



**Agenda**  
**April 11, 2018**  
**7:15 PM**  
**Canada Room**

**The Fourth Heritage Markham Committee Meeting of  
 The Corporation of The City of Markham in the year 2018.**

Alternate formats are available upon request.

Disclosure of Pecuniary Interest.

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- 13. FINANCIAL ASSISTANCE, 2977 16<sup>TH</sup> AVENUE, 83 MAIN STREET NORTH, 11 JOSEPH STREET 76 MAIN STREET NORTH, 87 MAIN STREET NORTH, 2018 COMMERCIAL FAÇADE, GRANT PROGRAM AND SIGNAGE IMPROVEMENT, - REVIEW OF 2018 GRANT APPLICATIONS (16.11) .....10

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**Part One - Administration**

**1. Approval of Agenda (16.11)**

No Attachement

- A) Addendum Agenda
- B) New Business from Committee Members

**Recommendation:**

That the April 11, 2018 Heritage Markham Committee agenda be approved.

**2. Minutes of the March 14, 2018  
Heritage Markham Committee Meeting (16.11)**

Page 15

Extracts: R. Hutcheson, Manager of Heritage Planning

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[Minutes](#)

See attached material.

**Recommendation:**

That the minutes of the Heritage Markham Committee meeting held on March 14, 2018 be received and adopted.

**3. Information,  
Indigenous Land Acknowledgement (16.11)**

Page 25

Extracts: R. Hutcheson, Manager of Heritage Planning

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[Memo](#)

See attached memorandum.

**Recommendation:**

That Heritage Markham Committee receive as information.

**Part Two - Deputations**

**4. Site Plan Control Application,  
Zoning By-law Amendment Application,  
Official Plan Amendment Application,  
206 Main Street Unionville,  
Proposed Re-Development of Property (16.11)**

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File Number: OP/ZA/SC 17 170770

Extracts: R. Hutcheson, Manager of Heritage Planning  
P. Wokral, Heritage Planner

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Memo

Representatives of Stiver Lane Inc. will be in attendance at 7:30 p.m.

See attached staff memorandum and material.

Recommendation:

That Heritage Markham has no objection from a heritage perspective to the demolition of the modern additions made to the rear of the Stiver House; and,

That Heritage Markham has no objection from a heritage perspective to the proposed form and massing of the one and one half storey new addition to the Stiver House, but recommends simplification of the window treatment; and further,

That Heritage Markham recommends the Part IV designation by-law protecting the Stiver House be amended to identify interior architectural features as heritage attributes, including doors and trim work

Option 1

That the proposed re-development of 206 Main Street Unionville be referred to the Architectural Review Sub-Committee for further review and discussion, and that final comments be provided at the May 2018 meeting of Heritage Markham, after providing the members of the Sub-Committee the opportunity to view the scale model of the proposed development.

Or

Option 2

That Heritage Markham has the following recommendations from a heritage perspective regarding the proposed multi-residential apartment building:

- That it not exceed three and one half storeys in height;

- That the massing be further articulated by greater modulation of the setbacks of building bays and adjacent eave heights to better reflect the smaller scale of the existing heritage buildings on Main Street;
- That the architectural detailing and materials reflect authentic local 19<sup>th</sup> century examples and building traditions;
- That if the proposed building employs the Second Empire architectural style that the mansard roof follow authentic 19<sup>th</sup> century proportions and patterns of construction and not be double height;
- That the floor to ceiling heights and size of windows be progressively reduced with each additional storey to reflect a traditional hierarchy of living space; and,

That Heritage Markham recommends the planting of native specimen trees both on-site and nearby as part of this redevelopment to help re-establish the village's vegetative cover; and,

That Heritage Markham has no objection to the proposed Zoning By-law amendment to permit a multi-storey residential building not having commercial units on the ground floor, provided it is located at the rear of the property; and further,

That Heritage Markham does not support the proposed Official Plan and Zoning By-law amendment to permit buildings greater than two stories high as it relates to the current design of the multi-storey residential building;

**Part Three - Consent**

5. **Heritage Permit Applications,  
1 Millbrook Gate,  
Delegated Approvals: Heritage Permits (16.11)**  
File Number: HE 18 227178  
Extracts: R. Hutcheson, Manager of Heritage Planning
- 
- [Memo](#)

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See attached memorandum.

**Recommendation:**

That Heritage Markham receive the information on heritage permits approved by Heritage Section staff under the delegated approval process

6. **Building Permit and Sign Permit Applications,  
5965 Highway 7E, Markham Village,  
10 Beech Street, Markham Village,  
20 Water Street, Markham Village,  
380 Main Street N., Markham Village,  
Delegated Approvals: Building and Sign Permits (16.11)**  
File Number: 18 110371 SP  
17 161156 HP  
18 110898 NH  
18 225550 SP  
Extracts: R. Hutcheson, Manager of Heritage Planning
- 
- [Memo](#)

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See attached memorandum.

**Recommendation:**

That Heritage Markham receive the information on building permits and sign permits approved by Heritage Section staff under the delegated approval process.

**7. Committee of Adjustment Variance Application,  
18 David Gohn Circle, Markham Heritage Estates,  
Proposed Second Residential Unit (16.11)**

Page 54

File Number: A/34/18

Extracts: R. Hutcheson, Manager of Heritage Planning  
P. Wokral, Heritage Planner

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[Memo](#)

See attached staff memorandum and material.

Recommendation:

That Heritage Markham has no comment from a heritage perspective on the requested variance to permit the conversion of the second storey of the existing detached garage/accessory building into a second residential unit at 18 David Gohn Circle in Markham Heritage Estates.

**8. Site Plan Control Application,  
19 Maple Lane,  
New Single Detached Dwelling and Garage:  
Applicant Request for Cladding Changes (16.11)**

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File Number: SC 14 114082

Extracts: R. Hutcheson, Manager of Heritage Planning

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[Memo](#)

See attached staff memorandum and material.

Recommendation:

That Heritage Markham supports the change in cladding materials for the house under construction at 19 Maple Lane subject to the applicant obtaining an amendment to the site plan agreement to substitute the revised elevations, and the proposed brick and board and batten siding be reviewed and approved by City (Heritage Section) staff prior to ordering and installation; and,

That the applicant contact the Building Department to determine if a revision to the original building permit is required prior to proceeding with construction.

**9. Heritage Building Evaluations,  
North Markham Planning District (Future Urban Area) (16.11)**

Page 70

Extracts: R. Hutcheson, Manager of Heritage Planning  
G. Duncan, Project Planner

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Memo

See attached staff memorandum and material.

Recommendation:

That the findings of the Building Evaluation Sub-Committee for the following North Markham Planning District properties listed on the *Register of Property of Cultural Heritage Value*, be endorsed:

- 3575 Elgin Mills Road (Group 1);
- 3693 Elgin Mills Road (Group 1);
- 10060 Kennedy Road (Group 2)
- 10228 Kennedy Road (Group 2);
- 10504 Kennedy Road, (Group 2);
- 10504 Kennedy Road (Group 2); and,

That the City's North Markham Planning District Manager be advised of the results of the research and classification.

**10. Correspondence (16.11)**

Page 86

Extracts: R. Hutcheson, Manager of Heritage Planning

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Correspondence

See attached material.

Recommendation:

That the following correspondence be received as information:

- a) 2018 Ontario Heritage Conference, June 7-9, Sault Ste. Marie: Promotional material.
- b) Markham Historical Society: Remember Markham Newsletter, Spring 2018 Issue. (Staff has full copy)
- c) Heritage Trust for Canada: Locale Magazine, Spring 2018 Issue. (Staff has full copy)

**Part Four - Regular**

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**11. Heritage Building Relocation,  
160 Main Street, Unionville Heritage Conservation District  
Preliminary Proposal to Relocate Barn (16.11)**

Extracts: R. Hutcheson, Manager of Heritage Planning

**Memo**

See attached staff memorandum and material.

**Recommendation:**

That Heritage Markham supports Heritage Section staff meeting with Asset Management and Community Services staff to discuss the implications of the potential relocation and restoration of the barn/stable at 160 Main Street to the Stiver Mill property; and,

That if the addition of the structure to the Stiver Mill property is supported by the affected City departments, Heritage Markham will support further discussion with the property owners and the project funding partner regarding the barn/stable relocation and restoration, with further details coming back to the committee for review and comment prior to being considered by Markham Council.

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**12. Financial Assistance,  
1 Millbrook Gate,  
42 George Street,  
819 Bur Oak Avenue,  
14 Eureka Street,  
13 Main Street Unionville,  
20 Union Street,  
Designated Heritage Property Grant Applications  
- Review of 2018 Applications (16.11)**Extracts: R. Hutcheson, Manager of Heritage Planning  
P. Wokral, Heritage Planner**Memo**

See attached staff memorandum and material.

**Recommendation:**

That Heritage Markham supports the funding of the following six grant applications in the amounts noted at a total cost of \$27,024.33 subject to conditions noted on the individual summary sheets:

- 1 Millbrook Gate (up to \$4,206.43);
- 42 George Street (\$4,407.00);
- 819 Bur Oak Avenue (\$2,758.33);
- 14 Eureka Street (\$5,000.00);
- 131 Main Street Unionville (\$5,000.00);
- 20 Union Street (\$4,859.00)

- 13. Financial Assistance,  
2977 16<sup>th</sup> Avenue,  
83 Main Street North,  
11 Joseph Street  
76 Main Street North,  
87 Main Street North,  
2018 Commercial Façade,  
Grant Program and Signage Improvement,  
- Review of 2018 Grant Applications (16.11)**
- Extracts: R. Hutcheson, Manager of Heritage Planning  
P. Wokral, Heritage Planner

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Memo

See attached staff memorandum and material.

Recommendation:

That Heritage Markham supports a matching grant of up to \$5,000.00 for the installation of historically appropriate new windows on the non-heritage portion of the building at 2977 16<sup>th</sup> Avenue subject to the new windows being a substantial improvement to the current windows and the applicant obtaining a heritage permit; and,

That Heritage Markham supports a matching grant of up to \$2,175.25 for the selective replacement of damaged bricks and repointing of the masonry walls of 76 Main Street North subject to the applicant obtaining a heritage permit; and,

That Heritage Markham supports \$1,132.83 of grant assistance for the proposed replacement of rotting trim and painting of the façade at 83 Main Street North; and,

That Heritage Markham does not support grant assistance for the proposed repairs of the exterior concrete curbing and steps of 87 Main St. North because these are not considered to be significant heritage attributes, or a façade feature of the building; and,

That Heritage Markham supports grant assistance for the replacement of the steel entrance door at 11 Joseph Street provided that it reflects a traditional commercial door design and is approved by a heritage permit; and,

That Heritage Markham supports grant assistance for the repairs made to the exterior masonry walls at 11 Joseph Street, provided that the owner obtains a heritage permit to permanently re-install drainage pipes that previously directed water away from the exterior walls and that the cost of levelling the adjacent interlocking pavers is broken out of the invoiced cost to the repairs of the brick walls; and further,

That Heritage Markham does not support grant assistance for the releveling of the interlocking pavers that abut the exterior walls of 11 Joseph Street because they are not considered to be part of the façade.

**Part Five - Studies/Projects Affecting Heritage Resources - Updates**

The following projects impact in some manner the heritage planning function of the City of Markham. The purpose of this summary is to keep the Heritage Markham Committee apprised of the projects' status. Staff will only provide a written update when information is available, but members may request an update on any matter.

- a) Markham Official Plan 2014 (partially in force)
- b) Rouge National Urban Park Proposal
- c) Main Street Markham Streetscape Redevelopment (Highway 407-16<sup>th</sup> Avenue)
- d) Doors Open Markham 2018
- e) Heritage Week, February 2018
- f) Morgan Park Revitalization Master Plan, Markham Village
- g) Library/Veterans Park Revitalization Master Plan, Markham Village
- h) Victoria Square Heritage Conservation District Study
- i) Review of Development Standards – All Heritage Districts
- j) Main Street Unionville Community Vision Plan (2014) - Implementation
- k) Unionville Heritage Conservation District Plan Amendments
- l) Unionville Heritage Centre Secondary Plan
- m) Unionville Core Area Streetscape Master Plan (2018)
- n) Unionville Community Vision Plan Pattern Book
- o) Update to Markham Village Heritage Conservation District Plan (2018)
- p) New Secondary Plan for Markham Village (2017)
- q) Comprehensive Zoning By-law Project (2017)

**14. Review of Properties on Wales Avenue,  
South of Gleason Avenue (16.11)**

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Extracts: R. Hutcheson, Manager of Heritage Planning

[Memo](#)

See attached staff memorandum and material.

Recommendation:

That Heritage Markham Committee receive as information.

Or

That Heritage Markham Committee recommends that the following properties be added to the Markham Register of Property of Cultural Heritage Value or Interest:

Property Address

XXX

Reason for Listing

XXX

**Part Six - New Business**

**Heritage Markham Committee Meeting**  
**City of Markham**  
**March 14, 2018**  
**Canada Room, Markham Civic Centre**

**Members**

David Nesbitt, Chair  
Councillor Valerie Burke  
Maria Cerone  
Ian Darling  
Ken Davis  
Graham Dewar  
Evelin Ellison  
Anthony Farr  
Councillor Don Hamilton  
David Johnston  
Jennifer Peters-Morales  
Councillor Karen Rea  
Zuzana Zila

**Regrets**

**Staff**

Regan Hutcheson, Manager, Heritage Planning  
George Duncan, Senior Heritage Planner  
Peter Wokral, Heritage Planner  
Alida Tari, Council/Committee Coordinator

David Nesbitt, Chair, convened the meeting at 7:20 PM by asking for any disclosures of interest with respect to items on the agenda.

Councillor Valerie Burke disclosed an interest with respect to Item # 6, by nature of living next door to the subject property, and did not take part in the discussion of or vote on the question of the approval of this matter.

David Johnston disclosed an interest with respect to Item # 6, by nature of being the Architect of the project, and did not take part in the discussion of or vote on the question of the approval of this matter.

**1. Approval of Agenda (16.11)**

- A) Addendum Agenda
- There were no addendum agenda items

- B) New Business from Committee Members
- Ian Darling – Indigenous Land Acknowledgement
  - David Johnston – 15 Wales Avenue
  - George Duncan – Unionville Arms proposed awning
  - David Johnston – Personal Matter

Heritage Markham Recommends:

That the March 14, 2018 Heritage Markham Committee agenda be approved.

CARRIED

2. **Minutes of the February 14, 2018,  
Heritage Markham Committee Meeting (16.11)**  
Extracts: R. Hutcheson, Manager of Heritage Planning
- 

Recommendation:

That the minutes of the Heritage Markham Committee meeting held on February 14, 2018 be received and adopted.

CARRIED

3. **In-Camera Minutes of the January 10, 2018,  
Heritage Markham Committee Meeting (16.11)**  
Extracts: R. Hutcheson, Manager of Heritage Planning
- 

Recommendation:

That the minutes of the In-Camera Heritage Markham Committee meeting held on January 10, 2018 be received and adopted.

CARRIED

4. **Heritage Permit Application,  
North Side of John Street,  
Delegated Approvals: Heritage Permits (16.11)**  
File Number: HE 18 109505  
Extracts: R. Hutcheson, Manager of Heritage Planning
- 

Recommendation:

That Heritage Markham receive the information on heritage permits approved by Heritage Section staff under the delegated approval process.

CARRIED

- 5. Building Permit Application,  
4802 Highway 7 East, Unionville,  
60 Main Street North, Markham Village,  
28 Markham Street, Markham Village,  
6041 Highway 7 east, Markham Village,  
Delegated Approvals: Building Permits (16.11)**

File Number: 16 117250 NH

17 157296 AL

18 107113 HP

18 108821 HL

Extracts: R. Hutcheson, Manager of Heritage Planning

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Recommendation:

That Heritage Markham receive the information on building permits approved by Heritage Section staff under the delegated approval process

CARRIED

- 6. Site Plan Control Application,  
30 Colborne Street, Thornhill Heritage Conservation District,  
Status of City Approvals and Permits (16.11)**

File Number: SC 17 168354

Extracts: R. Hutcheson, Manager of Heritage Planning

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Councillor Valerie Burke disclosed an interest with respect to Item # 6, by nature of living next door to the subject property, and did not take part in the discussion of or vote on the question of the approval of this matter.

David Johnston disclosed an interest with respect to Item # 6, by nature of being the Architect of the project, and did not take part in the discussion of or vote on the question of the approval of this matter.

The Committee stated their concerns with the John Ramsden House being left open during the construction and potential exposure to severe weather elements, and requested that staff provide an update on the protection and preservation of the Heritage dwelling. Staff reviewed the details outlined in the memo and noted that once a building permit is issued, any issues and/or concerns are no longer dealt with through the By-law Enforcement Department, but rather with the City's Building Inspector. Staff advised that the building permit was issued on February 28, 2018. It is currently an active building site, and the City's building department is responsible to oversee the development site. Staff also advised that there were a set of plans submitted and

approved, and that if the owner does not fulfill the requirements of the approved plans or deviates from the approved drawings the City has a Letter of Credit to remedy any issues.

There was discussion regarding whether it is appropriate to follow up with the City's building inspector, and request that he be reminded of the Heritage property. The Committee inquired as to what process should be followed if any members of the community identify any concerns during the construction process. Staff advised that any issues or concerns should be directed to the City's Contact Centre by phone or via email.

Recommendation:

That Heritage Markham receive the staff memorandum on the status of City approvals and permits at 30 Colborne Street for information purposes.

