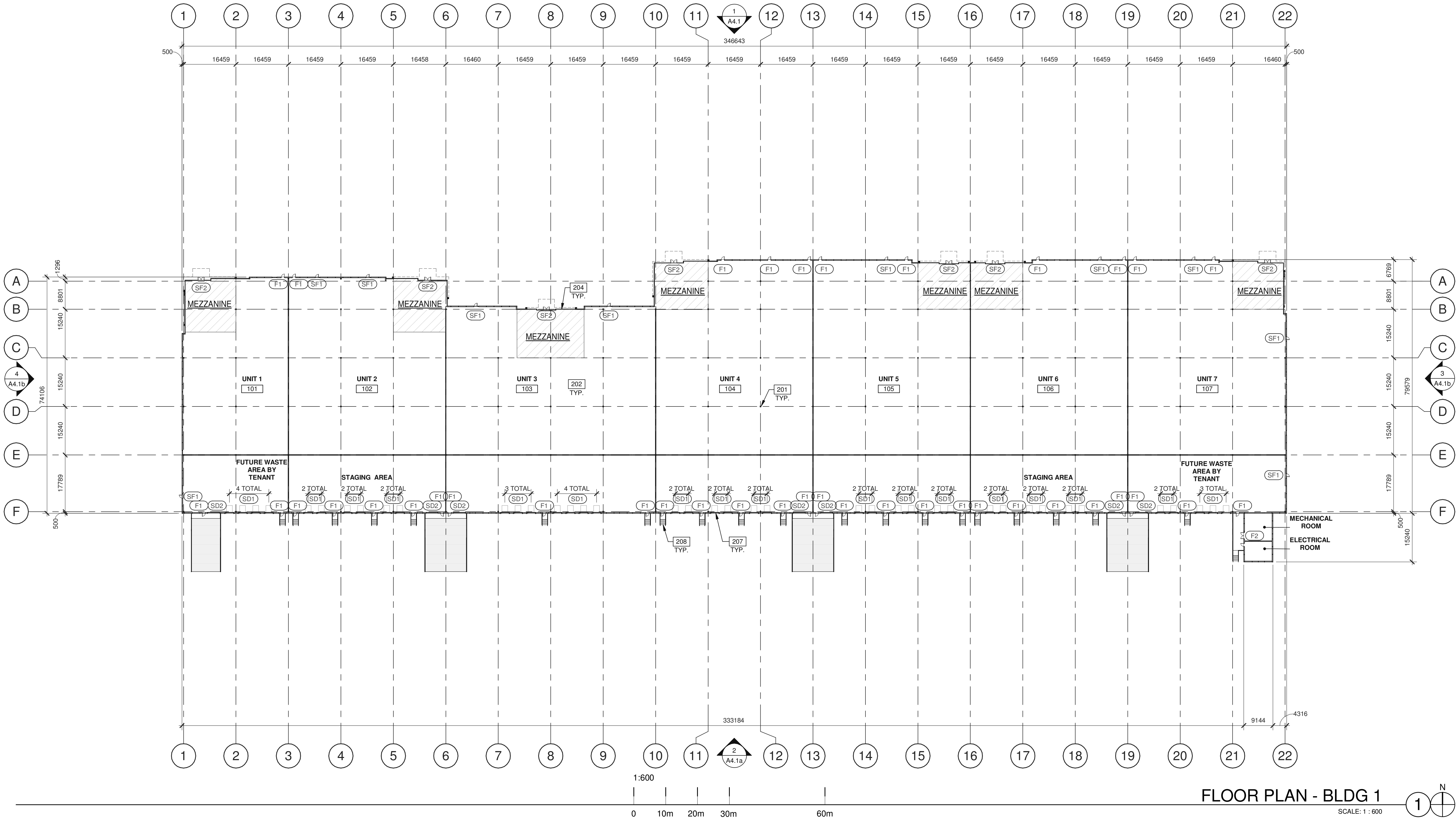
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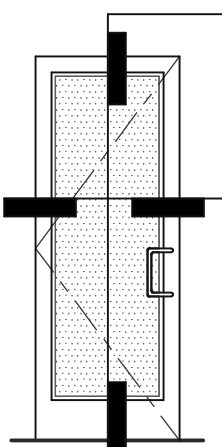
A2.1

13-02-2020\_PROGRESS SET



DOOR TYPES

(SF1) ALUMINUM  
STOREFRONT



(SF1) 965mm x 2440mm  
CLEAR ANOD. ALUM. STOREFRONT  
DOOR W/TEMPERED GLAZING  
(NARROW STYLE)

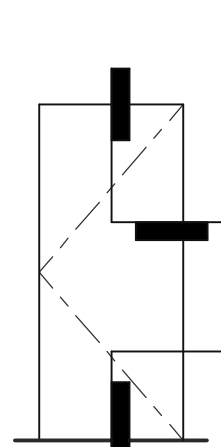
(SF2) 1930mm x 2440mm (PAIR)  
CLEAR ANOD. ALUM. STOREFRONT  
DOOR W/TEMPERED GLAZING  
(NARROW STYLE)

FRAME: MANUFACTURER

HARDWARE:  
2 SETS PIVOT SET  
2 SETS INTER PIVOT  
1 EA EXIT DEVICE  
1 EA MORTISE CYLINDER  
2 SETS OFFSET PULL  
2 EA OH CLOSER  
1 EA THRESHOLD  
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR  
MANUFACTURER

(F1) HOLLOW  
METAL

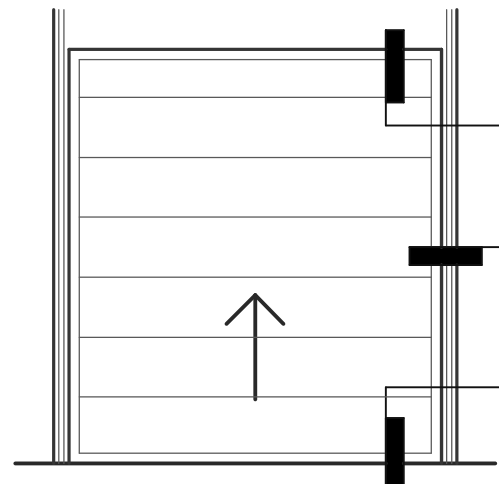


(F1) 965mm x 2135mm  
PAINTED INSULATED  
HOLLOW METAL DOOR  
FRAME: PAINTED HOLLOW METAL

(F2) 1930mm x 2135mm  
PAINTED INSULATED  
HOLLOW METAL DOOR  
FRAME: PAINTED HOLLOW METAL

HARDWARE:  
3 EA HINGES  
1 EA EXIT DEVICE  
1 EA CYLINDER  
1 EA CLOSER  
1 EA PERIMETER SEAL  
1 EA BOTTOM DRIP  
1 EA THRESHOLD  
1 EA LOCK GUARD  
1 EA HVY DUTY FLOOR STOP

(SD1) SECTIONAL O.H. DOOR  
(SD2)



(SD1) 2745mm x 3050mm  
DOCK HIGH SECTIONAL VERTICAL  
LIFT OVERHEAD DOOR W/ FACTORY  
PAINTED FINISH.

(SD2) 3660mm x 4270mm  
SECTIONAL VERTICAL LIFT  
OVERHEAD DOOR W/ FACTORY  
PAINTED FINISH

HARDWARE:  
1 EA SLIDE BOLT  
1 EA PAD LOCK

FOR (SD1)

FOR (SD2)

LEGEND

Future Office Area

WALL LEGEND

Concrete Wall  
Cross Bracing, See Structural Drawings  
Insulated Metal Panel  
Aluminium Composite Panel

NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

- 201 STRUCTURAL STEEL COLUMN.  
202 CONCRETE SLAB. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN  
WAREHOUSE.  
204 CURTAIN WALL SYSTEM.  
207 OVERHEAD DOCK-LEVEL DOORS.  
208 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.