CARRIED

- 7. Heritage Building Evaluations,  
North Markham Planning District (Future Urban Area) (16.11)**  
Extracts: R. Hutcheson, Manager of Heritage Planning  
C. Jay, North District Manager
- 

Recommendation:

That the findings of the Building Evaluation Sub-Committee for the following North Markham Planning District properties listed on the *Register of Property of Cultural Heritage Value*, be endorsed:

- 3151 Elgin Mills Road (Group 2);
- 4075 Elgin Mills Road (Group 2);
- 10725 Kennedy Road (Group 2);
- 4638 Major Mackenzie Drive, (Group 2); and
- 10508 Warden Avenue (Group 3); and,

That the City's North Markham Planning District Manager be advised of the results of the research and classification.

CARRIED

**8. Site Plan Control Application,  
Zoning By-law Amendment Application,  
206 Main Street, Unionville Heritage Conservation District,  
Proposed Redevelopment of Property (16.11)**

File Number: OP/ZA SC 17 170770

Extracts: R. Hutcheson, Manager of Heritage Planning  
P. Wokral, Heritage Planner

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The applicant has requested a further deferral.

Recommendation:

That Heritage Markham defers review of the planning applications for 206 Main Street Unionville to the April 2018 meeting.

CARRIED

**9. Site Plan Control Application,  
171 Main Street North, Markham Village Heritage Conservation District,  
On-Site Relocation and Addition to a Heritage Dwelling (16.11)**

File Number: 18 160560

Extracts: R. Hutcheson, Manager of Heritage Planning  
G. Duncan, Project Planner

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George Duncan, Project Planner addressed the Committee and summarized the details outlined in the memo. He outlined the proposed changes versus the original application submitted in 2014 and noted that everything proposed is within the existing variances.

There was discussion regarding tree preservation and some removal of trees.

Recommendation:

That Heritage Markham supports the proposed alterations and addition to the dwelling at 171 Main Street North from a heritage perspective, subject to the applicant:

- Retaining and restoring any existing heritage windows, in consultation with Heritage Section staff; and
- Entering in a Site Plan Agreement including the usual conditions regarding materials, colours, etc.; and,

That the height of the first floor of the heritage house above grade after relocation onto its new foundation should generally reflect the existing first floor height.

CARRIED

- 10. Site Plan Control Application,  
14 George Street, Markham Village Heritage Conservation District,  
Residential Addition and Attached Garage:  
Outcome of Architectural Review Sub-Committee (16.11)**  
File Number: SC 18 182371  
Extracts: R. Hutcheson, Manager of Heritage Planning  
G. Duncan, Project Planner
- 

George Duncan, Project Planner summarized the details outlined in the memo, and noted that all the suggestions made by the Architectural Subcommittee have been dealt with.

There was brief discussion regarding the proposed height of the new addition in relation to the existing dwelling and adjacent dwellings.

Recommendation:

That Heritage Markham supports the alterations to the heritage dwelling and the revised design for the proposed addition at 14 George Street from a heritage perspective, which includes the modifications to the windows recommended by the Architectural Review Sub-Committee; and,

That the height of the first floor of the heritage house above grade after relocation onto its new foundation should generally reflect the existing first floor height; and further,

That the applicant enter into a Site Plan Agreement, including the standard conditions regarding materials, colours, etc.

CARRIED

- 11. Information,  
Unionville Commercial Core Pattern book Update (16.11)**  
Extracts: R. Hutcheson, Manager of Heritage Planning
- 

Regan Hutcheson, Manager of Heritage Planning delivered a presentation regarding the Unionville Commercial Core Pattern Book. It was explained that the creation of a Pattern Book was a recommendation of the Main Street Unionville Community Vision Plan and Council directed staff to produce a document that would provide guidance for new intensification reflective of the Vision Plan. Of particular importance was guidance on how to introduce new multi-unit residential development in a three (3) to three and half (3 ½) storey form in the commercial core area.

Mr. Hutcheson indicated the document consists of two sections: village design guidelines to help regulate development and provide development standards, and architectural guidelines highlighting four recommended style approaches.

Mr. Hutcheson briefly reviewed the Vision Plan objectives, existing conditions in the core area that impact development (including the TRCA restrictions on development potential in certain areas), a regulating plan, block structure, frontage/build to lines, vista termination/view shed, and parking opportunities. The proposed General Development Standards include the type of building massing and design treatment features that are both encouraged and discouraged. The massing guidelines limit height to 3 ½ storeys and a footprint of 3,750 sq ft per building component, but noted that these components can be linked together by connector buildings to create larger developments. The architectural style section focuses on styles typical to Unionville that could lend themselves to larger building masses: Vernacular/Gothic Revival; Georgian/Regency; Italianate and Edwardian. Basic massing and composition illustrations are provided for each style.

The Committee thanked staff for the presentation and look forward to receiving a copy of the book following Council endorsement.

Recommendation:

That Heritage Markham Committee receive the presentation on the Pattern Book as information and looks forward to utilizing the Pattern Book as a companion document to the Unionville Heritage Conservation District Plan to achieve the type of complementary multi-unit/ multi-storey infill development as envisioned in the Main Street Unionville Community Vision Plan.

CARRIED

**12. Unionville Commercial Core Area  
Streetscape Master Plan 2018 (16.11)**

Extracts: R. Hutcheson, Manager of Heritage Planning  
A. Johnson, Streetscape Coordinator  
E. Wimmer, Senior Planner, Urban Design

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Regan Hutcheson, Manager of Heritage Planning briefly summarized the details outlined in the memo.

Recommendation:

That Heritage Markham Committee receive as information the update on the work being undertaken on the Unionville Core Area Streetscape Master Plan (2018)

CARRIED

**13. Victoria Square Heritage Conservation District Study  
Outcome of Study and Public Process (16.11)**

Extracts: R. Hutcheson, Manager of Heritage Planning

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George Duncan, Project Planner summarized the details outlined in the memo.

There was discussion regarding the purpose of Heritage District Area designation, and the importance of community support. The Committee discussed other heritage conservation tools that could be used to protect heritage resources.

The Committee suggested that the recommendation include a clause stating that Heritage Markham supports pursuing Victoria Square as a Heritage Conservation District area in principle.

Recommendation:

That Heritage Markham Committee acknowledges Victoria Square as an area whose cultural heritage value contributes to a sense of place extending beyond its individual buildings, structures and landscapes, and recognizes Victoria Square as an appropriate location for a heritage district; and,

That Heritage Markham recommends that due to the current level of support within the Victoria Square Heritage Conservation District study area that further work on the heritage district be suspended at this time; and,

That the City continue to use the other available heritage conservation tools to preserve properties of cultural heritage value or interest.

CARRIED

**14. New Business  
Indigenous Land Acknowledgement (16.11)**

Extracts: R. Hutcheson, Manager of Heritage Planning

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Ian Darling addressed the Committee and suggested that each Heritage Markham Committee meeting begin with a statement acknowledging the Indigenous land upon which Markham is located.

The Committee discussed whether this would be appropriate for an advisory Committee.

It was suggested that staff report back on whether there is anything in the Heritage Markham Committee's Terms of Reference that prohibits the Committee from including such statements as part of their meetings or if there is any City policy or protocol relative to Indigenous Land Acknowledgement.

Recommendation:

That Heritage Markham recommends staff report back on whether anything would prohibit the Committee from including such statements as part of their meetings or if there is any City policy or protocol relative to Indigenous Land Acknowledgement.

CARRIED

**15. New Business****15 Wales Avenue (16.11)**

Extracts: R. Hutcheson, Manager of Heritage Planning

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David Johnston addressed the Committee regarding whether staff should investigate whether 15 Wales Avenue meets the criteria to have it added to the Heritage Register. The subject property is located at the border of the Markham Village Conservation District.

There was discussion regarding the process involved to extend a current Heritage Conservation District.

Recommendation

That Heritage Markham recommends staff report back on the residential homes on the east side of Wales Avenue south of Gleason Avenue with respect to whether any of the dwellings meet the criteria to have them added to the Heritage Register.

CARRIED

**16. New Business****189 Main Street, Unionville****Unionville Arms****Proposed Awning (16.11)**

Extracts: R. Hutcheson, Manager of Heritage Planning

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George Duncan, Project Planner addressed the Committee advising that the restaurant Unionville Arms has an outdoor patio and would like to install a retractable awning. Staff displayed pictures of what the awning would look like. It was noted that the impact of the proposed awning would appear to be relatively low. Staff pointed out that the installation of the proposed retractable awning requires a building permit.

There was discussion regarding whether this could set a precedent. In this particular property, it was noted that the wooden arbor across the front of the patio would help screen the awning.

Recommendation:

That Heritage Markham is generally supportive of the concept and recommends the request from Unionville Arms to install a retractable awning be referred to Heritage Staff.

CARRIED

**17. New Business****Personal Matter (16.11)**

Extracts: R. Hutcheson, Manager of Heritage Planning

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David Johnston addressed the Committee to state his concerns with the continuous verbal mistreatment, he receives from a member of the public who regularly attends the Heritage Markham meetings. Mr. Johnston informed the Committee of an encounter that occurred prior to the start of this meeting. He believes that no one should have to put up with this type of behaviour and that members of the public should be required to abide by the rules of decorum set out for all Council and Standing Committees in Markham.

As stated in the Council Procedural By-law Section 7.6 (a) “Members of the public who attend a meeting will maintain order and shall not: (iv) use indecent, offensive or insulting language or speak disrespectfully to or about an individual.” Staff advised that if a member of the public or Committee member do not abide by this that the Chair has the authority to have the individual expelled from the meeting.

**Adjournment**

The Heritage Markham Committee meeting adjourned at 10:43 PM.



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Regan Hutcheson, Manager-Heritage Planning

**DATE:** April 11, 2018

**SUBJECT:** Administration  
Information: Indigenous Land Acknowledgement

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### Application/Proposal

- At the March 14, 2018 meeting, the Committee discussed whether the committee meetings should begin with the Chair reading a statement acknowledging the Indigenous land upon which Markham is located.
- Staff was requested by the Committee to report back on whether anything would prohibit the Committee from including such statements as part of its meetings or if there is any City policy or protocol relative to Indigenous Land Acknowledgement.

### Background

- At the beginning of Markham Council meetings, the Mayor now reads an Indigenous Land Acknowledgement. (Attachment 1).

### Staff Comment

- The Manager of Heritage Planning contacted the City's Clerks Department and there is nothing in the Committee's Terms of Reference or any City protocol that would require or preclude such a statement from being read.
- It would be up to the Committee to determine if it wishes to include such a statement in its meeting proceedings.

### **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham Committee receive as information.

**Attachment 1**

This is the statement the Mayor reads at the beginning of Council meetings:

**INDIGENOUS LAND ACKNOWLEDGEMENT**

We begin today by acknowledging that we walk upon the traditional territories of Indigenous Peoples and we recognize their history, spirituality, culture, and stewardship of the land.

We are grateful to all Indigenous groups for their commitment to protect the land and its resources and we are committed to reconciliation, partnership and enhanced understanding.



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Peter Wokral, Heritage Planner

**DATE:** April 11, 2018

**SUBJECT:** Site Plan Control and Official Plan and Zoning By-law Amendment Applications  
206 Main Street Unionville, The Stiver House  
OP/ZA/SC 17 170770

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**Property/Building Description:** 1 storey, single detached, Regency Style dwelling constructed in 1829, with modern addition to rear.

**Use:** Vacant Retail Store

**Heritage Status:** Designated under Part IV of the Ontario Heritage Act and classified as a Group A building or buildings that define the heritage character of the district.

### **Application/Proposal**

- The City has received an Official Plan and Zoning Amendment as well as a Site Plan Control application from Stiver Lane Inc. in support of a proposed redevelopment of the property;
- The applicant is proposing to demolish the modern additions made to the rear of the Stiver House, and replace them with a new, smaller, one and one half storey, 120 m<sup>2</sup> (1,291 ft<sup>2</sup>) addition intended for retail use;
- The applicant also proposes to construct a four storey, 2,962.20 m<sup>2</sup> (31,885.9 ft<sup>2</sup>) residential building with 14 luxury residential units and one level of underground parking at the rear of the property (See proposed Site Plan and Elevations);
- A surface parking lot to service the commercial parking requirements is located between the two new buildings;
- The proposed Official Plan Amendment seeks to permit a four storey building whereas only two storey buildings are permitted in the Unionville Heritage Conservation District;
- The proposed Zoning By-law Amendment seeks to permit a building to have a Building Height of 15.2m whereas the Zoning By-law only permits buildings to have a maximum height of 10.7m (which effectively limits buildings to two storeys in height) and to permit

a multi-residential building having no commercial uses on the ground floor, whereas the By-law only permits residential units located above a commercial use;

### **Background**

- In addition to not complying with the policies of the new Official Plan and the provisions of the Zoning By-law, the proposed multi-residential building does not conform with the Unionville Main Street Community Vision Plan which was endorsed by Council in 2015 and is to be implemented by a future Unionville Secondary Plan and Architectural Pattern Book;
- The **Unionville Vision Plan** envisions 2 to 3 ½ storey buildings with traditional gabled roofs with irregular massing and form, as well as a pedestrian right of way at the rear of the property intended to link and service the rear of the properties along the west side of Main Street. (See illustrations of the subject property from the Unionville Vision Plan);
- The City's Planning Department is nearing completion of its work on the Pattern Book using the same consultants that developed the Vision Plan and will be presenting a draft of the Pattern Book to the Development Services Committee on April 16, 2018. The purpose of the Pattern Book is to provide guidance to developers, owners and in understanding the design principles that will create development compatible with the character of the area (how to introduce complementary new multi-unit residential development in a 3 to 3 ½ storey form at a village scale);
- The following rationale is provided by the applicant for the proposed multi-storey residential building and the proposed Official Plan and Zoning By-law amendments:
  - The Province's desire to see residential intensification in established urban areas,
  - The height of the proposed building does not negatively impact the historic character of the District or neighbouring homes due to its setback from Main Street and distance from neighbouring homes;
  - Although there are no commercial uses located on the ground floor of the multi-storey residential building, additional commercial space is being provided elsewhere on the site in the form of an addition to the Stiver House;
  - The Second Empire Design of the proposed building will enhance the heritage character of the District;
  - The building is intended to employ several sustainability measures such as roof-top solar panels so that it will be a net zero building.

### **Staff Comment**

#### Demolition

- Staff has no objection to the demolition of the existing modern additions currently attached to the Stiver House;

#### Proposed Commercial Addition

- Staff supports the proposed form, scale and massing of the proposed new commercial addition to the rear of the Stiver House, but recommends simplification of the window treatment;

Vegetation/Tree Loss

- Of the 28 trees on the subject property, 27 are proposed to be removed because they are either undersized, dead, unhealthy, or will be impacted by the proposed excavations and building foundations. The trees along the north and west property line appear to have grown from seed as opposed to have being intentionally planted. Staff recommends that some space on the site be dedicated to the planting of native specimen trees to help re-establish the village character of the site in the future. Other replacement trees could be planted nearby, perhaps in cooperation with the adjacent school site;

Proposed Residential Building

- Staff has prepared the following chart to illustrate how the proposed multi-storey residential building conforms or does not conform with the recommended guidelines contained in the draft Architectural Pattern Book:

<b>Section 2.4 Regulating Plan</b>	
<p><b><u>Cultural Heritage Resources</u></b>                      - Heritage resources should be conserved and integrated into development in a manner that is consistent with principals of good heritage conservation, the Unionville Heritage Conservation District Plan, and Markham’s Official Plan cultural heritage policies.</p> <p>New development should respect the scale, setbacks, proportions, visual relationships, topography and materials of the historic context.</p>	<p>The proposed redevelopment retains and incorporates the historic Stiver House in its original location with an architecturally compatible addition.</p> <p>It may be advisable to recommend that interior features of the Stiver House be individually designated under the Ontario Heritage Act to protect them. There are original doors and trim work which date from an early period. This would require an amendment to the designation by-law as this property is protected by a Part IV (individual) designation.</p> <p>Scale of the new development is an issue in relation to the its size compared with other village buildings.</p>
<p><b><u>Building Heights</u></b>                      Traditional heights are 1-2 storeys                      Enhanced height up to 3 ½ storeys is supported but setbacks are introduced                      Three zones;                      Zone 1- 0- 20m – up to 2 storeys                      Zone 2- 20 to 40 m – up to 2 ½ storeys                      Zone 3 – past 40m- up to 3 ½ storeys</p>	<p>The proposed addition to the Stiver House is 1 ½ storeys and is in Zone 2 (complies).</p> <p>The proposed new building is four storeys in height and is in Zone 3 (does not comply).</p>

<p><b><u>Streets, Internal Lanes and Walkways</u></b></p> <p>- Includes the location of Required Vehicular Access Ways (RVAW) and Pedestrian/Vehicular Access Ways (PVAW)          -these are desired to provide access for waste and fire services, as well as providing access for moving trucks.          - Pedestrians access is also desirable.</p>	<p>The Regulating Plan illustrates a <b>Vehicular Access Way</b> along the west boundary of the property and a connector access way adjacent to the south side of the property which would connect Main Street to the westerly <b>Vehicular Access Way</b>. This was in response to requirements from Markham Waste and Fire Services to provide appropriate access for their services.</p> <p>The current proposal does not include the rear <b>Vehicular Access Way</b> (or a pedestrian access way in the same location as originally contemplated in the Vision Plan). The applicant does not support this route given it would currently dead end at the Arena (which is not expected to be redeveloped in the near future) and its use would rely on a connector lane access being from the adjacent property (202 Main St) to the south (which we are told does not wish to participate at this time).</p> <p>The application does propose a possible future connection to the Arena site off of the commercial parking area. This could allow a future access connection between the Arena and other properties to the south when, or if, they develop. This option would have to be included within the Site Plan Agreement.</p> <p>Fire Services has indicated it would be able to fight fires with the proposed driveway and parking lot configuration.</p> <p>Waste Collection issues such as providing an internal collection space for waste and recycling and appropriate pavement widths, turning radiuses and turn-around features to prevent collection trucks from having to back-up onto Main Street have not been provided.</p>
<p><b><u>Open Space/Non-Build Areas</u></b></p> <p>- these are specific areas which will likely always be open.          Also see Vistas section</p>	<p>There is such an open area on the adjacent property to the south (Jake’s Restaurant Patio) which provides enhanced visibility to the proposed development. Of special note will be the south and east facades of the new development as they are visible from Main Street through the driveway, and through the neighbouring open space patio area to the south.</p>
<p><b><u>Private Open Space/ Shared Outdoor Amenity Areas</u></b></p> <p>In some cases, these types of spaces can become publicly accessible in new development scenarios.</p>	<p>There is no private open space or shared outdoor amenity areas being proposed. Private amenity areas are provided through terraces/patio spaces incorporated into the building design.</p>

<p><b><u>Parking, Access, Utilities and Site Services</u></b></p> <ul style="list-style-type: none"> <li>- these should be located away from public realm/public views and/or with appropriate screening or landscaping</li> </ul>	<p><u>Parking is provided in two ways</u>: commercial parking is provided at-grade between the new residential building and the Stiver House/new Addition. Residential parking is provided underground. At grade parking will be generally screened by the Stiver House complex and possible landscaping.</p> <p><u>Underground parking garage door</u> is placed to the north so it is generally screened by the proposed Stiver House buildings.</p> <p><u>Access to the parking</u> is off of Main Street on a non-shared driveway. It would be preferable not to have two driveways adjacent to each other (206 and 202 Main St) from a design perspective (and as per the Vision Plan), but the applicant indicates the adjacent owner is not interested.</p> <p><u>Garbage and Recycling collection storage</u> will be inside the new building, but how this material is collected is still an outstanding issue.</p> <p><u>Site Services</u> – transformers, utility metres, communications boxes, HVAC units, solar panels, ventilation shafts/ grates- need to determine their location and review how they are screened. Solar panels are proposed for the roof structure and are proposed to be screened through architectural elements of the building.</p>
<p><b><u>Grade Relationship to New Building</u></b></p> <ul style="list-style-type: none"> <li>- new development to relate directly to existing or natural grade</li> <li>- avoid artificially raised or lowered grades</li> </ul>	<p>Existing grades appear to be maintained.</p> <p>The grading around the historic Stiver House foundation should be corrected – more of the foundation treatment is exposed than should be.</p>
<p><b><u>Build-to-Lines</u></b></p> <ul style="list-style-type: none"> <li>- these regulating lines are along streets, lanes, open space frontages</li> <li>- they define the block face for building placement so that each building façade fronting on the line should occupy that line for the percentage occupancy specified.</li> <li>- there is lower and higher numbers in the range of occupancy</li> </ul>	<p>The suggested Build to Frontage requirement for this property along Main Street frontage is 80-100%. This would be desirable if the lot was empty. In this case, the heritage building and the driveway occupy this frontage with the heritage building occupying approximately 50%.</p> <p>The suggested Build to Frontage requirement along the lane to the south of this development is 75 to 90%. The current proposal occupies approximately 43%</p>

<p><b><u>2.6 Frontage</u></b>          - references the percentage of new building facades required to occupy the build-to-line as well as the quality of the architecture          - Primary frontages are most visible and require high quality architectural design          - Secondary frontages are more service oriented and not subject to the same design rigor.</p>	<p>The proposed architectural treatment on all frontages of the proposed development is considered by staff to be of a high quality of architectural design.</p>	
<p><b><u>2.7 Vista Terminations and View Shed</u></b>          - there are specific vista termination and view sheds which demand enhanced architectural treatments</p>	<p>One such vista or view shed is the south façade and front elevation of the new residential building due to the open space patio (Jakes) – this will be a key view from Main Street.</p> <p>Staff has made some suggestions to provide an enhanced architectural feature at the southeast corner of the building.</p>	
<p><b><u>2.8 Parking</u></b>          - design measures are provided for each type of parking scenario          - <u>surface parking</u> – away from primary frontages, to the rear, screened if necessary          - <u>below grade parking</u> structures          - <u>enclosed at-grade parking</u> – encapsulated within the building, envelope, designed to appear as part of the building with appropriate architectural treatment          - <u>stand alone</u> above grade parking structure with appropriate architectural design and screening of use</p>	<p>As noted, the residential parking is underground and the commercial parking is at-grade (and appears to be adequately screened due to placement of the parking behind the Stiver House complex.</p>	
<p><b><u>2.14 Building Massing and Design Treatment</u></b>          - to be appropriate in size and scale          - see type of development that is encouraged as well as what is discouraged</p>	<p><b>Encouraged:</b>          - new buildings to be residential in character, scale and proportions</p> <p>- complementary roof lines/slopes</p>	<p><b>Proposed Development</b>          - The proposal cannot be said to be in scale with adjacent buildings, but its positioning at the rear of the property does help to mitigate the comparatively large scale.</p> <p>- mansard roof is not preferred and cannot be said to be</p>

	<ul style="list-style-type: none"> <li>- simple yet varied massing – primary building mass with attached minor wings subordinate to the main building</li> <li>- building forms with multiple building masses tied together with hyphens between – each with its own shared entrance</li> <li>- Use of porches</li> <li>- limited balconies</li> <li>- roof terraces</li> <li>- special architectural features (bay windows, entry doors, veranda, porches)</li> <li>- all facades should have consistent and cohesive design elements- limited window and door types, simple material palette.</li> <li>- materials- high quality, durable complementary to heritage area (Brick, wood, wood-like)</li> <li>- side and rear elevation with high exposures and visibility should be highly articulated and consistent with front elevation</li> </ul>	<p>complementary to the forms of adjacent buildings</p> <ul style="list-style-type: none"> <li>- The massing is varied, but the building is not reflective of the “primary building with wings” concept as envisioned.</li> </ul> <p>The building does not reflect this concept and there is one main entrance</p> <p>There are a number of inset balconies/terraces</p> <p>Architectural features are provided by the exterior wall treatment, windows, and dormers. Staff recommends simplification/ more reflective of Unionville.</p> <p>The façade is generally consistent with similar window treatments. Windows and masonry wall treatments need to be simplified to reflect Unionville 19<sup>th</sup> century vernacular detailing and building traditions.</p> <ul style="list-style-type: none"> <li>- materials appear to be high quality</li> <li>- The side and rear elevations as proposed are highly articulated and all are treated as primary frontages.</li> </ul>
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	<p><b>Discouraged:</b></p> <ul style="list-style-type: none"> <li>- formal massing with long unbroken façade lengths and overly repetitive motifs</li> <li>- flat, blank walls visible to public</li> <li>- large scale elements- ganged windows, extensive glazing</li> <li>- overly complicated massing</li> <li>-tall, 3 ½ storey massing without stepping down</li> <li>- corridor buildings with single entrances and single cores</li> <li>- excessive uses of projecting balconies</li> <li>- highly visible outdoor/roof top terraces especially visible from Main Street</li> </ul>	<ul style="list-style-type: none"> <li>- the façade is broken up with breaks in the architectural treatment</li> <li>- no blank walls</li> <li>-ganged dormer windows of the mansard roof are too large in scale and do not reflect authentic 19<sup>th</sup> century Unionville examples. There is no extensive glazing</li> <li>-proposed massing is not overly complicated</li> <li>- entire building is 4 storeys, and does not step down</li> <li>- this is a corridor building with a single entrance and core</li> <li>- there are no projecting balconies, they are part of the building design.</li> <li>- terraces are visible from Main Street but are somewhat hidden by being incorporated within the massing of the building.</li> </ul>
<p><b><u>Massing Guidelines</u></b>  <b><u>Building Height</u></b></p> <ul style="list-style-type: none"> <li>- max height is 3 storeys</li> <li>- measured from roof eave to ground</li> <li>- occupied roof is permitted above the 3<sup>rd</sup> floor to an area equal to 75% of the floor area below the roof.</li> <li>- maximum height of ground floor measured to the finished floor above is 4.2 m</li> </ul>	<p>The proposed development is 4 storeys in height with the fourth floor contained within a Mansard roof. Extended mansard roof makes the building taller.</p> <p>The occupied roof floor is greater than 75% of the floor area below (likely close to 100%)</p> <p>The height of the ground floor is 3.65m</p>	

<p>- maximum floor to floor height is 3.2m</p> <p><u>Building Size</u></p> <p>- maximum footprint of a three storey portion is <b>360 m<sup>2</sup></b></p> <p>- use of linkage buildings to create greater mass</p> <p>-The Second Empire style is not one of the preferred architectural styles, if used the maximum height is two storeys with the third floor being the mansard roof (in a form and proportion of a 19<sup>th</sup> C roof).</p> <p><u>Façade Treatment</u></p> <p>- facades must be articulated every 12m with a change in façade plane a min of 2m or a change in eave height of one storey</p>	<p>The height of each floor above the ground level is 3.45m which is greater than suggested</p> <p>The footprint of the building is 740.55 m<sup>2</sup> which is more than double the maximum footprint recommended (360 m<sup>2</sup>). To comply with the Pattern Book, there would have to be two smaller buildings linked together</p> <p>The proposed residential building is one large building although it is articulated with setbacks in the walls to create distinct bays.</p> <p>A mansard roof treatment is used. The proposed building is one level higher than recommended if a Second Empire style is to be used.</p> <p>In an effort to conceal the proposed roof-top solar panels and mechanical equipment some portions of the mansard roof are overly heavy looking, do not reflect authentic 19<sup>th</sup> century proportions and contribute to the building being out of scale with neighbouring buildings.</p> <p>The façade does not exceed 12m without articulation, but does not step back the recommended 2m, the eave heights vary by one storey from the proposed corner tower element and the central bay of the south façade.</p>
<p><b><u>3.1 Architectural Style</u></b></p> <p>- four basic architectural styles are preferred</p> <ul style="list-style-type: none"> <li>• Vernacular/Gothic</li> <li>• Georgian/ Regency</li> <li>• Italianate</li> <li>• Edwardian Classical</li> </ul>	<p>The proposed style is Second Empire which is not a preferred style due to the way in which it is often distorted in modern times from the authentic 19<sup>th</sup> century proportions.</p>

### General Comments

- Staff supports the choice of a complementary, red, clay, Ontario sized brick as the primary exterior cladding of the proposed building;
- Staff supports the separation of commercial and residential uses with the proposed surface parking area, and the underground residential parking and potential to connect to a future underground parking garage to the south;
- Staff supports the interior designation of heritage attributes inside the Stiver House;
- Having reviewed the Unionville Heritage Conservation District Plan, the Official Plan, the Main Street Unionville Community Vision Plan and the draft Unionville Commercial Core Pattern Book, Staff is of the opinion that the following elements of the proposed multi-storey residential building are not supportable at this time for the following reasons:
  - The building is too high, and although only proposed to have four inhabitable storeys, the building approaches the height of an average five storey building in some places due to the double height mansard roofs and the approximately 11 ft. floor to ceiling heights;
  - Staff recommends that the building be no higher than three and one half storeys and would prefer the use of gable roofs as it is the most common historic roof form in Unionville;
  - If a mansard roof approach is used, as per the Pattern Book, the building should be three storeys in height with the third floor being the mansard roof. If the applicant still wishes to pursue four storeys with a mansard roof, the fourth storey should be contained by the authentic proportions of a 19<sup>th</sup> century mansard roof based on Markham examples of the Second Empire style;
  - The massing and scale of the of the building is monolithic rather than being broken up into smaller masses or extensions more similar in scale to the existing heritage buildings on Main Street or the scale and massing of new infill buildings depicted in the Unionville Vision Plan. The massing of the proposed building could be made more compatible through greater variations in the setbacks of adjacent bays and changes in the heights of the roof eaves;
  - The Second Empire style as proposed on the building is not utilized in a way that references the historical precedents of the style found in Markham and Unionville and should be simplified to reflect local 19<sup>th</sup> century detailing and building traditions (wall and window treatment);

- The proposed double height portions of the mansard roof appear too heavy, contribute to an inappropriate scale in comparison to the historic buildings of Unionville and do not follow the patterns of 19<sup>th</sup> century examples found in Markham. In local 19<sup>th</sup> century mansard roof buildings, the floor contained within the roof has a reduced floor area because the interior walls are set back a few feet from the exterior walls to allow the top of the roof to curve in from the exterior walls, this is reflected in the Draft Pattern Book by recommending that the top floor plate be limited to a maximum of 75% of the lower floor plates;
- The location of the proposed multi-storey building precludes the development of any future vehicular or pedestrian connection between the neighbouring properties to the north and south as recommended in the Unionville Vision Plan. Even though the realization of this secondary access may be several years in the future, if the land is not obtained through development, it will never be achieved.

### **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham has no objection from a heritage perspective to the demolition of the modern additions made to the rear of the Stiver House;

THAT Heritage Markham has no objection from a heritage perspective to the proposed form and massing of the one and one half storey new addition to the Stiver House, but recommends simplification of the window treatment;

THAT Heritage Markham recommends the Part IV designation by-law protecting the Stiver House be amended to identify interior architectural features as heritage attributes, including doors and trim work

#### Option 1

THAT the proposed re-development of 206 Main Street Unionville be referred to the Architectural Review Sub-Committee for further review and discussion, and that final comments be provided at the May 2018 meeting of Heritage Markham, after providing the members of the Sub-Committee the opportunity to view the scale model of the proposed development.

Or

#### Option 2

THAT Heritage Markham has the following recommendations from a heritage perspective regarding the proposed multi-residential apartment building:

- That it not exceed three and one half storeys in height;
- That the massing be further articulated by greater modulation of the setbacks of building bays and adjacent eave heights to better reflect the smaller scale of the existing heritage buildings on Main Street;

- That the architectural detailing and materials reflect authentic local 19<sup>th</sup> century examples and building traditions;
- That if the proposed building employs the Second Empire architectural style that the mansard roof follow authentic 19<sup>th</sup> century proportions and patterns of construction and not be double height;
- That the floor to ceiling heights and size of windows be progressively reduced with each additional storey to reflect a traditional hierarchy of living space;

THAT Heritage Markham recommends the planting of native specimen trees both on-site and nearby as part of this redevelopment to help re-establish the village's vegetative cover;

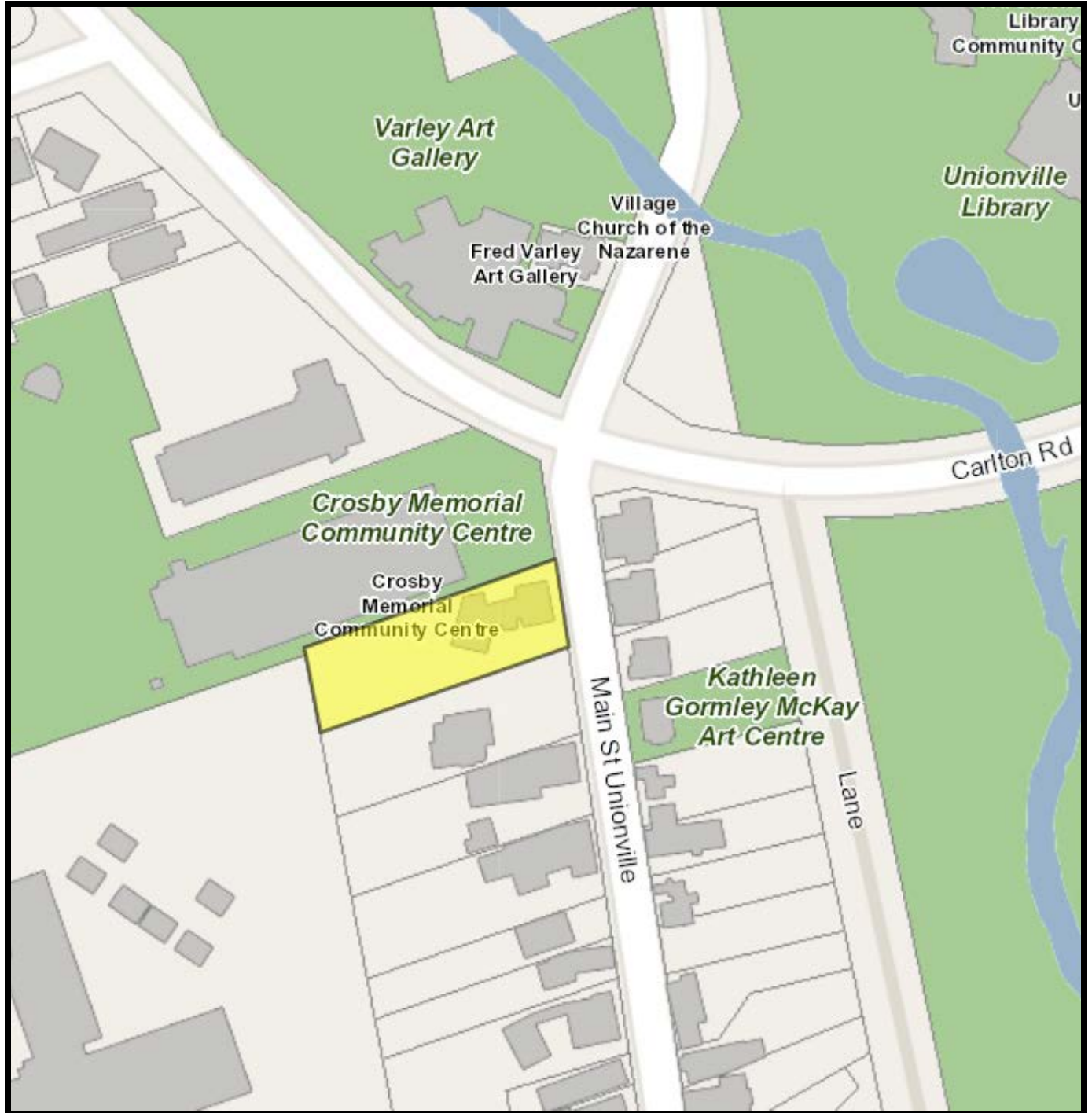
THAT Heritage Markham has no objection to the proposed Zoning By-law amendment to permit a multi-storey residential building not having commercial units on the ground floor, provided it is located at the rear of the property;