DOOR NOTES

**BUTT HINGES:**  
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED  
EQUAL.  
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS  
MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

**VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL**  
**CLOSING DEVICES:** NORTON 8500 BF SERIES OR APPROVED EQUAL  
**STOPS:** TRIMCO W1200 SERIES DOOR STOP  
**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD



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MARKHAM**

MOBIS ROAD  
MARKHAM, ONTARIO

FLOOR PLAN - BLDG 2

REMARKS

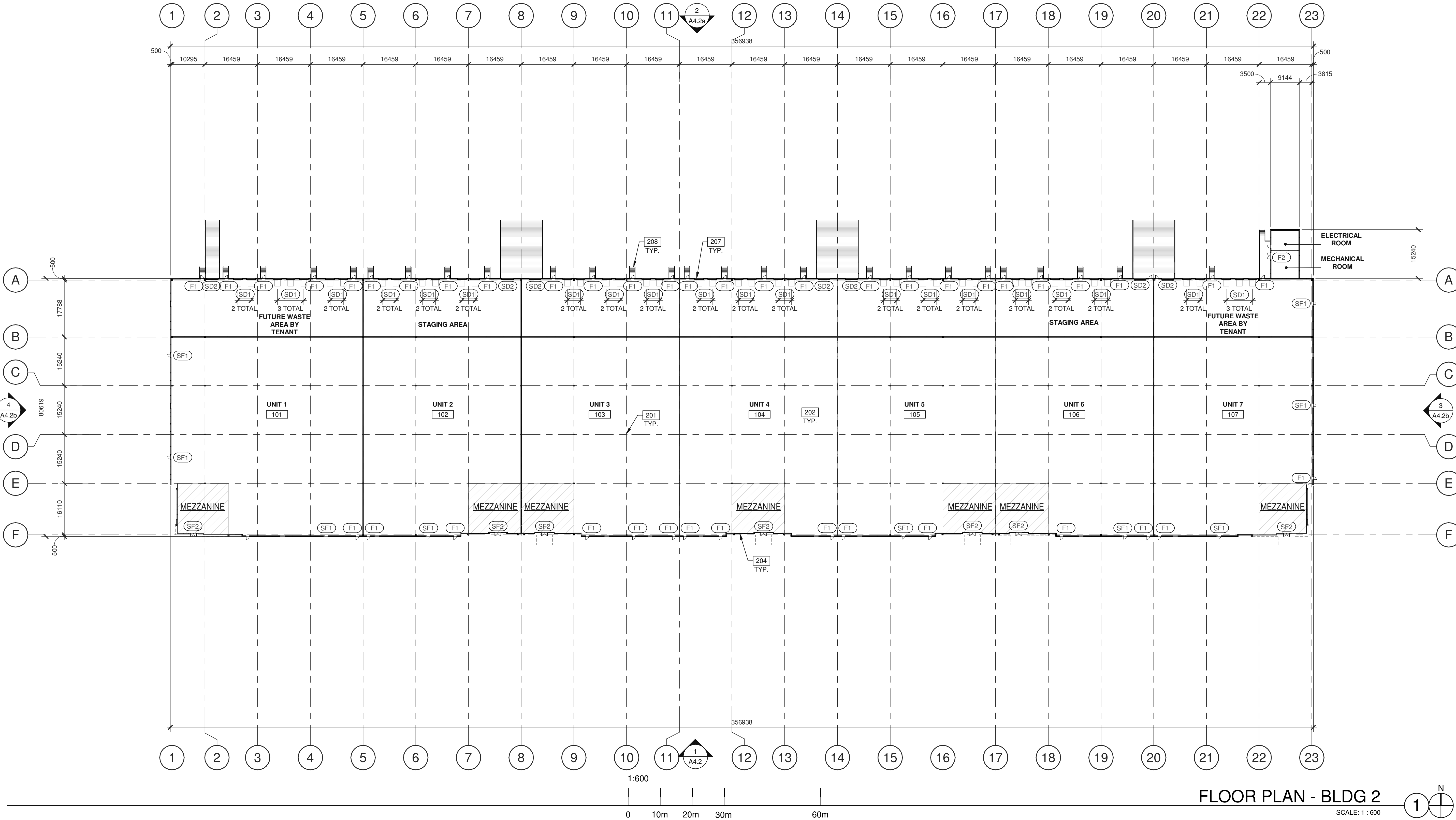
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## DOOR TYPES

**(SF1)** ALUMINUM STOREFRONT  
**(SF2)** STOREFRONT

**(SF1)** 965mm x 2440mm CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)  
**(SF2)** 1930mm x 2440mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)

FRAME: MANUFACTURER  
HARDWARE:  
2 SETS PIVOT SET  
2 SETS INTER PIVOT  
1 EA EXIT DEVICE  
1 EA MORTISE CYLINDER  
2 SETS OFFSET PULL  
2 EA OH CLOSER  
1 EA THRESHOLD  
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

**(F1)** HOLLOW METAL  
**(F2)** PAINTED INSULATED HOLLOW METAL DOOR

FRAME: PAINTED HOLLOW METAL  
HARDWARE:  
3 EA HINGES  
1 EA EXIT DEVICE  
1 EA CYLINDER  
1 EA CLOSER  
1 EA PERIMETER SEAL  
1 EA BOTTOM DRIP  
1 EA THRESHOLD  
1 EA LOCK GUARD  
1 EA HVY DUTY FLOOR STOP

## DOOR NOTES

**BUTT HINGES:**  
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

**VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL**  
**CLOSING DEVICES:** NORTON 8500 BF SERIES OR APPROVED EQUAL  
**STOPS:** TRIMCO W1200 SERIES DOOR STOP  
**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

## LEGEND

**(SD1)** SECTIONAL O.H. DOOR  
**(SD2)** SECTIONAL O.H. DOOR

**(SD1)** 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.  
**(SD2)** 3660mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH

HARDWARE:  
1 EA SLIDE BOLT  
1 EA PAD LOCK

FOR **(SD1)**  
FOR **(SD2)**

**WALL LEGEND**  
CONCRETE WALL  
CROSS BRACING, SEE STRUCTURAL DRAWINGS  
INSULATED METAL PANEL  
ALUMINUM COMPOSITE PANEL

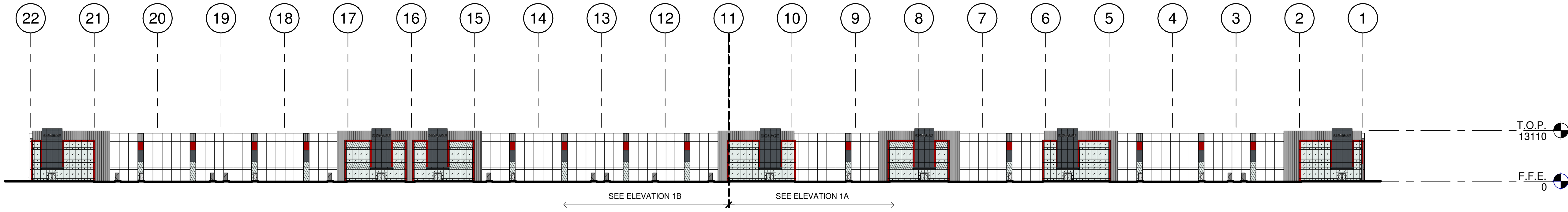
## NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

201 STRUCTURAL STEEL COLUMN.  
202 CONCRETE SLAB. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.  
204 CURTAIN WALL SYSTEM.  
207 OVERHEAD DOCK-LEVEL DOORS.  
208 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.