THAT Heritage Markham does not support the proposed Official Plan and Zoning By-law amendment to permit buildings greater than two stories high as it relates to the current design of the multi-storey residential building;

File: 206 Main Street Unionville

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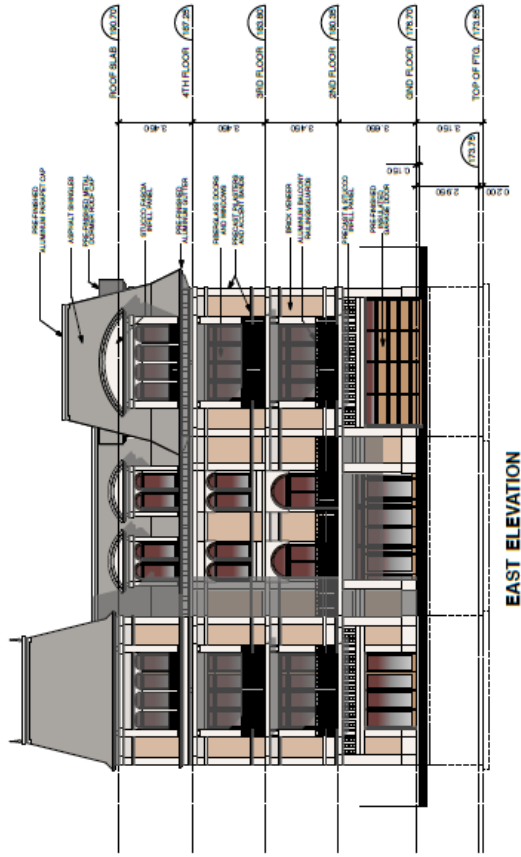
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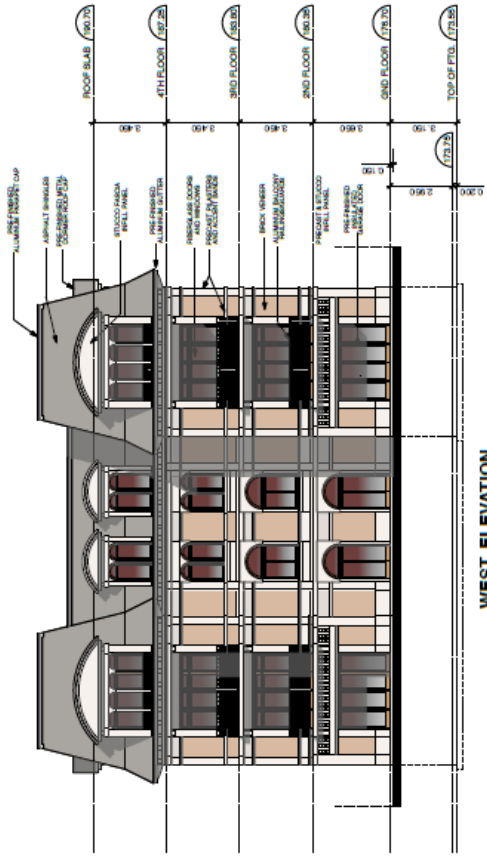
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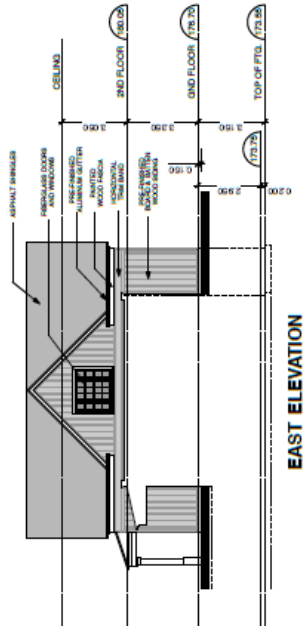




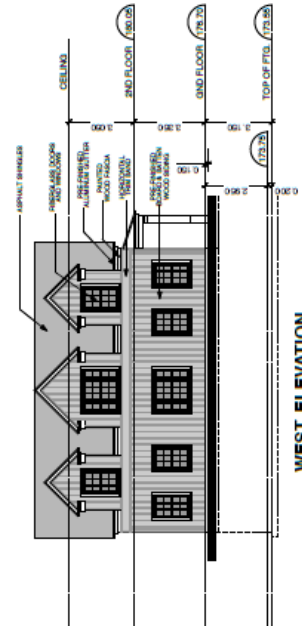
EAST ELEVATION



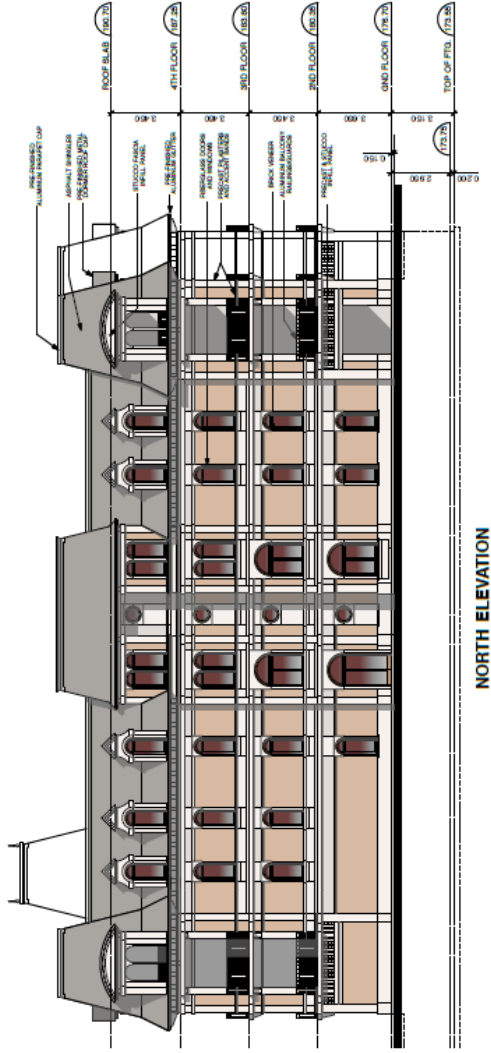
WEST ELEVATION



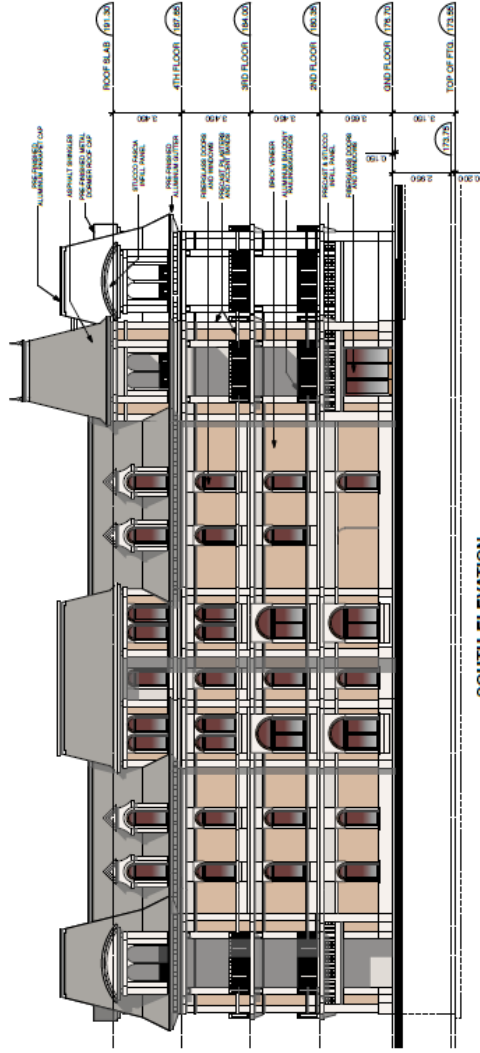
EAST ELEVATION



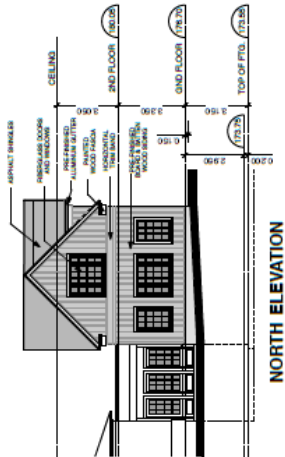
WEST ELEVATION



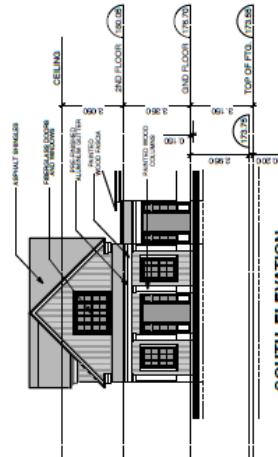
NORTH ELEVATION



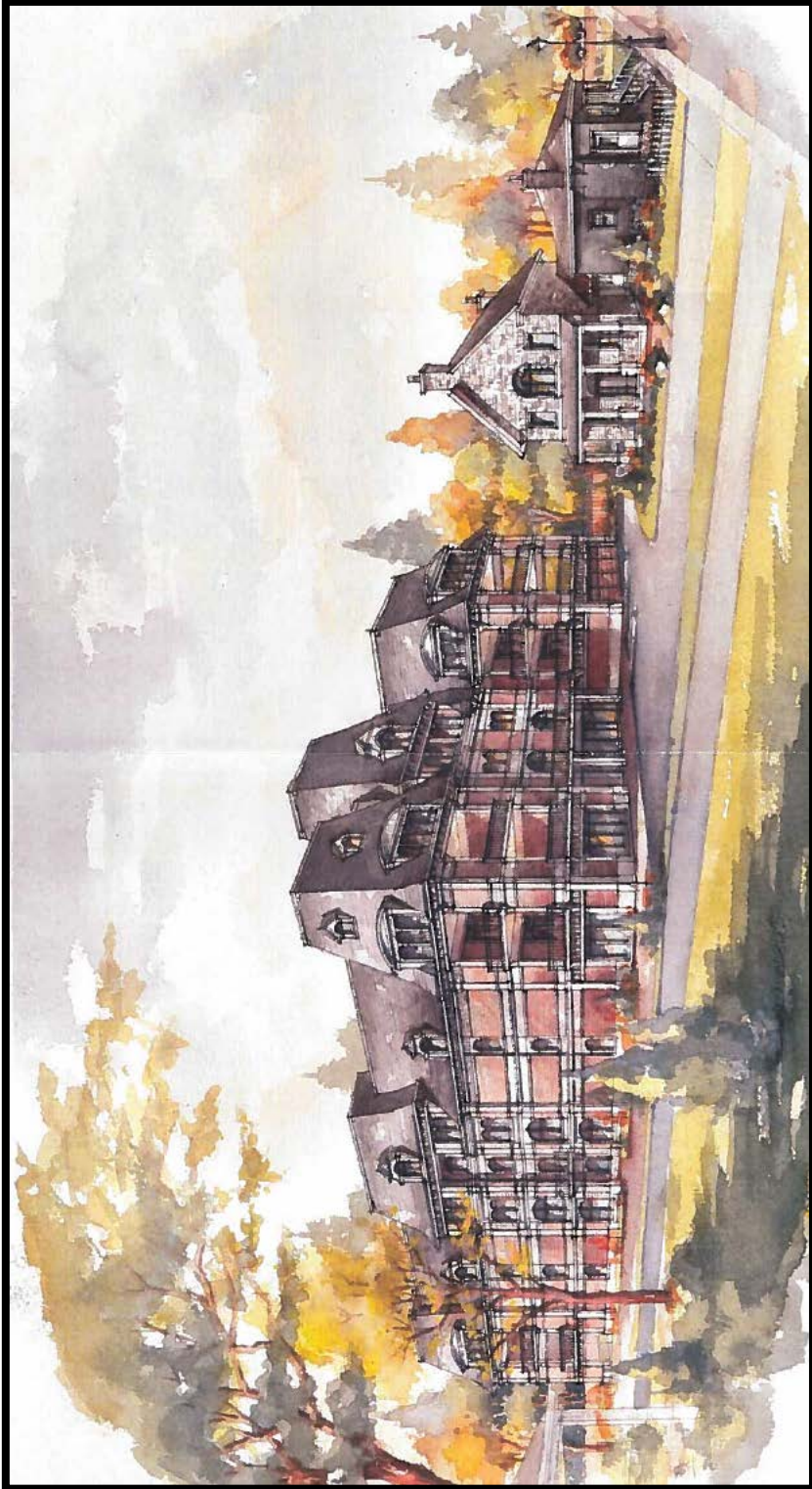
SOUTH ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



ision Plan 2015

MAIN STREET WEST SIDE NORTH



Stiver House Inn



The Stiver House - The small footprint works well as a lobby for an inn. A similar concept, The Victorian Villas in Niagara-on-the-Lake, incorporates a collection of small buildings to form a village-scaled inn on a historic main street.



The Smithy - lobby and front desk for the Victorian Villas



Victorian Villas - Precedent for a new building in a historic style.

VISION PLAN FOCUS AREAS

MAIN STREET WEST SIDE NORTH

Proposed Village Core West Side North Additional Program

Retail	400 S.M.
Condominiums	45 Apt.
Townhouses	10 T.H.
Hotel	30 Rms.
Parking Required	
Retail	20 Sp.
Condominiums	68 Sp.
Townhouses	20 Sp.
Hotel	30 Sp.
<b>Total Parking Required</b>	<b>138 Sp.</b>



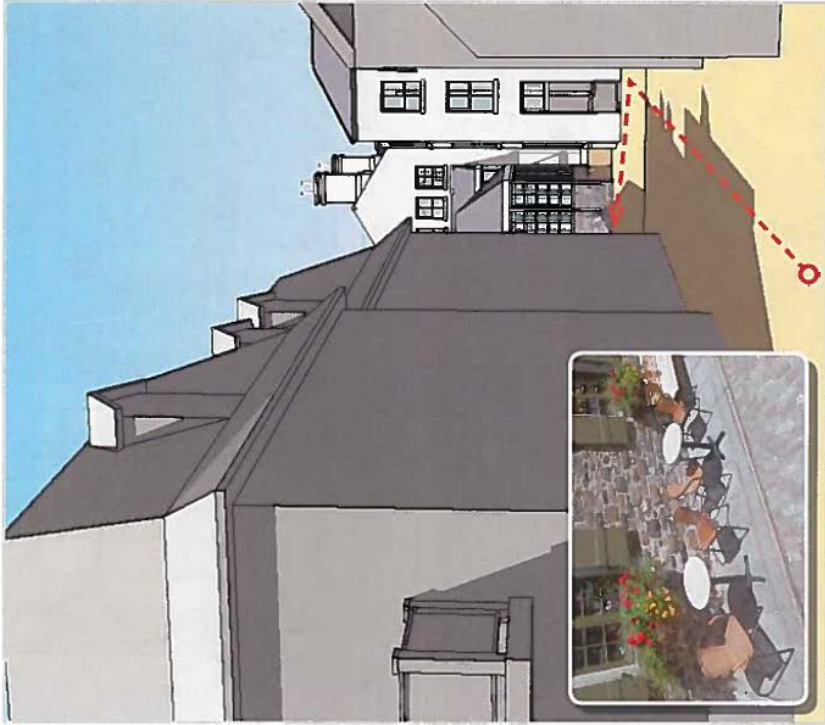
Main Street - West Side Underground Parking

LAND USE DIAGRAM	
[Yellow Box]	Residential
[Red and Yellow Box]	Residential over Retail
[Grey Box]	Existing
[Blue Box]	Hotel



Land Use Plan

MAIN STREET WEST SIDE NORTH



Unionville Lanes - Transforming existing vehicular lanes into intimately scaled pedestrian walkways, mews and passages that lead one deep into the block. Unionville Lanes expand walkability east to west, and provide opportunities for much needed additional patio space and sitting areas off the Main Street in the "nooks and crannies" that further enhance the unique, almost bespoke urbanism of Unionville.