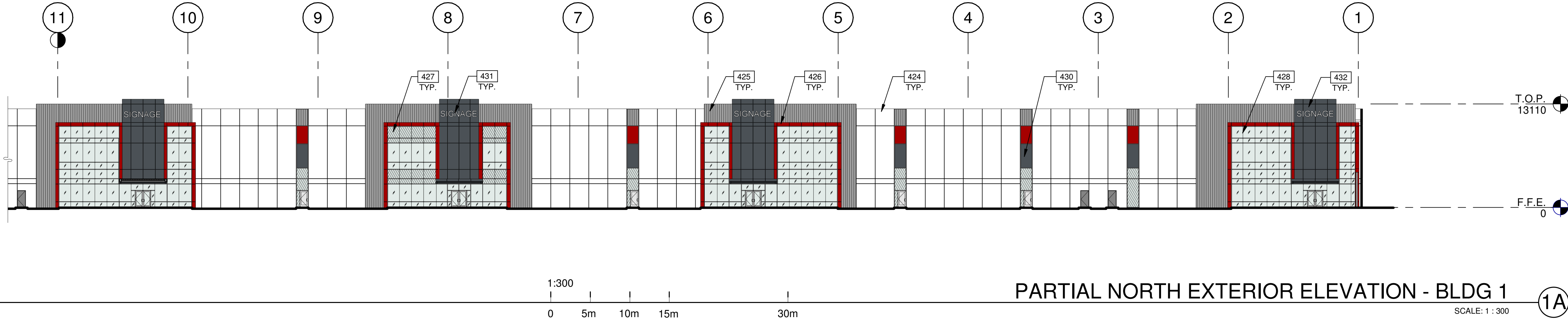
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OVERALL NORTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 600

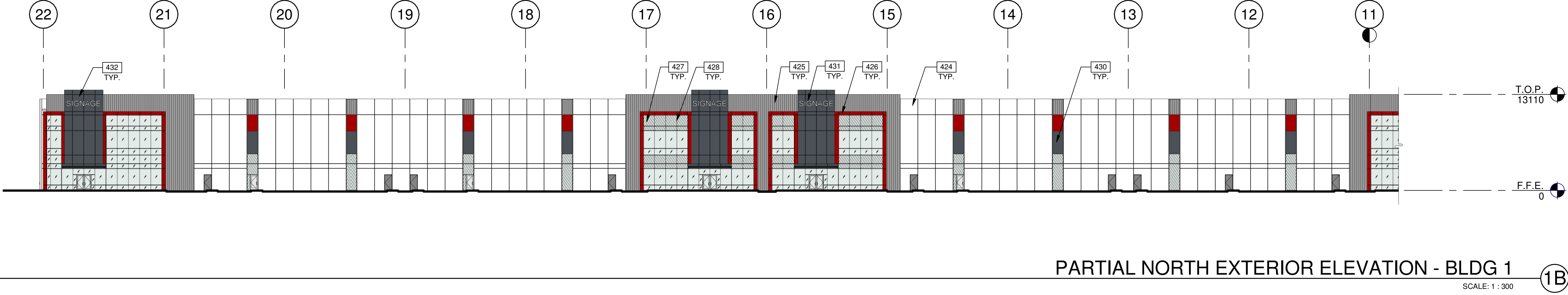
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PARTIAL NORTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 300

1A



PARTIAL NORTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 300

1B

LEGENDS

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
XXXXXX  
U FACTOR = 0.28 AND SHGC = 0.28  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLOURS:

PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

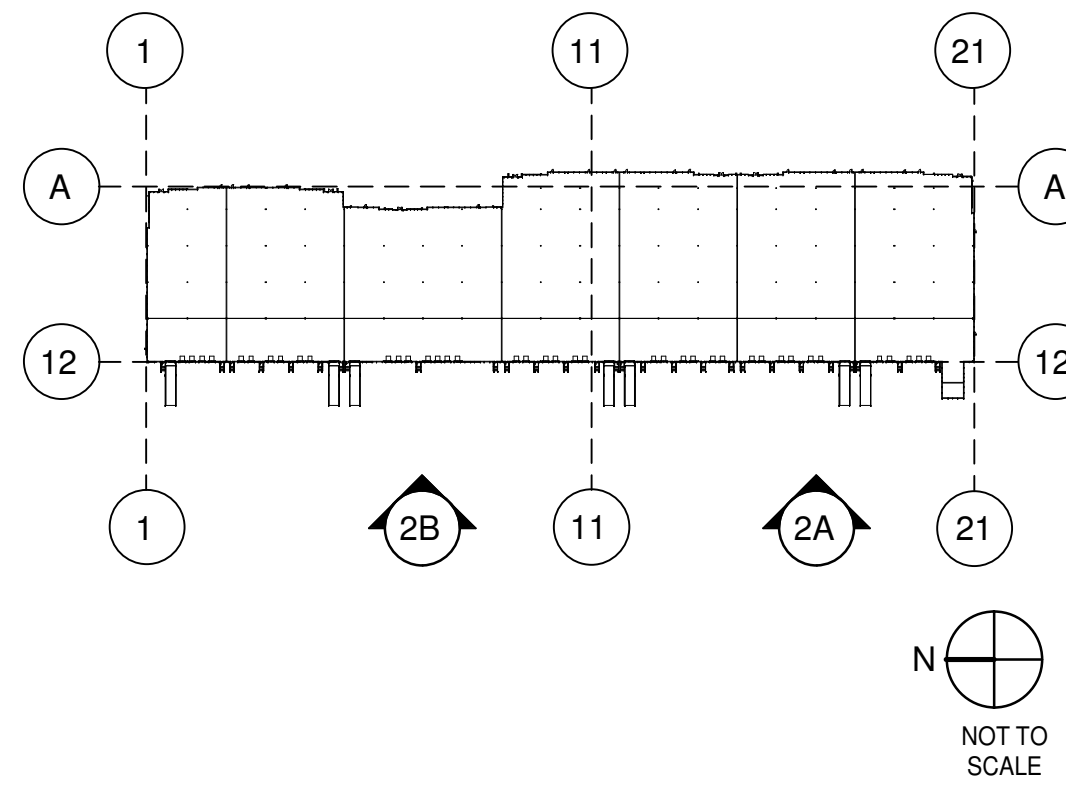
- A BASE COLOUR: XXX
- B SECONDARY COLOUR: XXX
- C ACCENT COLOUR: XXX
- D ACCENT COLOUR: XXX

NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

- 424 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.
- 425 RIBBED INSULATED METAL PANEL.
- 426 ALUMINUM COMPOSITE METAL PANEL - RED.
- 427 HIGH PERFORMANCE CURTAIN WALL SYSTEM WITH VISION AND SPANDREL PANELS.
- 428 BUTT-JOINT MULLION.
- 430 5'-0" WIDE GLERESTORY.
- 431 POTENTIAL SIGNAGE AND BRANDING LOCATION WITH ENHANCED LIGHTING.
- 432 ALUMINUM COMPOSITE METAL PANEL - BLACK.

KEY PLAN



BERKSHIRE AXIS  
MARKHAM  
MOBIS ROAD  
MARKHAM, ONTARIO

EXTERIOR ELEVATIONS - BLDG 1

| DATE | REMARKS |
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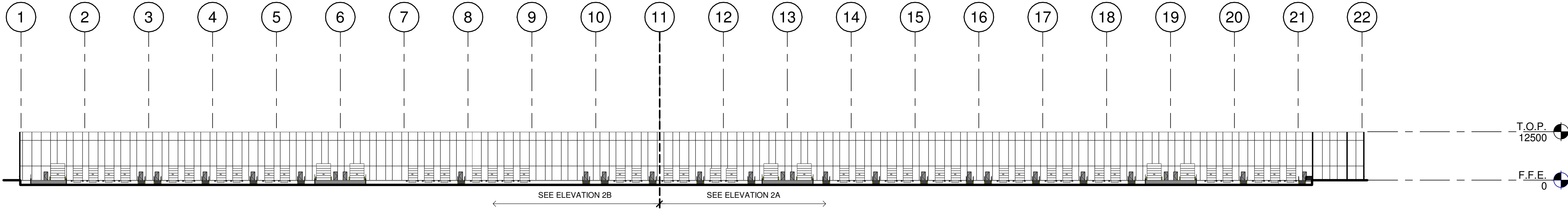
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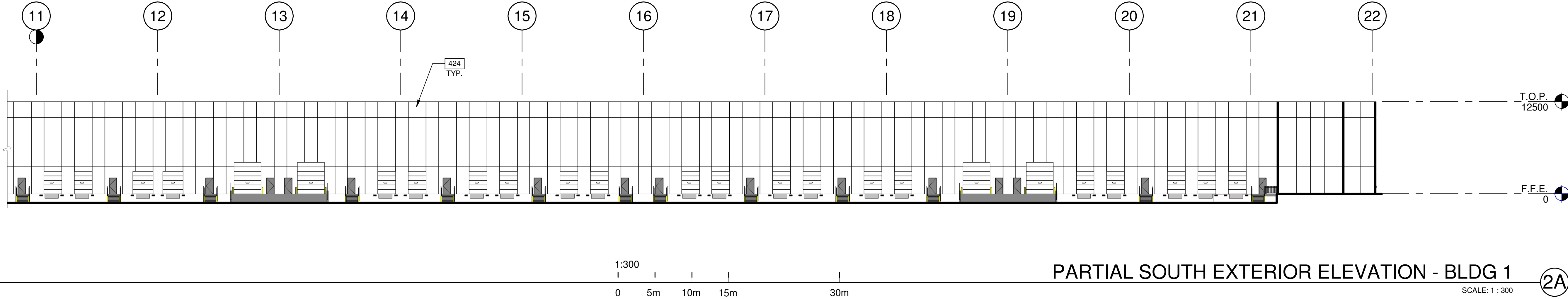
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OVERALL SOUTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 600

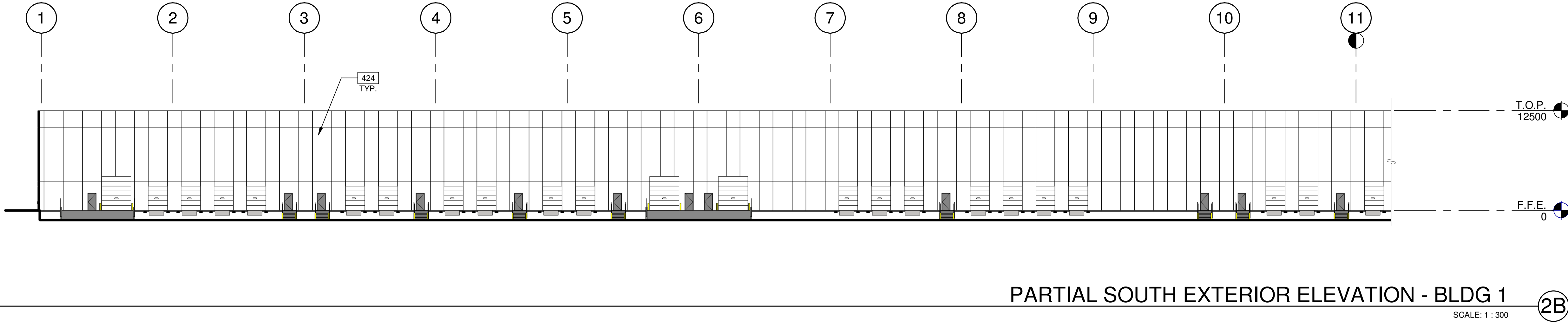
2



PARTIAL SOUTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 300

2A



PARTIAL SOUTH EXTERIOR ELEVATION - BLDG 1

SCALE: 1 : 300

2B

LEGENDS

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
XXXXXX  
U FACTOR = 0.28 AND SHGC = 0.28  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLOURS:

PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

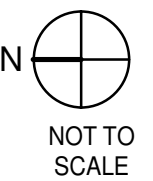
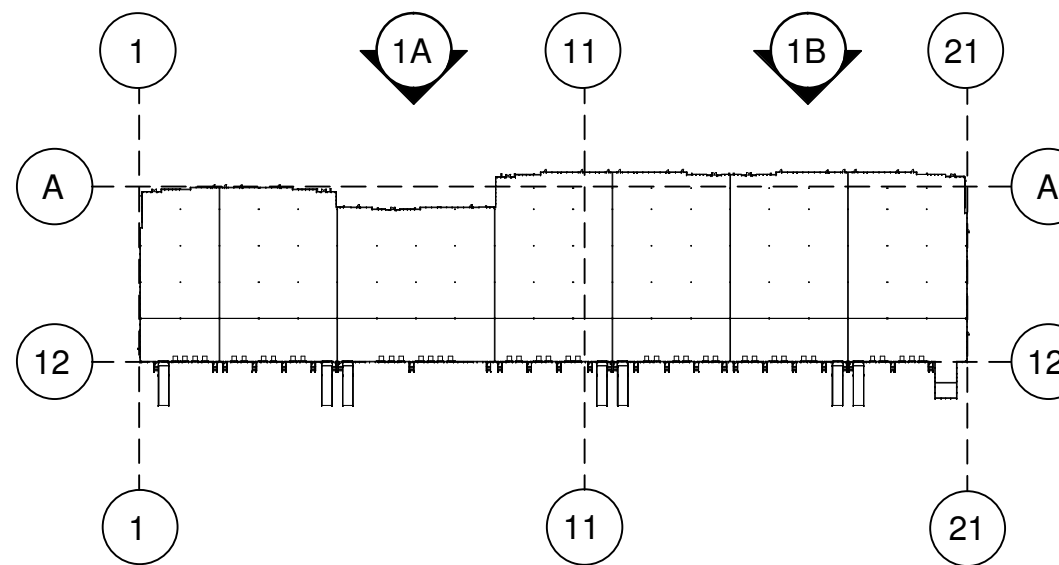
- BASE COLOUR: XXX
- SECONDARY COLOUR: XXX
- ACCENT COLOUR: XXX
- ACCENT COLOUR: XXX

NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

424 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.