CITY OF MARKHAM  
TORTI GALLAS AND PARTNERS



Vision Plan- typical 3 ½ storey form of intensification



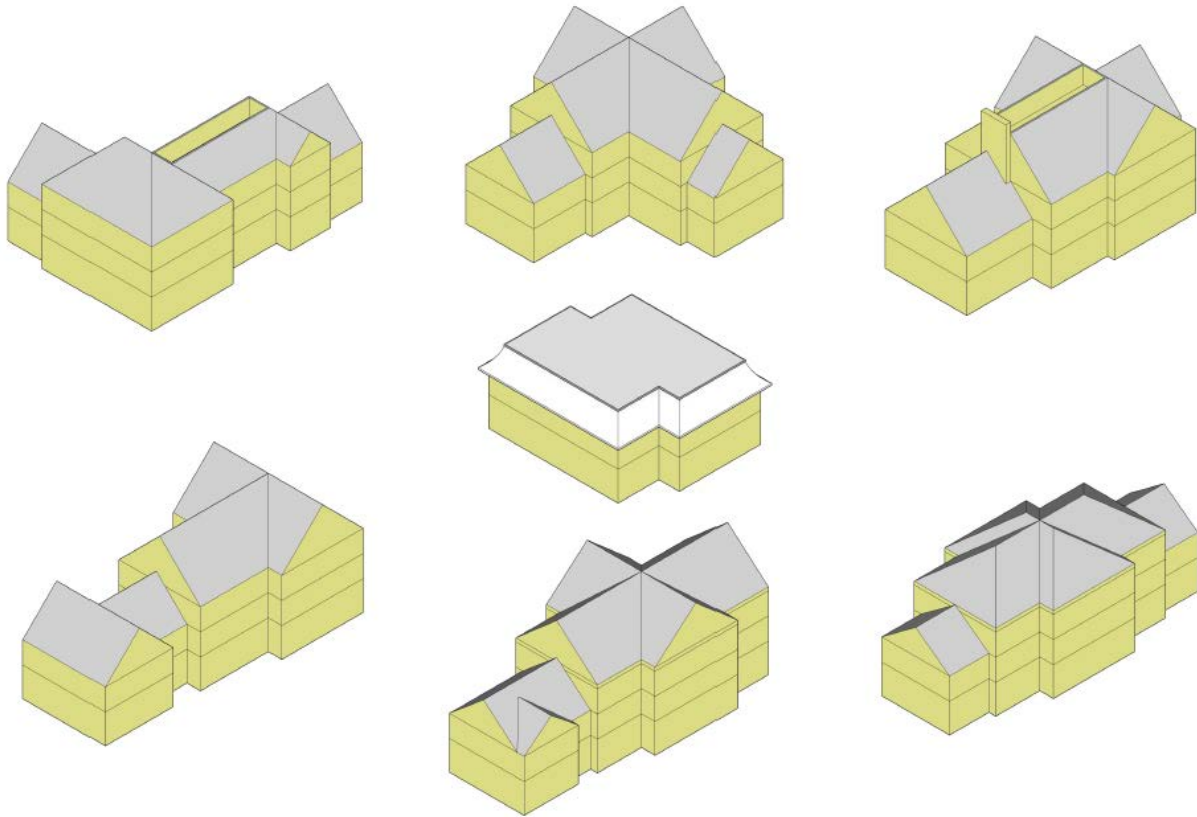
2.10 WEST



ING PLAN

ry		Non-Heritage Buildings, Replaceable
y Boundary		2 Storey Building Height Restriction Line (BHRL-2)
i		2 1/2 Storey Building Height Restriction Line (BHRL-2.5)
to TRCA Constraints		Potential Pedestrian/Vehicular Access
erty (Overlay)		Build-to Lines
	XX -YY%	Build-to Frontage Requirement

Pattern Book – Draft

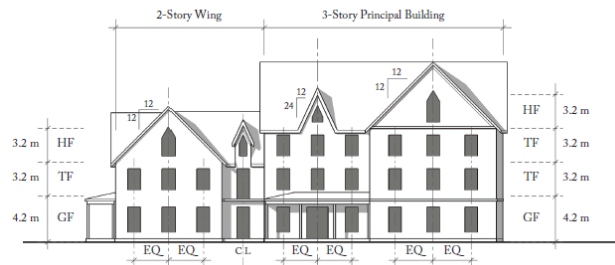


ILLUSTRATIVE BUILDING MASSING: CONFIGURATION AND ROOF-FORMS MAY VARY BY STYLE

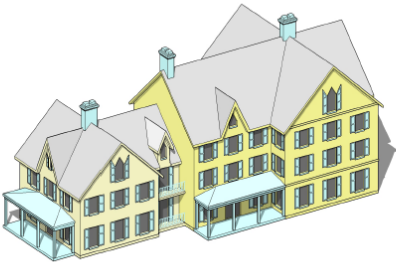
RELATIVE DIMENSIONS AND CONNECTIONS



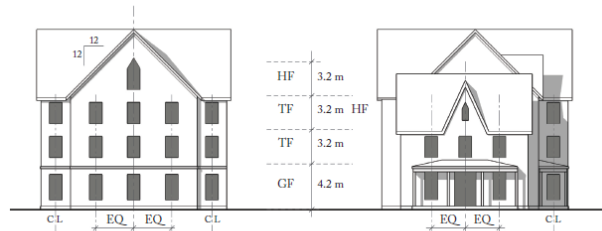
BASIC MASSING AND FENESTRATION PATTERN



PRINCIPAL ELEVATION: COMPOSITION PROPORTIONS



ELEMENTS OF COMPOSITION

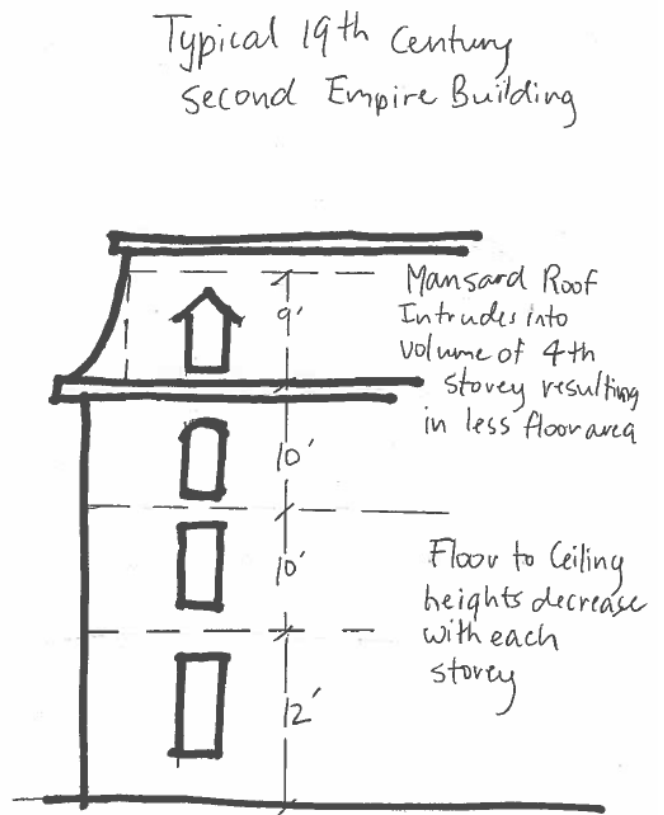
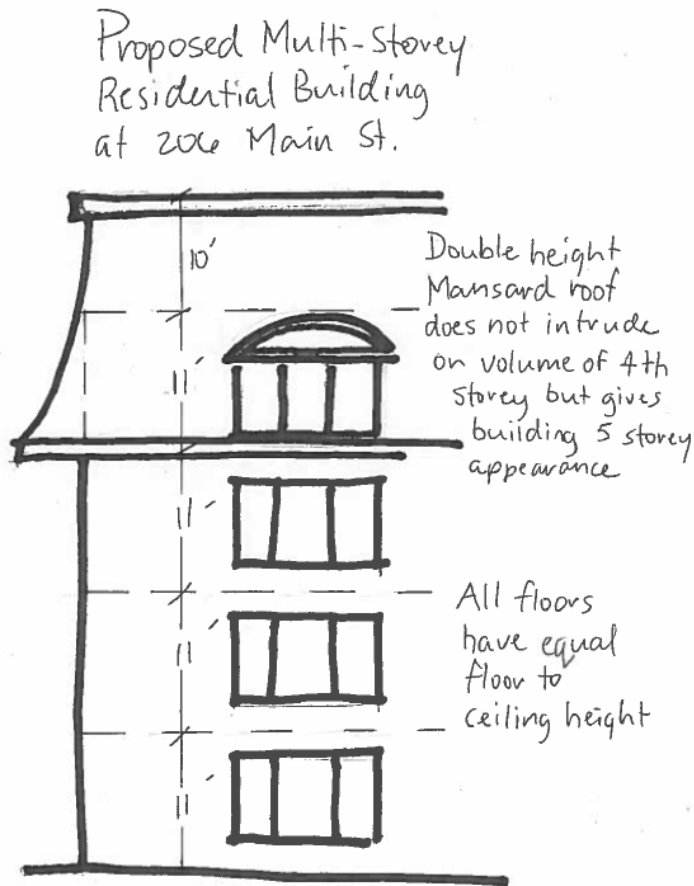


SYMMETRICAL SIDE COMPOSITION

ASYMMETRICAL SIDE COMPOSITION



Comparison of Proposed Building to a 19<sup>th</sup> Century Second Empire Building





## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** George Duncan, Senior Heritage Planner

**DATE:** April 11, 2018

**SUBJECT:** Delegated Approvals  
Heritage Permits Approved by Heritage Section Staff

The following Heritage Permits were approved by Heritage Section staff under the delegated approval process:

Address	Permit Number	Work to be Undertaken
1 Millbrook Gate Buttonville Heritage Conservation District	HE 18 227178	Porch repairs, exterior painting, driveway re-paving.

### Suggested Recommendation for Heritage Markham

THAT Heritage Markham receive the information on heritage permits approved by Heritage Section staff under the delegated approval process

File Path:

Q:\Development\Heritage\SUBJECT\Heritage Permits Monthly Delegated Approvals\2018\April 11 2018.doc



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** George Duncan, Senior Heritage Planner

**DATE:** April 11, 2018

**SUBJECT:** Delegated Approvals  
Building Permits and Sign Permits Approved by Heritage Section Staff

The following Building Permits and Sign Permits were approved by Heritage Section staff under the delegated approval process:

Address	Permit Number	Work to be Undertaken
5965 Highway 7E Markham Village	18 110371 SP	Sign replacement: Esso gas station, re-branding to Circle K Convenience.
10 Beech Street Markham Village	17 161156 HP	Revised detached garage design.
20 Water Street Markham Village	18 110898 NH	Repairs to concrete pad for generator.
380 Main Street N. Markham Village	18 225550 SP	Sign replacement: Esso gas station, re-branding to Circle K Convenience.

### Suggested Recommendation for Heritage Markham

THAT Heritage Markham receive the information on building permits and sign permits approved by Heritage Section staff under the delegated approval process.



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Peter Wokral, Heritage Planner

**DATE:** April 11, 2018

**SUBJECT: Variance Application**  
 18 David Gohn Circle, Markham Heritage Estates  
 Proposed Second Residential Unit in an Existing Garage/Accessory Building  
 A/34/18

---

**Property/Building Description:** 1-1/2 storey relocated heritage dwelling constructed c. 1871  
**Use:** Residential  
**Heritage Status:** Designated under Part IV of the Ontario Heritage Act

### **Application/Proposal**

- The Committee of Adjustment has received a variance application seeking permission to convert the second storey of an existing detached garage/accessory building into a second residential unit on the property;
- The variances requested are to permit:
  - a dwelling unit (coach house) within the existing detached garage, whereas an accessory building is not permitted to be used for human habitation.
  - two dwelling units on the lands, whereas only one detached dwelling is permitted within a relocated building of architectural and/or historic interest on the lands.
- The ground floor of the existing accessory building is proposed to remain in use as a garage and storage area;

### **Background**

- The detached garage accessory building was constructed in 2011 and required as variance to permit a gross floor area 20m<sup>2</sup> larger than what was permitted by the Zoning By-law;

### **Staff Comment**

- Since the proposed conversion of the second floor of the existing accessory building at 18 David Gohn Circle has no impacts on the exterior of a building that has already been reviewed and approved by Heritage Markham, or the aesthetics of Markham Heritage

Estates, staff recommends that Heritage Markham has no comment on the requested variances;

- This does not necessarily mean that the proposed second residential unit is supported by the City's Planning staff.

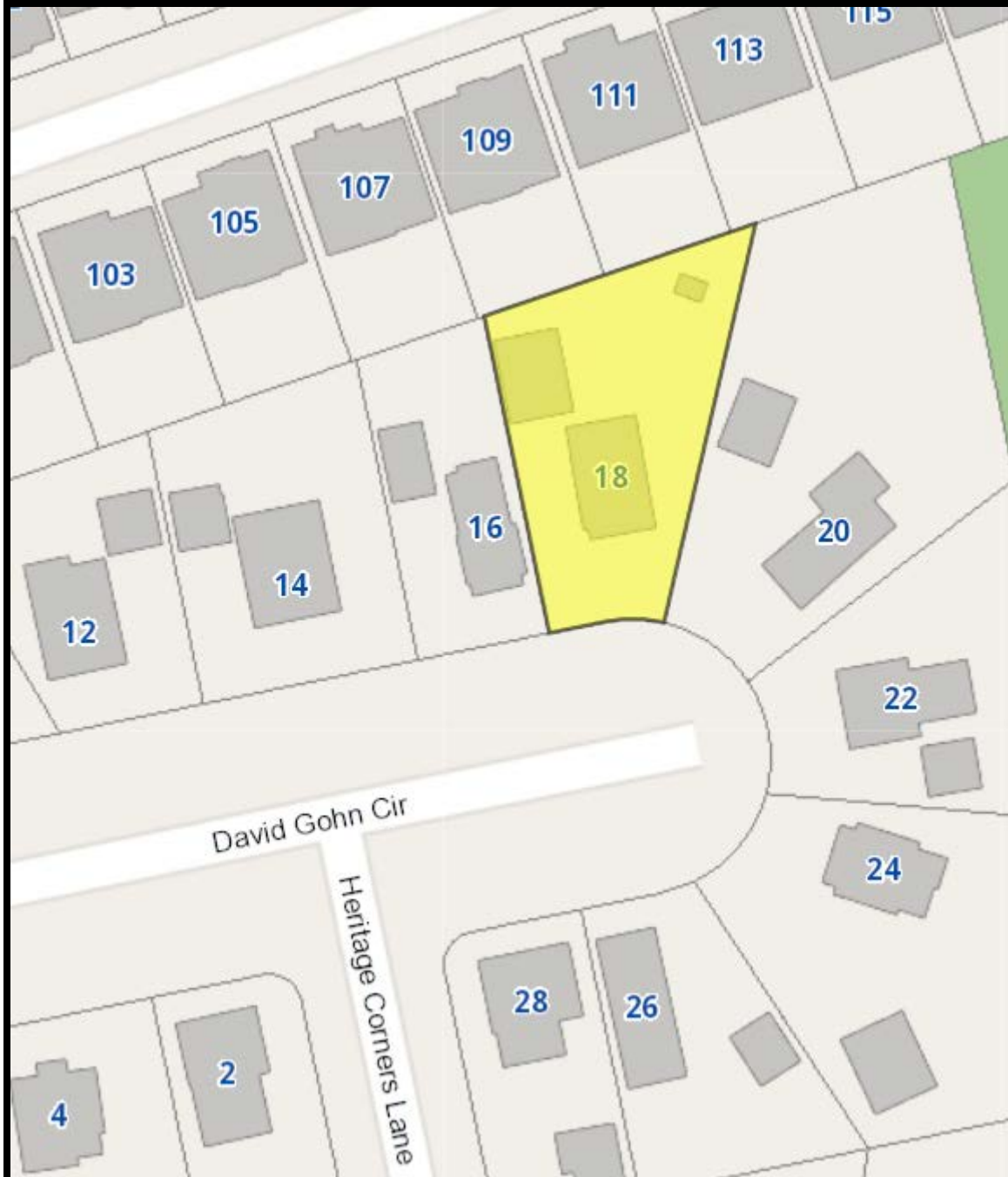
### **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham has no comment from a heritage perspective on the requested variance to permit the conversion of the second storey of the existing detached garage/accessory building in to second residential unit at 18 David Gohn Circle in Markham Heritage Estates.

File: 18 David Gohn Circle

Q:\Development\Heritage\PROPERTY\DAVDGOHN\18\Heritage Markham Memo April 2018.doc

18 David Gohn Circle,  
Markham Heritage Estates



18 David Gohn Circle  
Markham Heritage Estates



TOPOGRAPHIC SURVEY OF  
LOT 22  
REGISTERED PLAN 65M-2761  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK

SCALE 1:250

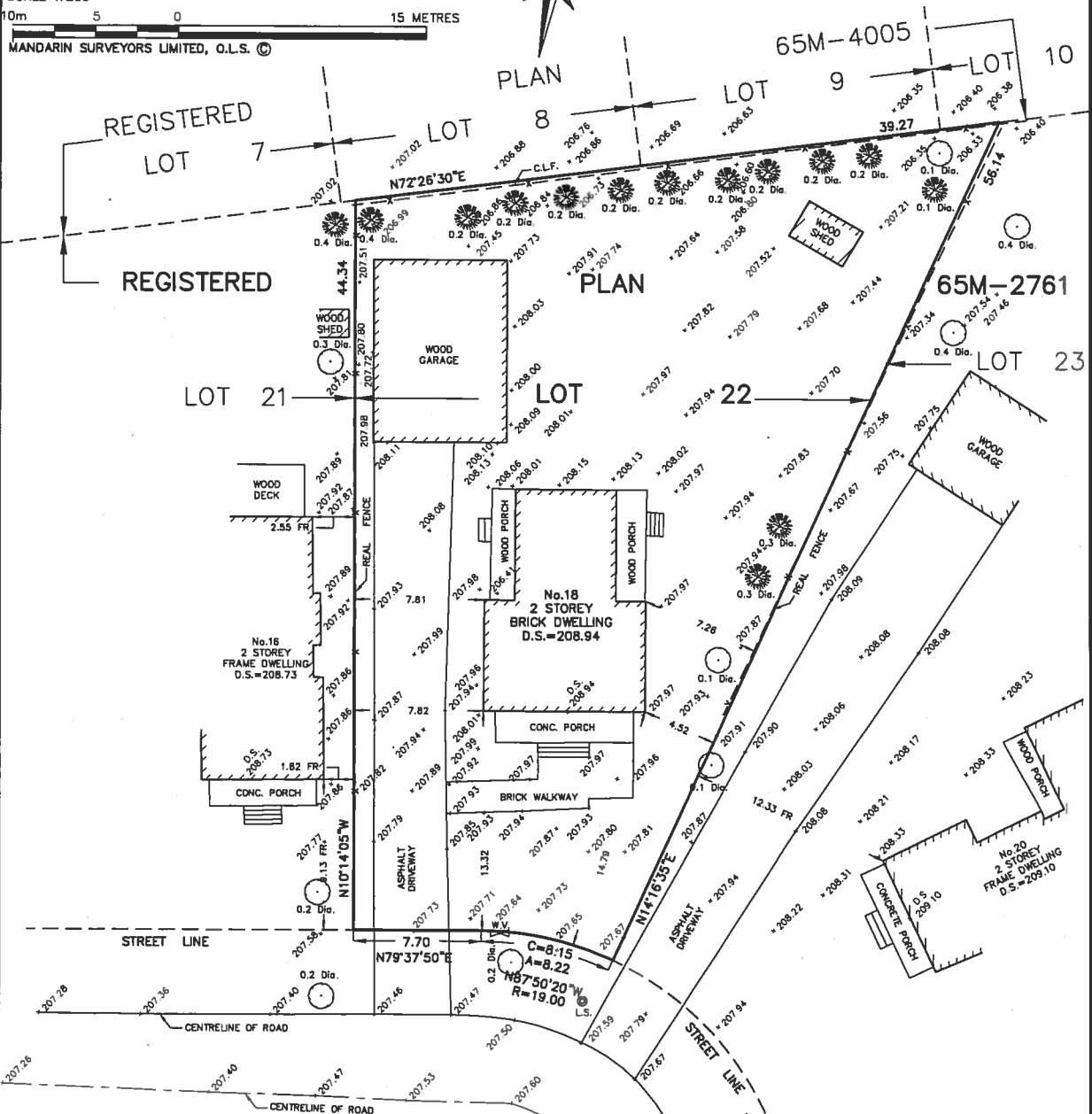


MANDARIN SURVEYORS LIMITED, O.L.S. ©



**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE  
CONVERTED TO FEET BY DIVIDING BY 0.3048

**CAUTION**  
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR  
MORTGAGE OR TRANSACTION PURPOSES.



**DAVID GOHN CIRCLE**  
(BY REGISTERED PLAN 65M-2761)

- LEGEND**
- PIN DENOTES PROPERTY IDENTIFIER NUMBER
  - D.S. DENOTES FINISHED SILL ELEVATION AT ENTRY
  - N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
  - C.L.F. DENOTES CHAIN LINK FENCE
  - R.F. DENOTES REAL FENCE
  - FR DENOTES TIE TO FRAME
  - U.P. DENOTES UTILITY POLE
  - L.S. DENOTES LIGHT STANDARD
  - W.V. DENOTES WATER VALVE
  - M.H. DENOTES MAN HOLE
  - C.B. DENOTES CATCH BASIN
  - (Tree symbol) DENOTES CONIFEROUS TREE
  - (Tree symbol) DENOTES DECIDUOUS TREE