KEY PLAN



BERKSHIRE AXIS  
MARKHAM  
MOBIS ROAD  
MARKHAM, ONTARIO

EXTERIOR ELEVATIONS -  
BLDG 1

REMARKS

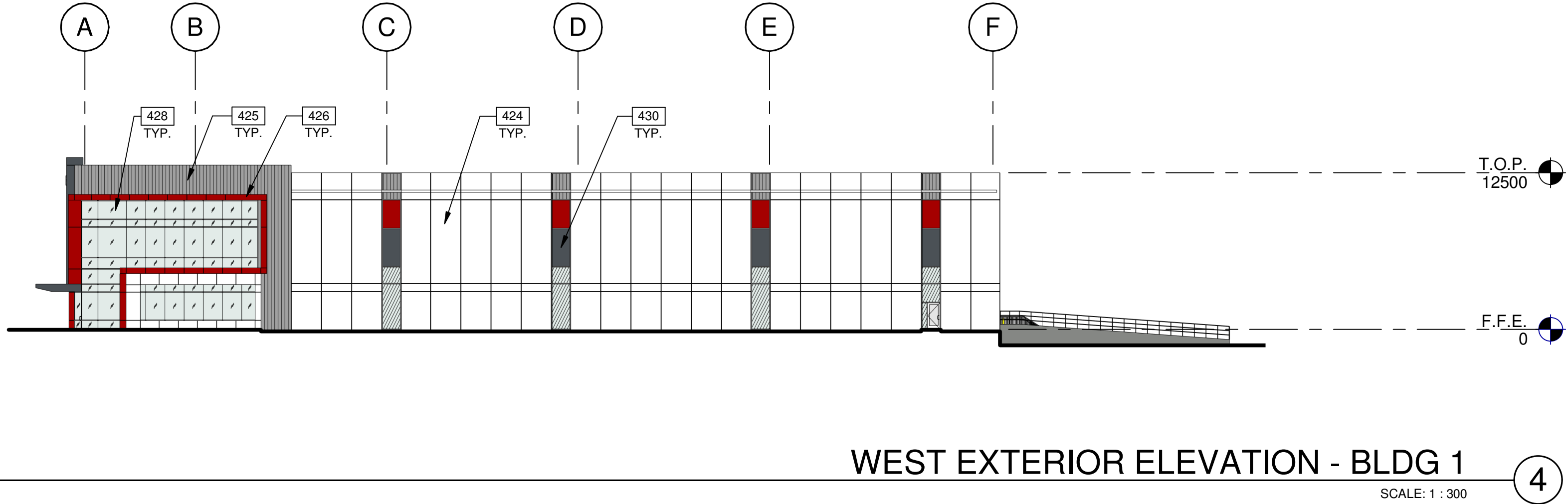
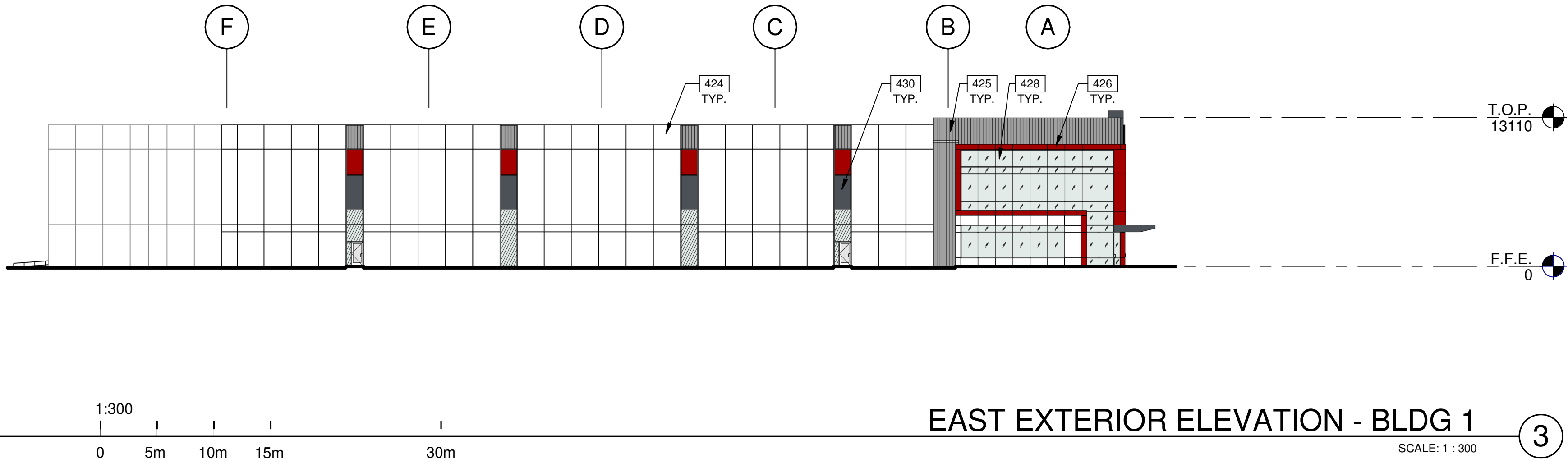
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## LEGENDS

### GLASS:

|  |                |
|--|----------------|
|  | VISION GLASS   |
|  | SPANDREL GLASS |
|  | TEMPERED GLASS |

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
XXXXXX  
U FACTOR = 0.28 AND SHGC = 0.28  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT  
**COLOURS:**  
PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR  
OWNER/ARCHITECT REVIEW.

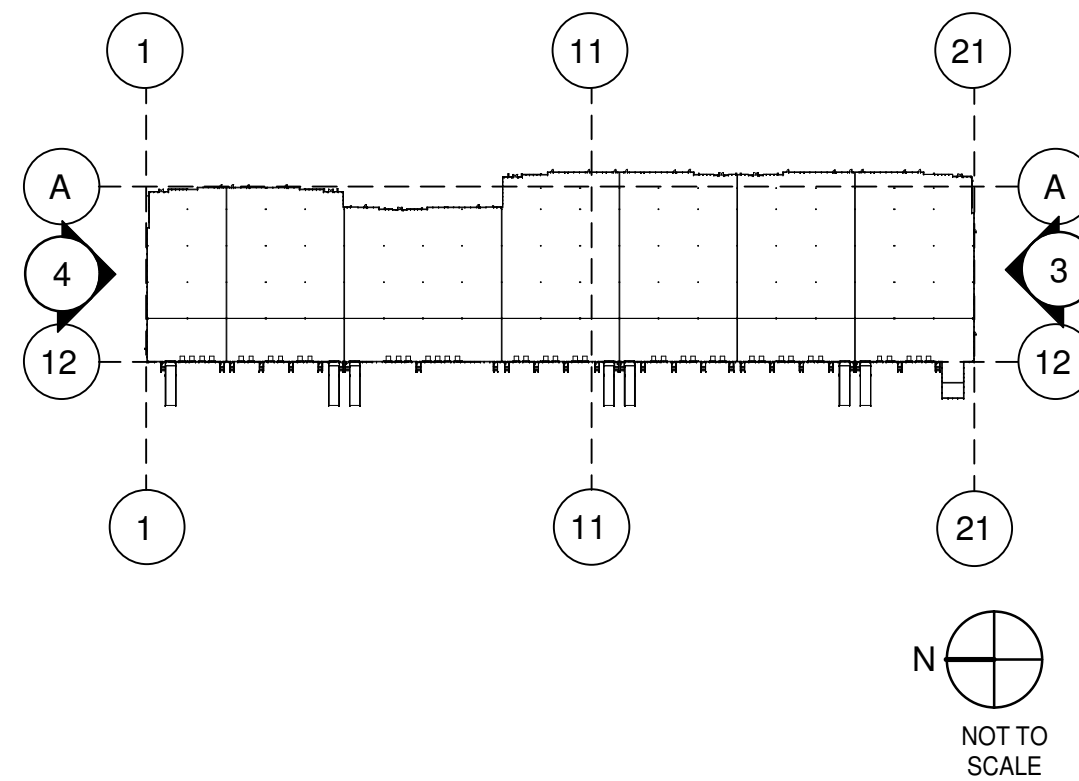
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|  | SECONDARY COLOUR: XXX |
|  | ACCENT COLOUR: XXX    |
|  | ACCENT COLOUR: XXX    |

## NOTES

### SEE SHEET A0.2 FOR GENERAL NOTES

|     |                                                          |
|-----|----------------------------------------------------------|
| 424 | 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS. |
| 425 | RIBBED INSULATED METAL PANEL.                            |
| 426 | ALUMINUM COMPOSITE METAL PANEL - RED.                    |
| 428 | BUTT-JOINT MULLION.                                      |
| 430 | 5'-0" WIDE CLERESTORY.                                   |

## KEY PLAN



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BERKSHIRE AXIS  
MARKHAM  
MOBIS ROAD  
MARKHAM, ONTARIO

## EXTERIOR ELEVATIONS - BLDG 1

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graphics  
civil engineering

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p 905.760.1221  
f 905.248.3344  
a business name of WMA Inc.

**BERKSHIRE AXIS  
MARKHAM**

MOBIS ROAD  
MARKHAM, ONTARIO

EXTERIOR ELEVATIONS -  
BLDG 2

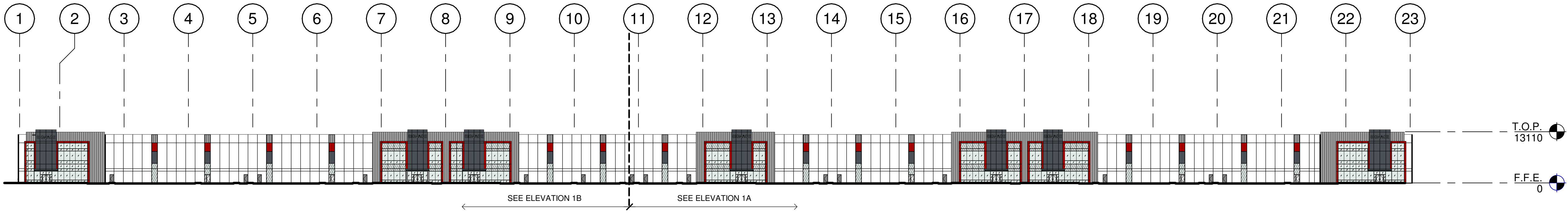
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| DRAWN BY: | D.V.              |
| JOB NO.:  | TOR19-0077-00     |

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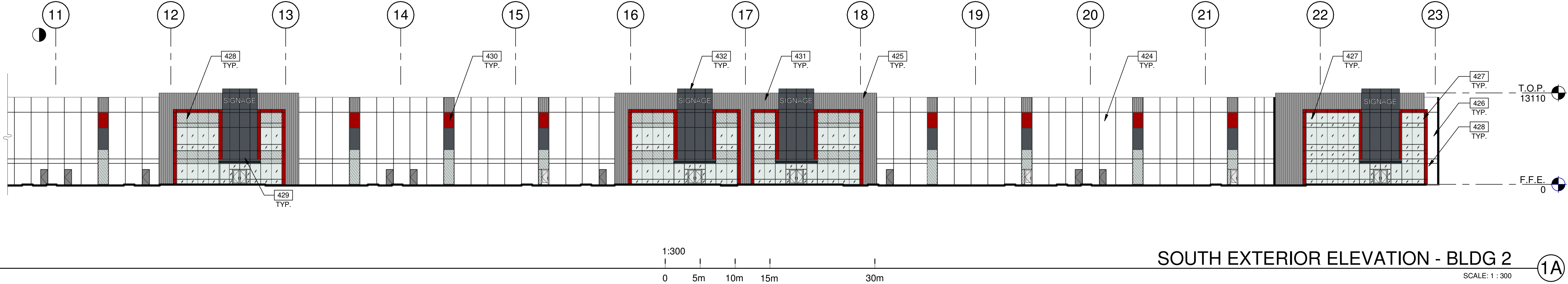
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**SOUTH EXTERIOR ELEVATION - BLDG 2**

SCALE: 1 : 600

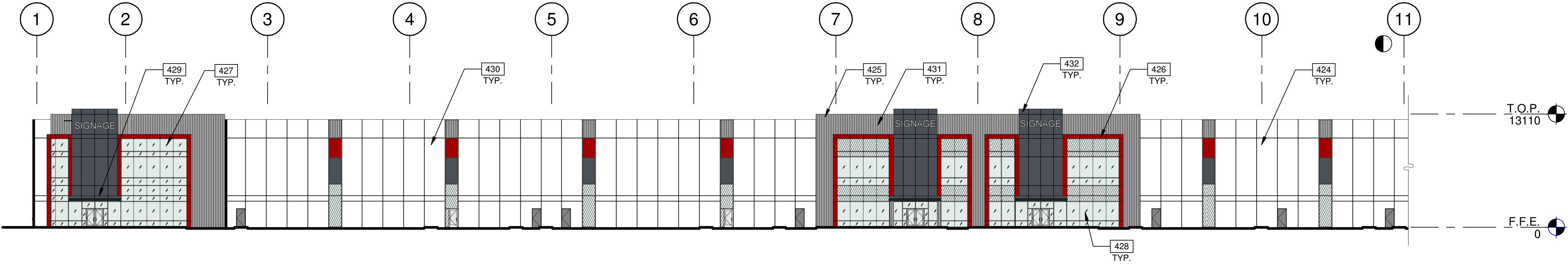
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**SOUTH EXTERIOR ELEVATION - BLDG 2**

SCALE: 1 : 300

1A



**SOUTH EXTERIOR ELEVATION - BLDG 2**

SCALE: 1 : 300

1B

### LEGENDS

#### GLASS:

|  |                |
|--|----------------|
|  | VISION GLASS   |
|  | SPANDREL GLASS |
|  | TEMPERED GLASS |

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
XXXXXX  
U FACTOR = 0.28 AND SHGC = 0.28  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

#### COLOURS:

PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

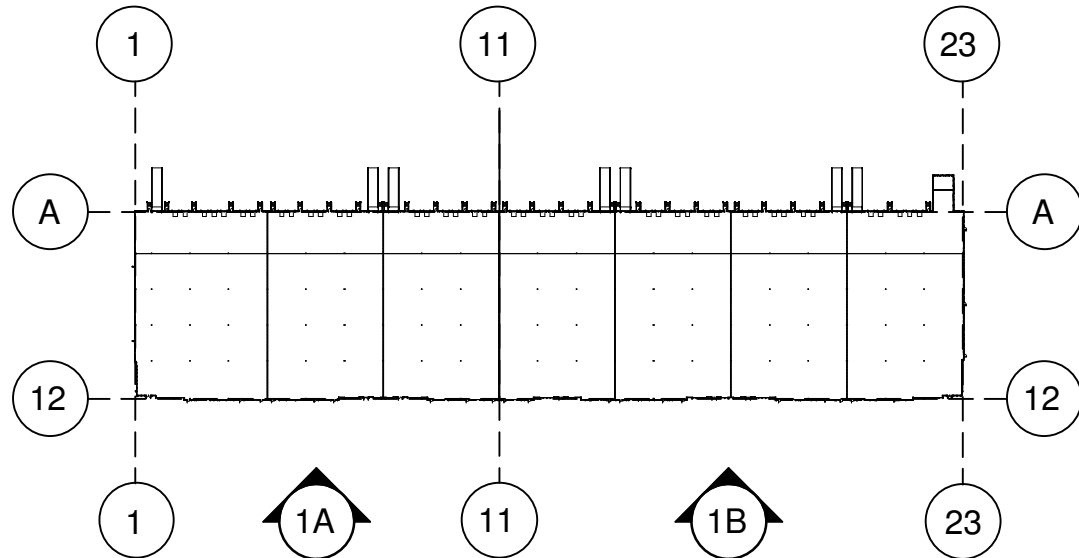
|  |                       |
|--|-----------------------|
|  | BASE COLOUR: XXX      |
|  | SECONDARY COLOUR: XXX |
|  | ACCENT COLOUR: XXX    |
|  | ACCENT COLOUR: XXX    |

### NOTES

#### SEE SHEET A0.2 FOR GENERAL NOTES

- 424 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.  
425 RIBBED INSULATED METAL PANEL.  
426 ALUMINUM COMPOSITE METAL PANEL - RED.  
427 HIGH PERFORMANCE CURTAIN WALL SYSTEM WITH VISION AND SPANDREL PANELS.  
428 BUTT-JOINT MULLION.  
429 ALUMINUM COMPOSITE METAL CANOPY.  
430 5'-0" WIDE CLERESTORY.  
431 POTENTIAL SIGNAGE AND BRANDING LOCATION WITH ENHANCED LIGHTING.  
432 ALUMINUM COMPOSITE METAL PANEL - BLACK.

### KEY PLAN





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**WARE MALCOMB**  
Leading Design for Commercial Real Estate

architecture

planning

interiors

graphics

civil engineering

180 bass pro mills drive, suite 103

vaughan, ontario, L4K 5W4

p 905.760.1221

f 905.248.3344

a business name of WMA Inc.