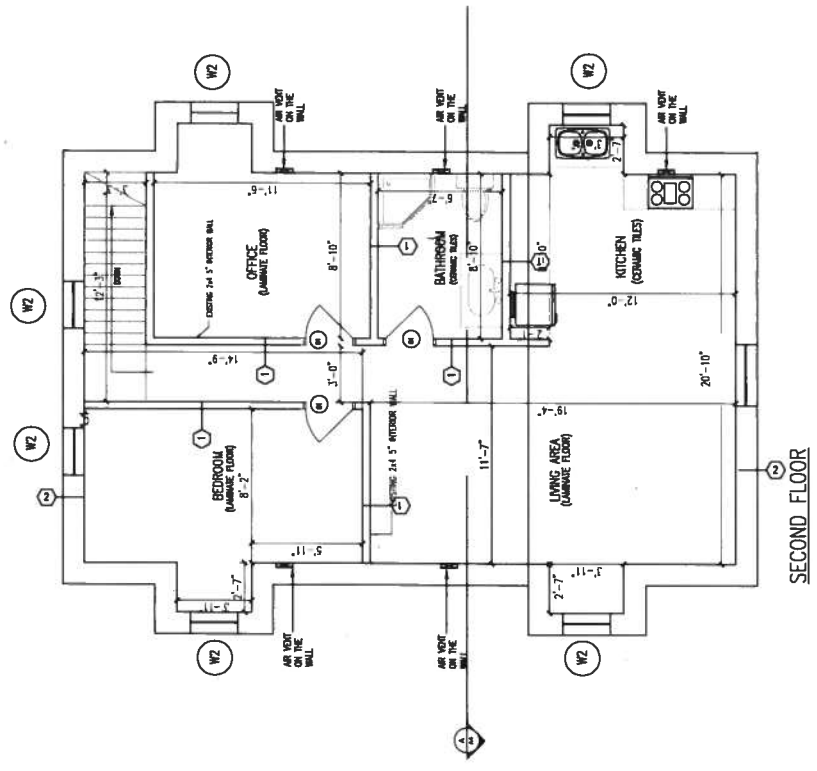
**BENCHMARK NOTE**  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY OF MARKHAM BENCHMARK No.092053009, HAVING AN ELEVATION OF 209.859 METRES. BRASS TABLET SET IN CONCRETE SIDEWALK AT THE NORTHWEST CORNER OF THE INTERSECTION OF MONKHOUSE ROAD AND SPENCER AVENUE, BEING 6.9m NORTH FROM THE CENTRELINE OF PAVEMENT OF MONKHOUSE ROAD AND 8.8m WEST FROM THE CENTRELINE OF PAVEMENT OF SPENCER AVENUE.

**CERTIFICATE**  
THE FIELD OBSERVATIONS REPRESENTED ON THIS PLAN WERE COMPLETED  
ON THE 12<sup>th</sup> DAY OF FEBRUARY, 2018

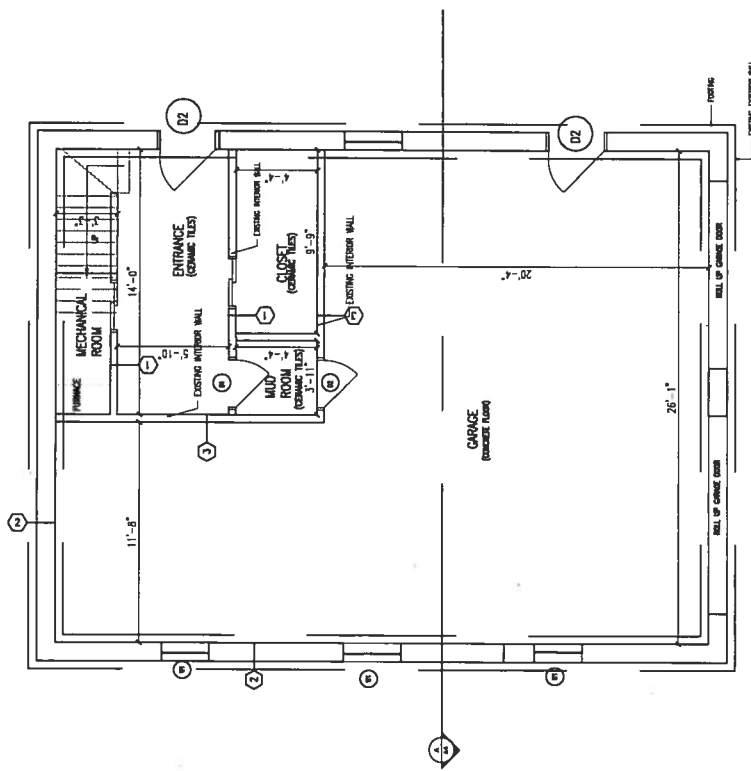
MARCH 7, 2018  
DATE  
Z. ZENG  
ONTARIO LAND SURVEYOR

**MANDARIN SURVEYORS LIMITED**  
ONTARIO LAND SURVEYOR CANADA LANDS SURVEYOR  
WWW.MANDARINSURVEYOR.COM  
2400 MIDLAND AVENUE #121 PHONE: (647)430-1366 FAX: (647)799-4068  
TORONTO, ONTARIO, M1S 1X7 E-MAIL: MANDARINSURVEYOR@GMAIL.COM

SURVEY BY: S.Z. CAD No: 18-024TP JOB No: 2018-024



SECOND FLOOR



FIRST FLOOR

**EDWARD WONG & ASSOCIATES INC.**  
 441 CHINA PARK DR. UNIT 115, MARKHAM, ON L3R 1W7  
 TEL: (416) 941-4228  
 E-MAIL: EDWARD@EDWONGARCH.COM  
 WWW.EDWONGARCH.COM

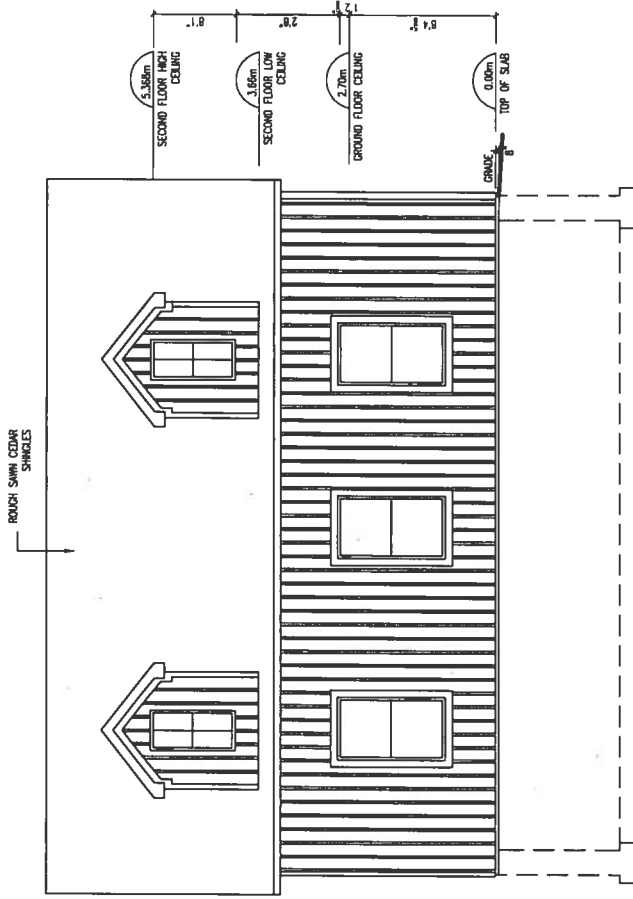
NO.	REVISION	DATE

**GENERAL NOTES:**  
 1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
 2. FINISHES TO BE USED AS SHOWN ON DRAWINGS UNLESS OTHERWISE SPECIFIED.  
 3. DO NOT SCALE DIMENSIONS.

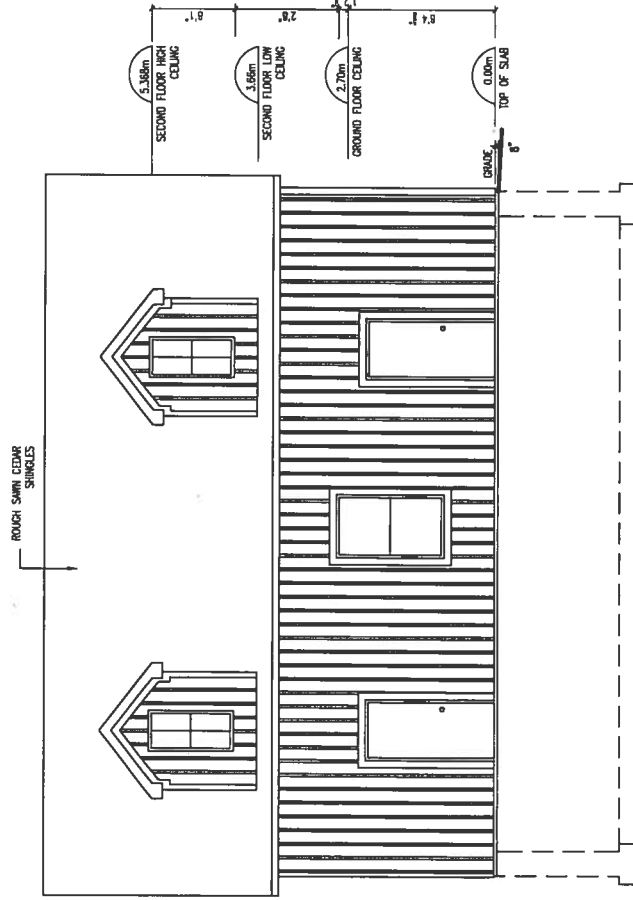
**PROJECT:**  
 CHANGE OF USE PERMIT  
 18 DAVID GOHRN CIRCLE  
 MARKHAM, ONTARIO

**DRAWING:**  
 FIRST AND SECOND LEVEL  
 FLOOR PLAN  
 18 DAVID GOHRN CIRCLE MARKHAM  
 PROJECT NO.: 17000113  
 DATE: 14 NOV 2017  
 SCALE: 1/75






WEST ELEVATION



EAST ELEVATION

 <b>EDWARD WONG &amp; ASSOCIATES INC.</b> 441 ESNA PARK DR. UNIT 118, MARKHAM, ON L3R 1H7 TEL: (416) 943-4288 F: (416) 943-4288 WWW.EDWARDWONGANDASSOCIATES.COM		<b>PROJECT:</b> CHANGE OF USE PERMIT 18 DAVID GOHRN CIRCLE MARKHAM, ONTARIO	
<b>GENERAL NOTES:</b> CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE BEFORE PROCEEDING WITH CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. DO NOT SCALE DRAWINGS		<b>DRAWING:</b> EAST AND WEST ELEVATION 18 DAVID GOHRN CIRCLE MARKHAM	
DATE: _____ DRAWN BY: _____ CHECKED BY: _____ DATE: 14 NOV 2017 SCALE: 1/75		<b>PROJECT NO.:</b> TRM2017.134 <b>DATE:</b> 14 NOV 2017 <b>SCALE:</b> 1/75	



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** George Duncan, Senior Heritage Planner

**DATE:** April 11, 2018

**SUBJECT:** SITE PLAN CONTROL APPLICATION SC 14 114082  
 New Single Detached Dwelling and Garage  
 Applicant Request for Cladding Changes  
 19 Maple Lane  
 Unionville Heritage Conservation District

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### **Property/Building Description:**

- Two storey dwelling currently under construction, built upon a portion of the foundation of a 1950s bungalow (Class C) on the subject property.

### **Use:**

- Residential.

### **Heritage Status:**

- A Class C (Infill Construction) building within the Unionville Heritage Conservation District.

### **Application/Proposal:**

- The applicant has requested to change the main exterior cladding from horizontal siding to brick. Secondary cladding is requested to be changed from horizontal siding to vertical board and batten.

### **Background:**

- This re-building of an older dwelling to essentially create a new infill house was approved in January of 2015.
- The site plan agreement includes references to the approved drawings. The elevations as approved in 2015 are attached.
- The project received a building permit in January of 2015 and construction has been on-going.

- The applicant has requested that most of the house be clad in brick instead of the horizontal Hardie Plank cladding originally proposed. Secondary areas are proposed to be clad in vertical board and batten siding.
- Revised elevations are attached, illustrating the proposed change of materials and their placement on the building.

**Staff Comment:**

- Staff has brought the applicant's request for the change in cladding material to Heritage Markham due to the change in character that will result from this alteration to the approved elevations, different from what Heritage Markham reviewed and supported in 2014.
- Brick and board and batten siding are recommended materials in the Unionville Heritage Conservation District Plan and appears appropriate to the Maple Lane context, which contains mainly mid to late 20<sup>th</sup> century dwellings, except for the former Eckardt farmhouse at the termination of the street.
- The substitution of the cladding materials and revised building elevations, if supported, will require an amendment to the site plan agreement, which the applicant will need to apply for before proceeding. The building permit may also require a revision.
- The District Plan recommends brick be Ontario size in a colour and texture that reflects local historic brick found in the area. Wood is the recommended material for board and batten, however Hardie Plank can be supported if it has a traditional profile and wood-like appearance.

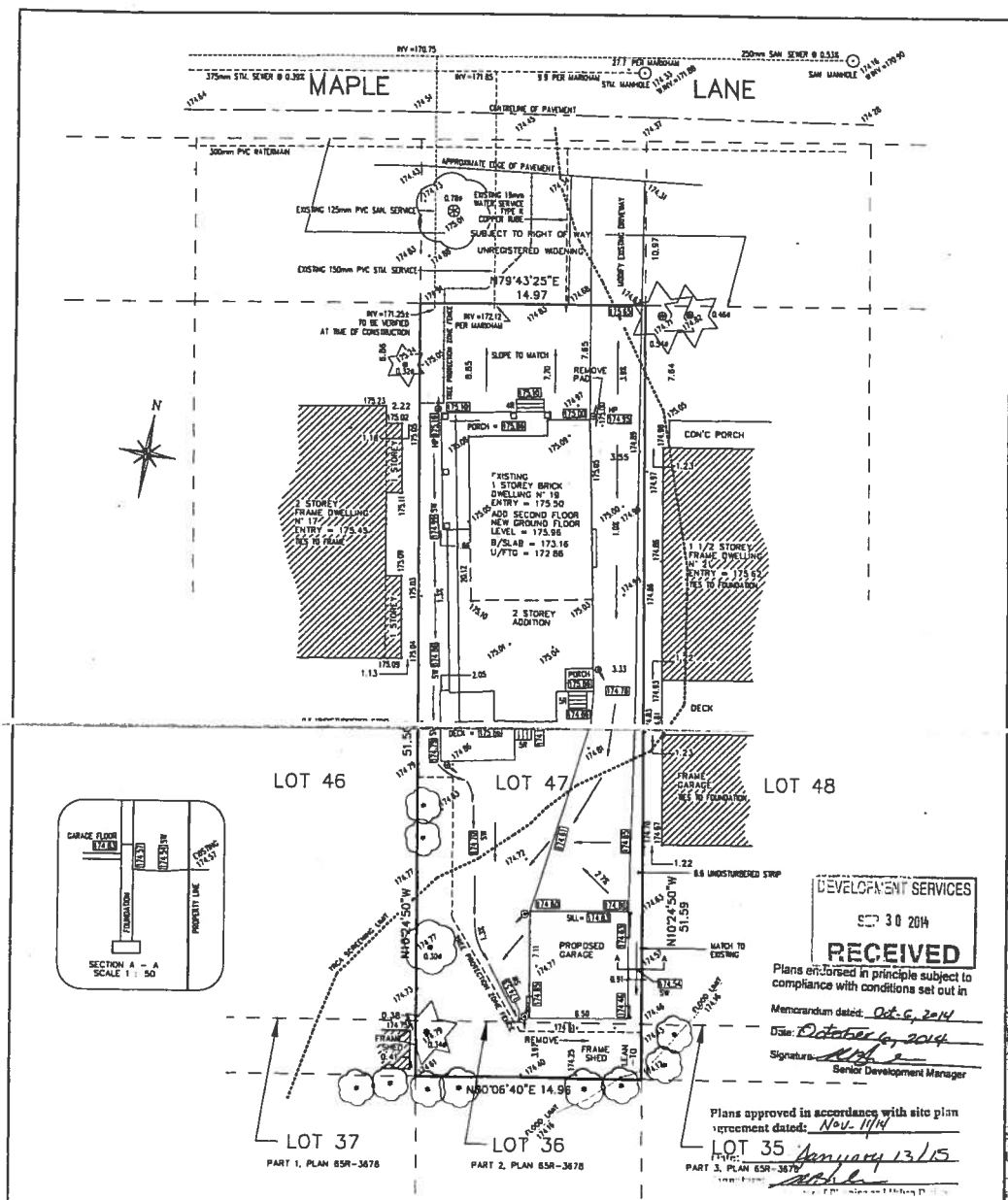
**Suggested Heritage Markham Recommendation:**

THAT Heritage Markham supports the change in cladding materials for the house under construction at 19 Maple Lane subject to the applicant obtaining an amendment to the site plan agreement to substitute the revised elevations, and the proposed brick and board and batten siding be reviewed and approved by City (Heritage Section) staff prior to ordering and installation;

AND THAT the applicant contact the Building Department to determine if a revision to the original building permit is required prior to proceeding with construction.