BERKSHIRE AXIS

MARKHAM

MOBIS ROAD

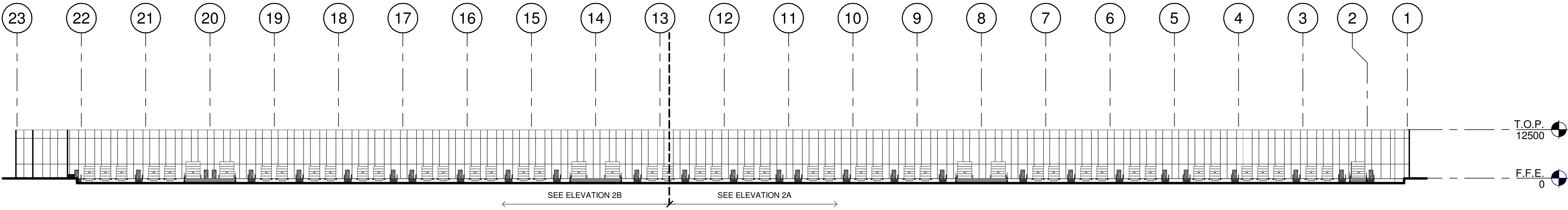
MARKHAM, ONTARIO

| EXTERIOR ELEVATIONS - BLDG 2 |         |
|------------------------------|---------|
| DATE                         | REMARKS |
|                              |         |
|                              |         |
|                              |         |
|                              |         |
|                              |         |
|                              |         |

|           |                   |
|-----------|-------------------|
| PA/PM:    | C. ROCH/A. MORSEY |
| DRAWN BY: | D.V.              |
| JOB NO.:  | TOR19-0077-00     |

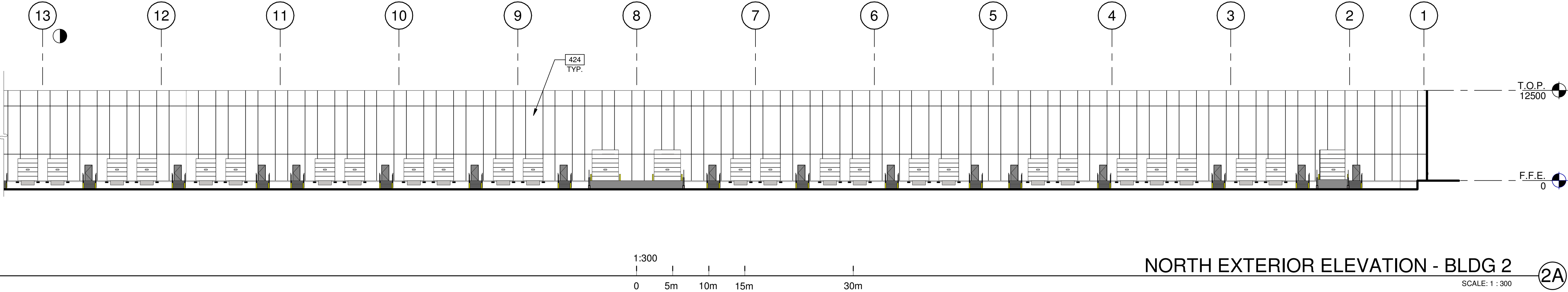
SHEET

A4.2a



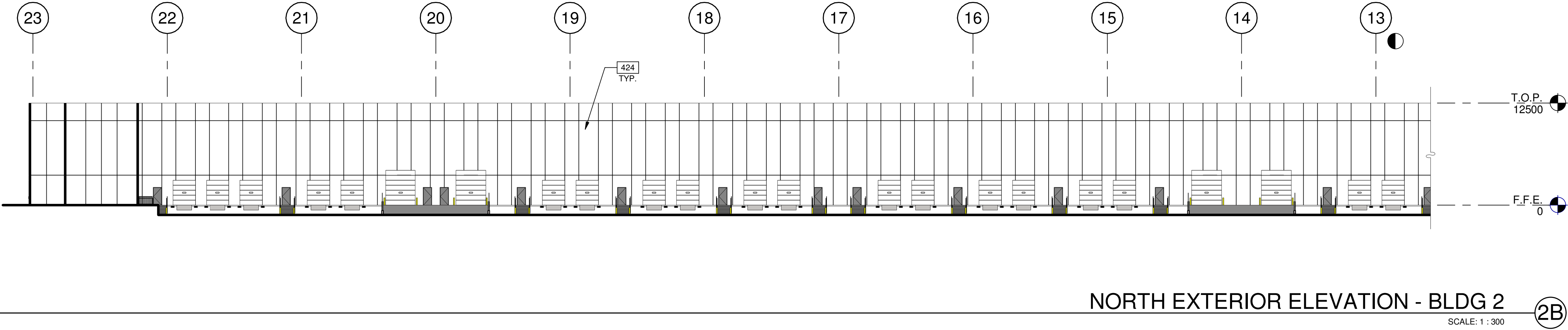
NORTH EXTERIOR ELEVATION - BLDG 2 2

SCALE: 1 : 600



NORTH EXTERIOR ELEVATION - BLDG 2 2A

SCALE: 1 : 300



NORTH EXTERIOR ELEVATION - BLDG 2 2B

SCALE: 1 : 300

LEGEND

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
XXXXXX  
U FACTOR = 0.28 AND SHGC = 0.28  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT  
COLOURS:  
PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A