File:

Q:\Development\Heritage\PROPERTY\MAPLELN\19\HMApril 11 2018.doc



DEVELOPMENT SERVICES  
 30 2014  
**RECEIVED**

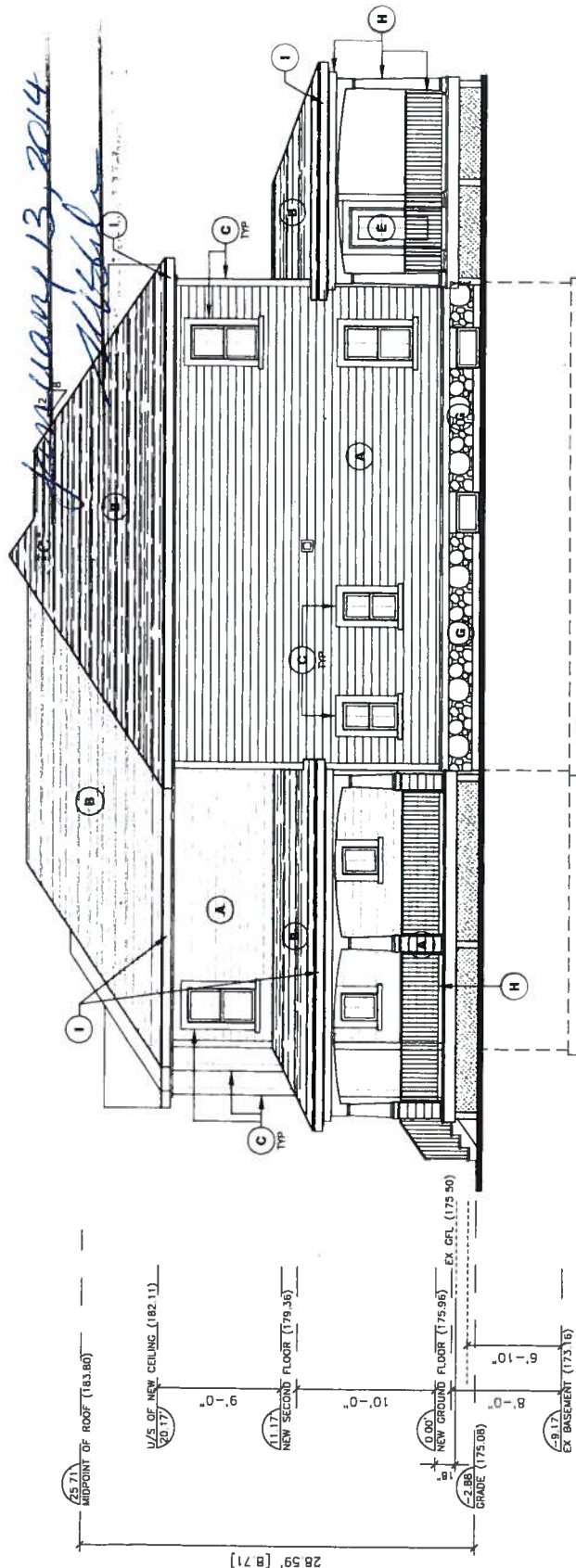
Plans enforced in principle subject to compliance with conditions set out in  
 Memorandum dated: Oct 6, 2014  
 Date: October 6, 2014  
 Signature: [Signature]  
 Senior Development Manager

Plans approved in accordance with site plan agreement dated: Nov. 11/14  
 LOT 35 January 13/15  
 Part 3, Plan ESR-3679  
 [Signature]

<p><b>SITE GRADING PLAN</b>          LOCATION: 19 MAPLE LANE          CITY FILE: SC14114082  <b>PARTS OF LOTS 36 &amp; 47</b>  <b>REGISTERED PLAN 401</b>          CITY OF MARKHAM          REGIONAL MUNICIPALITY OF YORK          SCALE 1 : 200          E.W. BOWYER B.Sc., O.L.S.</p> <p><b>CAUTION</b>          UNDERGROUND AND UNDERGROUND SERVICES AND UTILITIES ARE NOT LOCATED ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY WORK AND BE LIABLE FOR ANY DAMAGE TO THEM. THE CONTRACTOR MUST SATISFY THEMSELVES OF POSITIVE FLOW TO THE SANITARY SEWER.</p>	<p><b>SITE STATISTICS</b>          PROPERTY AREA 771.39 sq.m.          HOUSE + GARAGE FOOTPRINT AREA 209.88 sq.m.</p> <p><b>BENCHMARK</b>          ELEVATIONS ARE REFERRED TO BM M-21-03          ELEVATION = 175.822</p> <p><b>LEGEND</b>          [Symbol] DENOTES PROPOSED ELEVATION          [Symbol] DENOTES EXISTING ELEVATION          [Symbol] DENOTES FLOW DIRECTION          [Symbol] DENOTES DECIDUOUS/CONIFEROUS TREE          [Symbol] DENOTES RAIN WATER LEADER</p>	<p><b>NOTE</b>          THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS SHALL BE IN ACCORDANCE WITH THE PROPOSED GRADING AND DRAINAGE PLAN AND THE PROPOSED GRADING AND DRAINAGE PLAN SHALL BE IN ACCORDANCE WITH THE PROPOSED GRADING AND DRAINAGE PLAN.          IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY WORK AND BE LIABLE FOR ANY DAMAGE TO THEM. THE CONTRACTOR MUST SATISFY THEMSELVES OF POSITIVE FLOW TO THE SANITARY SEWER.          CONTACT WATER WORKS TO CONFIRM SEWER AND WATER SERVICE LOCATIONS          JOHN LAW 905-477-7000 EXT 2618          OWNER IS RESPONSIBLE FOR ALL COSTS RELATED TO THE LOCATION OF AND/OR REPAIRS OF ANY UTILITIES DURING CONSTRUCTION OF UNDERGROUND SERVICES (WATER, STORM &amp; SANITARY SEWERS).          OWNER IS RESPONSIBLE TO SLEEP, SCRAP, FLUSH AND OTHERWISE CLEAN TO REMOVE DIRT FROM THE ROAD ADJACENT THE CONSTRUCTION SITE.</p> <p>FOR STANDARD NOTES SEE CITY OF MARKHAM ENGINEERING DEPARTMENT DRAWING M.L.I.</p>	<p><b>ISSUED</b>          THIS PLAN WAS COMPLETED ON 6 JUNE 2014.</p> <p>REVISED: 25 SEPTEMBER 2014          REVISED: 11 AUGUST 2014          REVISED: 23 JULY 2014          REVISED: 10 JUNE 2014          6 JUNE 2014</p> <p>DATE: [Signature]          E.W. BOWYER B.Sc., O.L.S.</p> <p><b>E. W. BOWYER INC.</b>          ONTARIO LAND SURVEYORS          LAND DEVELOPMENT CONSULTANTS          1000 SHEPPARD AVENUE EAST, SUITE 208          MARKHAM, ONTARIO L3R 9V3          TELEPHONE: (905) 947-8800          FACSIMILE: (905) 947-8800</p>
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-Original Approval 2015-

THIS APPROVAL IS VALID ONLY FOR THE WORK SHOWN  
 Agreement dated: Nov. 11/14

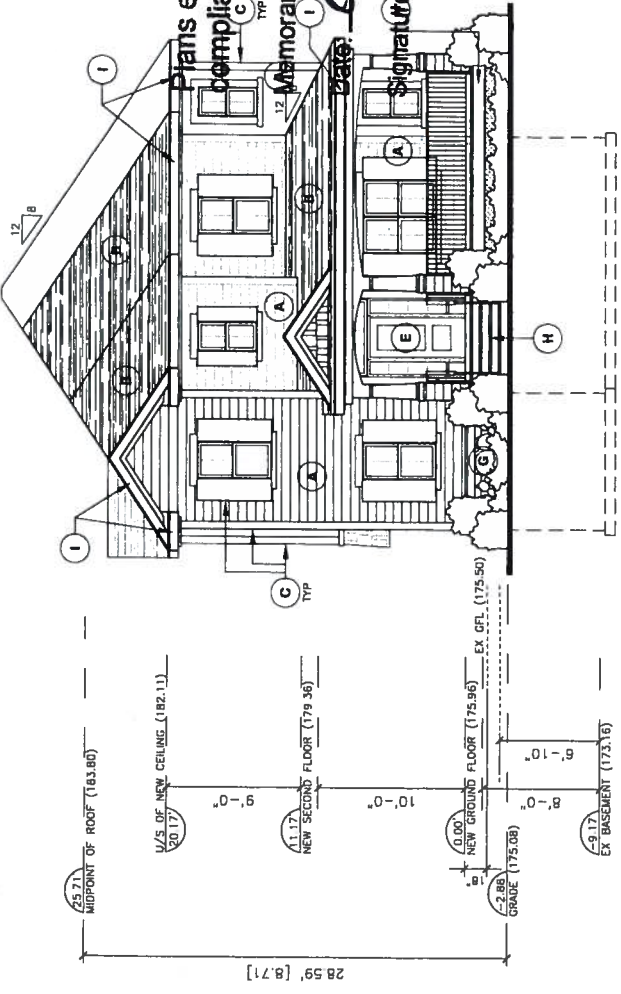


ELEVATIONS

ADDITIONS & RENOVATIONS AT  
 19 MAPLE LANE  
 MARKHAM, ONTARIO

TREVOR GAIN & ASSOCIATES  
 ARCHITECTS & CONSULTANTS  
 416-522-2224 925-229-1505 (fax)  
 trevor@gain2002.com

WEST ELEVATION  
 SCALE: 1/8"=1'-0"



NORTH ELEVATION  
 SCALE: 1/8"=1'-0"

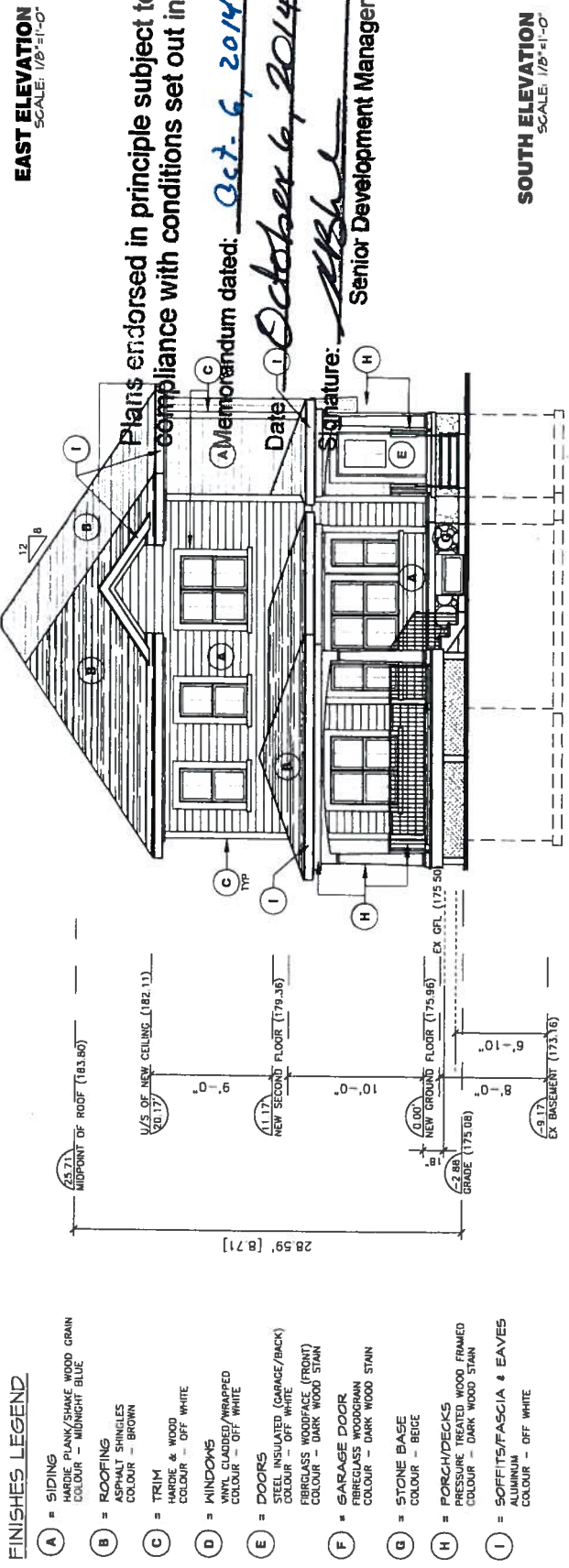
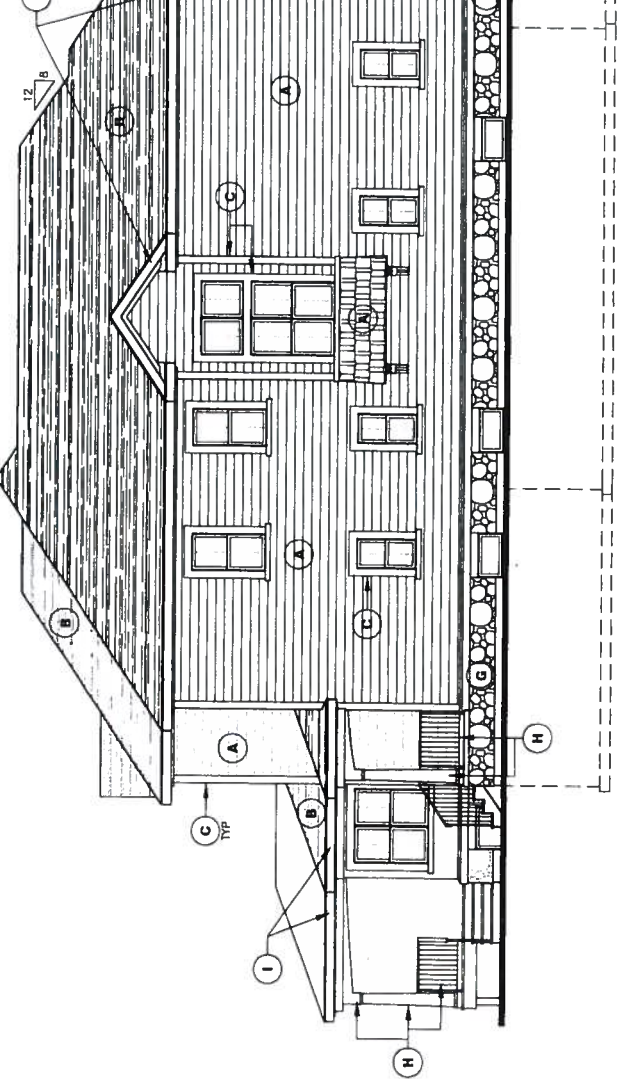
FINISHES LEGEND

- A = SIDING  
 HARDIE PLANK/SHAKE WOOD GRAIN  
 COLOUR - MIDNIGHT BLUE
- B = ROOFING  
 ASPHALT SHINGLES  
 COLOUR - BROWN
- C = TRIM  
 HARDIE & WOOD  
 COLOUR - OFF WHITE
- D = WINDOWS  
 VINYL CLADDED/WRAPPED  
 COLOUR - OFF WHITE
- E = DOORS  
 FIBREGLASS WOODGRAIN (FRONT)  
 FIBREGLASS WOODGRAIN (GARAGE/BACK)  
 COLOUR - DARK WOOD STAIN
- F = GARAGE DOOR  
 FIBREGLASS WOODGRAIN  
 COLOUR - DARK WOOD STAIN
- G = STONE BASE  
 COLOUR - BEIGE
- H = PORCH/DECKS  
 PRESSURE TREATED WOOD FRAMED  
 COLOUR - DARK WOOD STAIN
- I = SOFFITS/FASCIA & EAVES  
 ALUMINUM  
 COLOUR - OFF WHITE

Plans endorsed in principle subject to  
 compliance with conditions set out in  
 Memorandum dated: Oct. 6, 2014  
 Date: October 6, 2014  
 Signature: [Signature]  
 Senior Development Manager

APPROVED FOR SUBMITTAL WITH THE FOLLOWING COMMENT DATED: Nov. 11/14

DATE: January 13, 2015  
 Signature: [Handwritten Signature]