BASE COLOUR: XXX
- B

SECONDARY COLOUR: XXX
- C

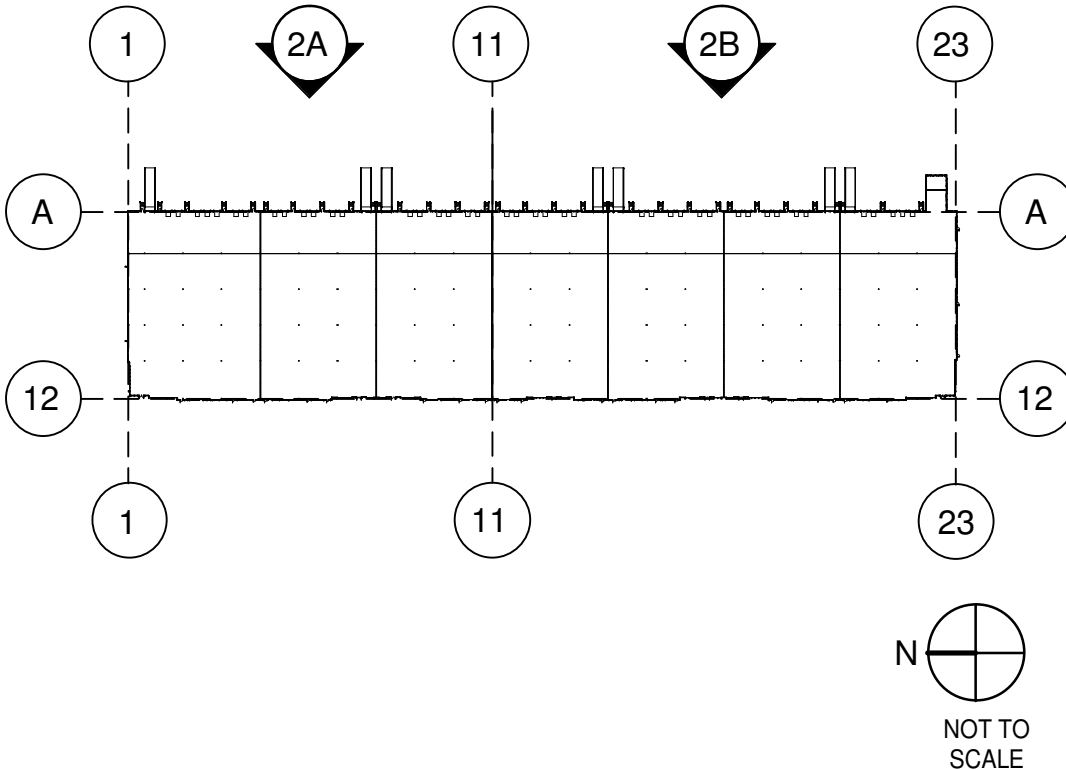
ACCENT COLOUR: XXX
- D

ACCENT COLOUR: XXX

NOTES

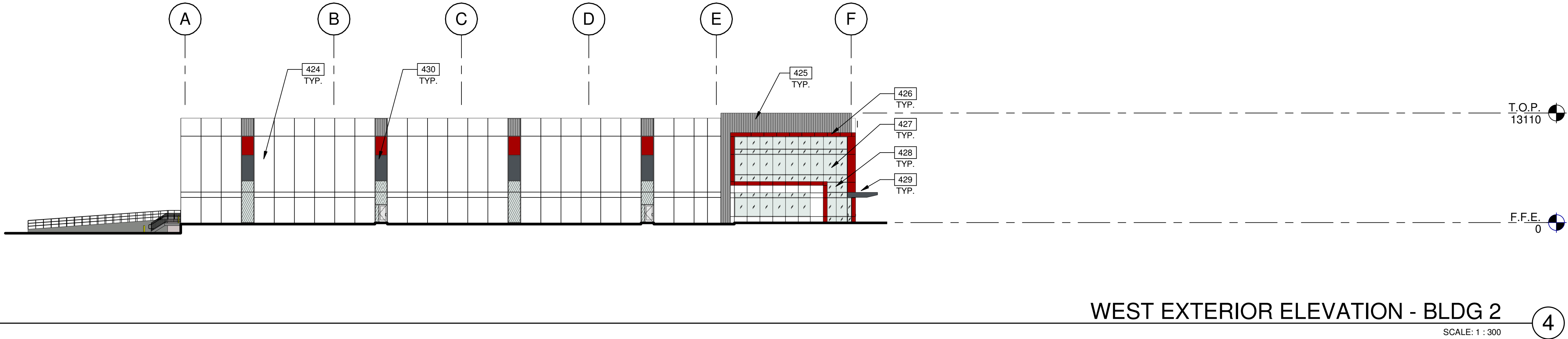
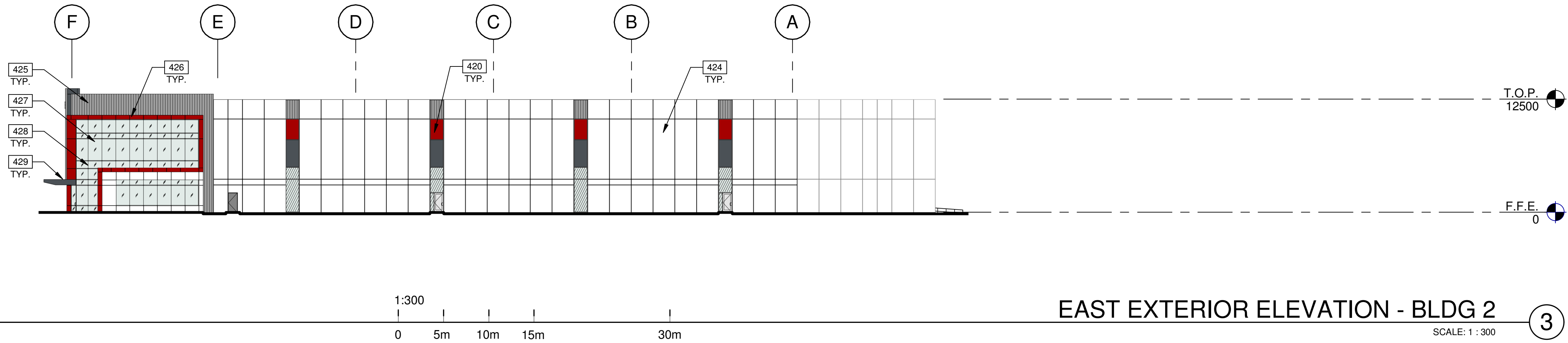
SEE SHEET A0.2 FOR GENERAL NOTES  
424 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.

KEY PLAN





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**BERKSHIRE AXIS  
MARKHAM**

MOBIS ROAD  
MARKHAM, ONTARIO

## LEGEND

### GLASS:

|  |                |
|--|----------------|
|  | VISION GLASS   |
|  | SPANDREL GLASS |
|  | TEMPERED GLASS |

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
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U FACTOR = 0.28 AND SHGC = 0.28  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

### COLOURS:

PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR  
OWNER/ARCHITECT REVIEW.

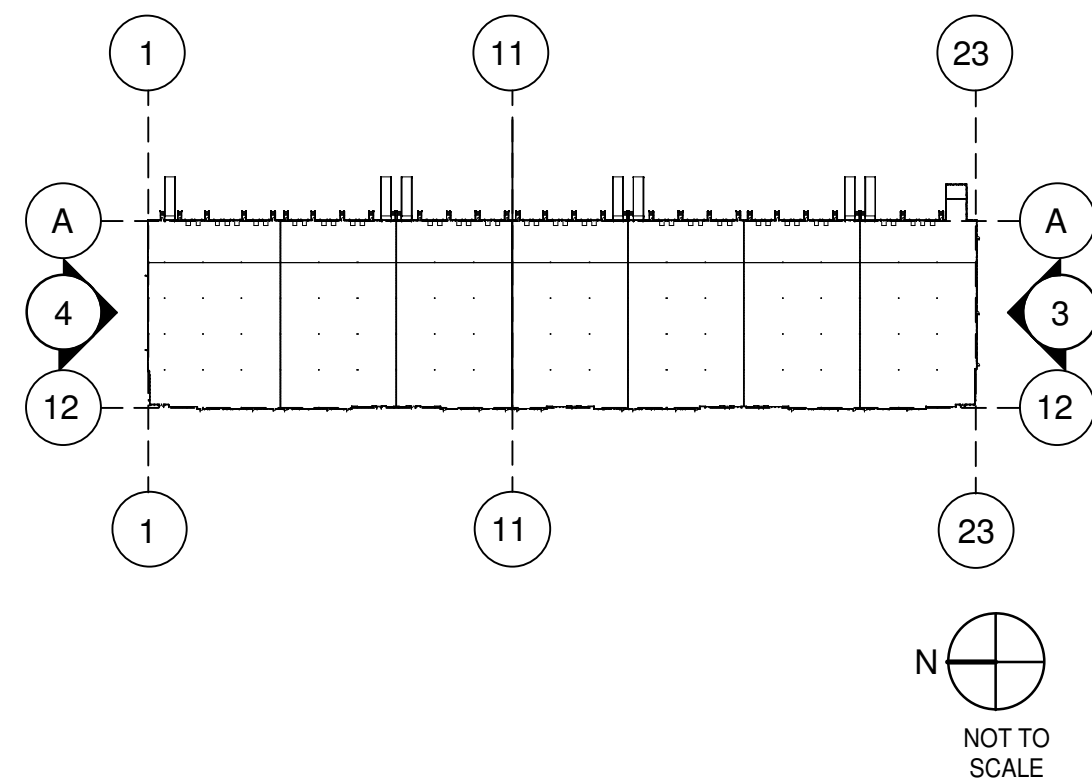
|  |                       |
|--|-----------------------|
|  | BASE COLOUR: XXX      |
|  | SECONDARY COLOUR: XXX |
|  | ACCENT COLOUR: XXX    |
|  | ACCENT COLOUR: XXX    |

## NOTES

### SEE SHEET A0.2 FOR GENERAL NOTES

- 420 5' WIDE SPANDREL PANEL IN CLERESTORY.
- 424 8'-0" WIDE WHITE FLAT FLEXWALL PRECAST PANEL W/ REVEALS.
- 425 RIBBED INSULATED METAL PANEL.
- 426 ALUMINUM COMPOSITE METAL PANEL - RED.
- 427 HIGH PERFORMANCE CURTAIN WALL SYSTEM WITH VISION AND SPANDREL PANELS.
- 428 BUTT-JOINT MULLION.
- 429 ALUMINUM COMPOSITE METAL CANOPY.
- 430 5'-0" WIDE CLERESTORY.

## KEY PLAN



### EXTERIOR ELEVATIONS - BLDG 2

| DATE | REMARKS |
|------|---------|
|      |         |
|      |         |
|      |         |
|      |         |
|      |         |
|      |         |
|      |         |
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|           |                   |
|-----------|-------------------|
| PA/PM:    | C. ROCH/A. MORSEY |
| DRAWN BY: | D.V.              |
| JOB NO.:  | TOR19-0077-00     |

### SHEET

**A4.2b**