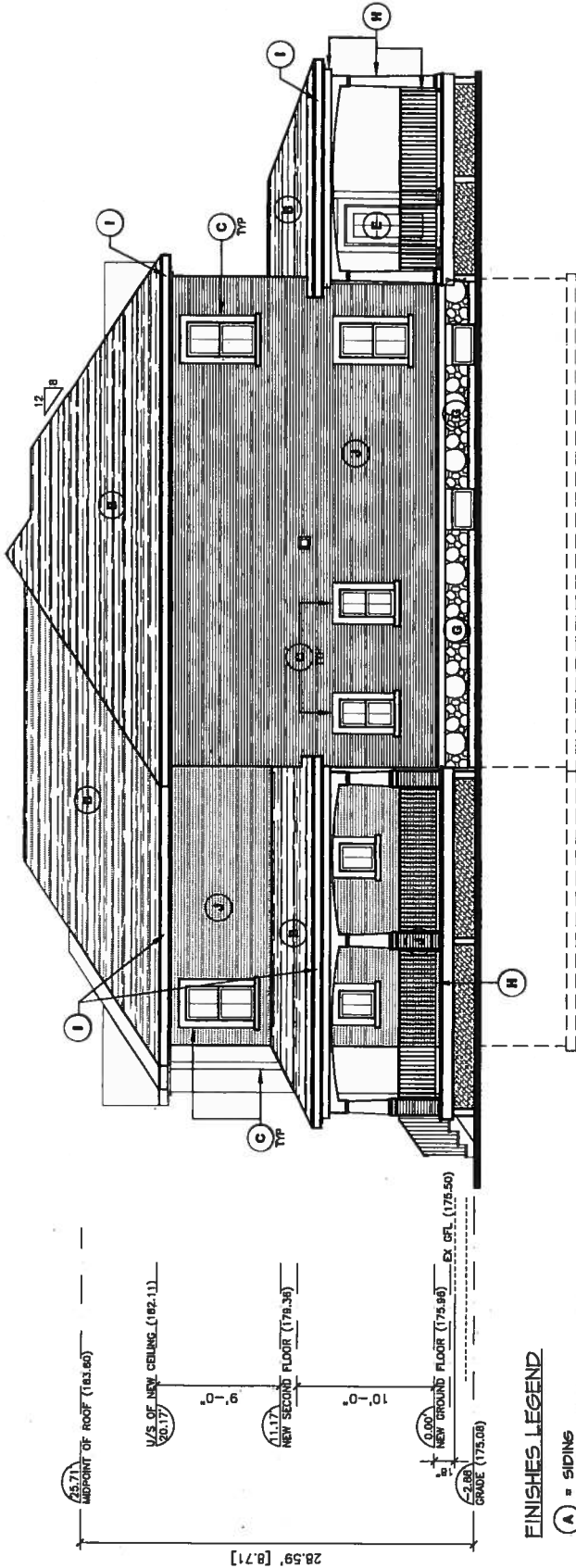
- FINISHES LEGEND**
- A = SIDING: PLANK SHAKE, WOOD GRAIN COLOUR - MIDNIGHT BLUE
  - B = ROOFING: ASPHALT SHINGLES COLOUR - BROWN
  - C = TRIM: HARDIE & WOOD COLOUR - OFF WHITE
  - D = WINDOWS: VINYL CLADDED/WRAPPED COLOUR - OFF WHITE
  - E = DOORS: STEEL INSULATED (GARAGE/BACK) COLOUR - OFF WHITE; FIBREGLASS WOODFACE (FRONT) COLOUR - DARK WOOD STAIN
  - F = GARAGE DOOR: FIBREGLASS WOODGRAIN COLOUR - DARK WOOD STAIN
  - G = STONE BASE COLOUR - BEIGE
  - H = PORCH/DECKS: PRESSURE TREATED WOOD FRAMED COLOUR - DARK WOOD STAIN
  - I = SOFFITS/FASCIA & EAVES: ALUMINUM COLOUR - OFF WHITE

**EAST ELEVATION**  
 SCALE: 1/8"=1'-0"

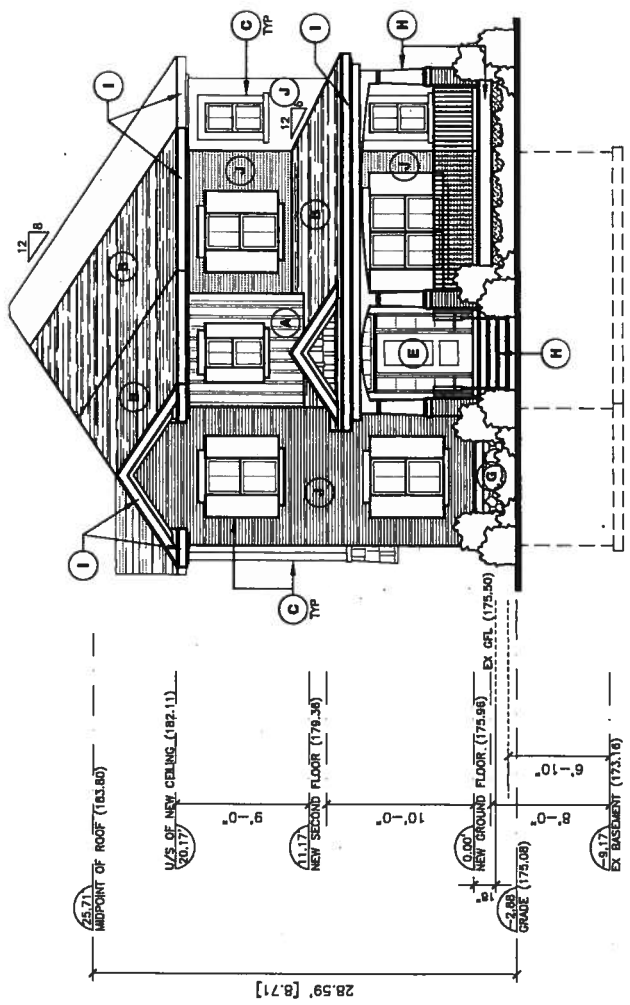
**SOUTH ELEVATION**  
 SCALE: 1/8"=1'-0"

Plans endorsed in principle subject to compliance with conditions set out in Memorandum dated: Oct. 6, 2014  
 Date: October 6, 2014  
 Signature: [Handwritten Signature] Senior Development Manager





WEST ELEVATION  
SCALE: 1/8"=1'-0"

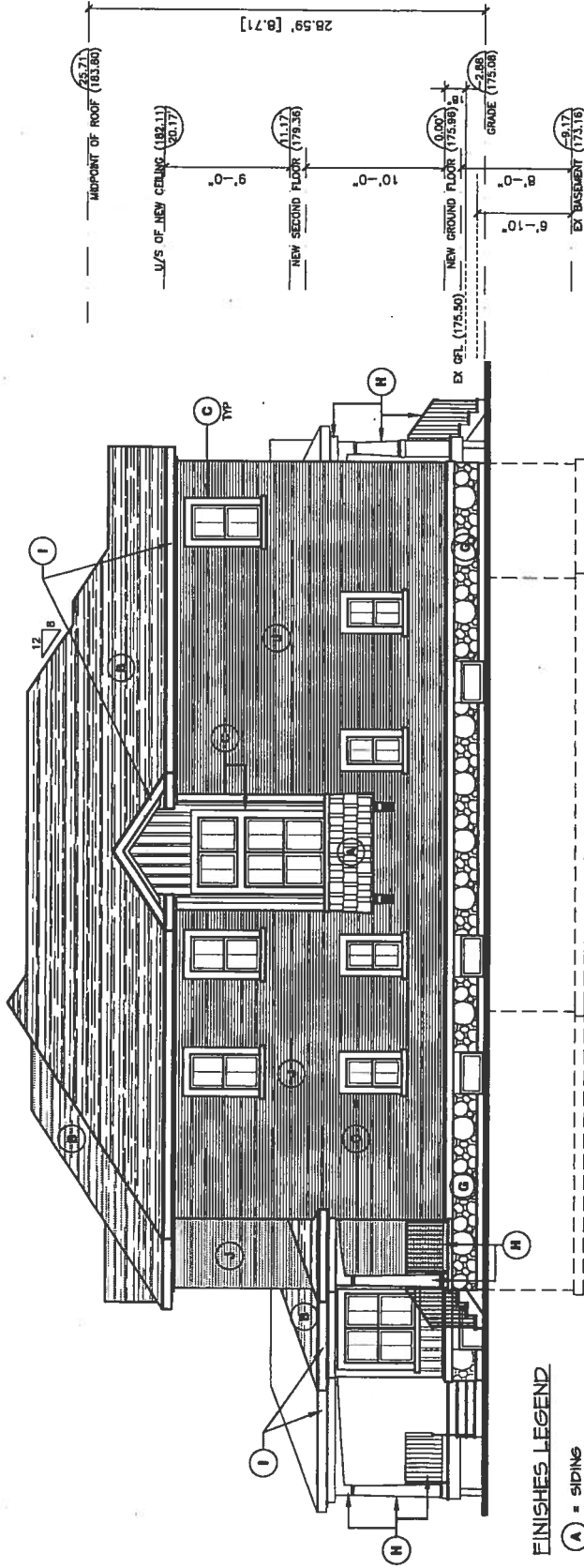


NORTH ELEVATION  
SCALE: 1/8"=1'-0"

FINISHES LEGEND

- A = SIDING  
HARDY PLANK/SHAKE WOOD GRAIN  
COLOUR - KENDALL GRAY
- B = ROOFING  
ASPHALT SHINGLES  
COLOUR - CHARCOAL
- C = TRIM & WOOD (SPRING LOCATIONS)  
COLOUR - OFF WHITE  
LIMESTONE (BRICK LOCATIONS)  
COLOUR - OFF WHITE
- D = WINDOWS  
VINYL CLADDED/WRAPPED  
COLOUR - OFF WHITE
- E = DOORS  
STEEL INSULATED (GARAGE/BACK)  
COLOUR - OFF WHITE  
FIBREGLASS WOODFACE (FRONT)  
COLOUR - DARK WOOD STAIN
- F = GARAGE DOOR  
FIBREGLASS WOODGRAIN  
COLOUR - DARK WOOD STAIN
- G = STONE BASE  
COLOUR - BEIGE
- H = PORCH/DECKS  
PRESSURE TREATED WOOD FRAMED  
COLOUR - DARK WOOD STAIN
- I = SOFFITS/FASCIA & EAVES  
ALUMINUM  
COLOUR - OFF WHITE
- J = BRICK VENEER  
TORONTO BRICK  
COLOUR - RED/GRAY/BURGUNDY

Proposed Revision 2018

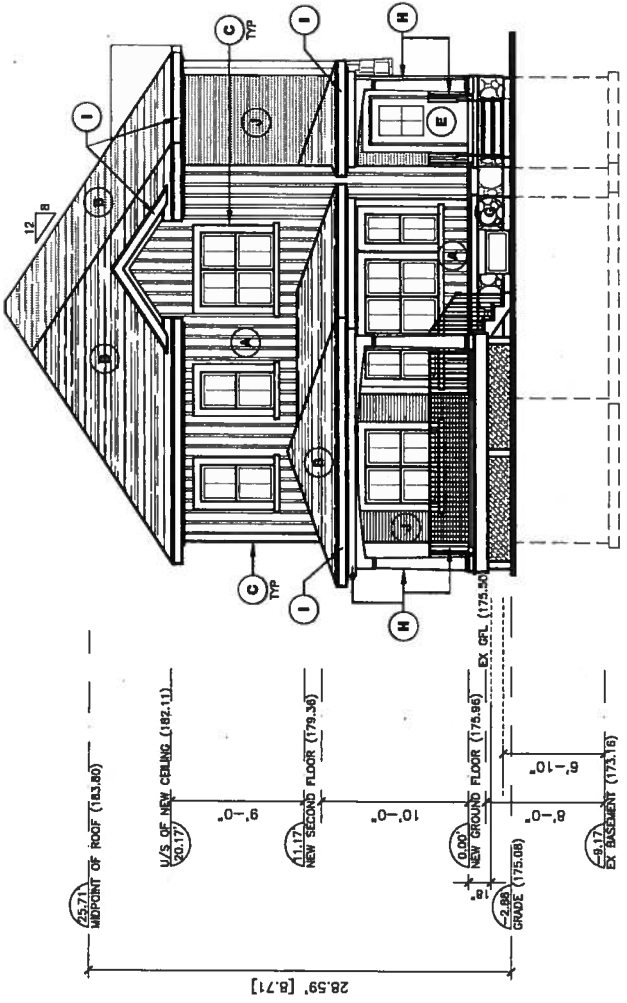


**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**FINISHES LEGEND**

- A** = SIDING  
HARDIE PLANK/SAME WOOD GRAIN  
COLOUR - REDDALL GRAY
- B** = ROOFING  
ASPHALT SHINGLES  
COLOUR - CHARCOAL
- C** = TRIM  
HARDIE & WOOD (SING LOCATIONS)  
COLOUR - OFF WHITE  
LIMESTONE (BRICK LOCATIONS)  
COLOUR - OFF WHITE
- D** = WINDOWS  
VINYL GLAZED/WRAPPED  
COLOUR - OFF WHITE
- E** = DOORS  
STEEL INSULATED (GARAGE/BACK)  
COLOUR - OFF WHITE  
FIBRGLASS WOODFACE (FRONT)  
COLOUR - DARK WOOD STAIN
- F** = GARAGE DOOR  
FIBRGLASS WOODGRAIN  
COLOUR - DARK WOOD STAIN
- G** = STONE BASE  
COLOUR - BEIGE
- H** = PORCH/DECKS  
PRESSURE TREATED WOOD FRAMED  
COLOUR - DARK WOOD STAIN
- I** = SOFFITS/FASCIA & EAVES  
ALUMINUM  
COLOUR - OFF WHITE
- J** = BRICK VENEER  
TORONTO BRICK  
COLOUR - REC/GRAY/BURGUNDY





## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** George Duncan, Senior Heritage Planner

**DATE:** April 11, 2018

**SUBJECT:** HERITAGE BUILDING EVALUATIONS PART 2  
North Markham Planning District (Future Urban Area)  
Heritage Building Evaluations

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### **Background:**

- Heritage Markham reviewed and commented on three draft Secondary Plans within the North Markham Planning District (previously referred to as the Future Urban Area) at the February 14, 2018 meeting. This included the Berczy Glen, Angus Glen and Robinson Glen Secondary Plans that have been submitted by the developer group for the City's consideration.
- The Secondary Plan areas contain built cultural heritage resources, including properties individually designated under Part IV of the Ontario Heritage Act and properties listed on the *Markham Register of Property of Cultural Heritage Value or Interest* that have not been designated under the Ontario Heritage Act at this time.
- Listed properties that have not been designated, but may be worthy of designation, are currently being researched. A consultant has been engaged to carry out detailed historical research at the Land Registry Office, Markham Museum and through other sources.
- Heritage Section staff is using this historical research to create research reports on each listed property to cover historical, architectural and contextual aspects of the properties, in keeping with Ontario Regulation 9/06, the province's Criteria for Determining Cultural Heritage Value or Interest.
- The Building Evaluation Sub-Committee is in the process of evaluating each listed property where the research reports have been prepared. It is anticipated that this work will be completed in the spring of 2018.
- Priority has been given to a total of 11 listed properties within the three Secondary Plans currently under review by the City. The first 5 of the 11 properties have been researched and evaluated. The evaluations were confirmed at Heritage Markham's March 14, 2018 meeting. This staff memo deals with the remaining 6 properties.

- Listed properties in the portion of the North Markham Planning District where draft Secondary Plans have not yet been submitted will mainly be completed after the 11 priority properties, however a number of these may be done concurrently with the priority properties as time permits.
- Research and evaluation of properties not already designated under the Ontario Heritage Act will provide direction as to which listed properties should be recommended as priorities for preservation and future heritage designation within the Secondary Plan areas.
- The applicants have requested copies of the research reports for the listed properties, which will be sent to them following Heritage Markham's confirmation of the building evaluations.

**Listed Properties Currently Researched and Evaluated:**

- The following remaining 6 listed properties from the original list of 11 have now been fully research and evaluated:

3575 Elgin Mills Road	Lyon-Schell-Frisby House, c.1850	Group 1
6393 Elgin Mills Road	John Doner Jr/The Toll House, c1843	Group 1
10060 Kennedy Road	John C.P.Pingle House, c.1875	Group 2
10228 Kennedy Road	George H. Pingle House, c.1870	Group 2
10476 Kennedy Road	Thomas Hobbs House, c.1927 (formerly T. Wagg House)	Group 2
10504 Kennedy Road	Storry-Appleton Barn, c.1910	Group 2

- The concise research reports prepared by staff for each of these properties is attached.
- The historical names of some of the properties may differ from the information presently found on the *Register*. This is due to the in-depth research that has been undertaken. The *Register* will be updated with the new information reflecting the research.

**Staff Comment:**

- The City's system for evaluating cultural heritage resources was last updated in 2003. Using a scoring system that examines the historical, architectural and contextual value of each property, resulting in their classification as Group 1 (buildings of major significance and worthy of designation), Group 2 (buildings of significance and worthy of preservation and encouraged for designation), or Group 3 (noteworthy buildings worthy of designation if restored, or worthy of documentation).
- The evaluation system is a tool to assist the City in prioritizing cultural heritage resources for preservation. The designation or demolition of a building is not to be based solely on the results of this classification and rating system.
- It should be noted that a property that has received a Group 3 rating could potentially be restored to reflect its former condition through a carefully researched examination and restoration plan.

**Suggested Heritage Markham Recommendation:**

THAT the findings of the Building Evaluation Sub-Committee for the following North Markham Planning District properties listed on the *Register of Property of Cultural Heritage Value*, be endorsed:

- 3575 Elgin Mills Road (Group 1);
- 3693 Elgin Mills Road (Group 1);
- 10060 Kennedy Road (Group 2)
- 10228 Kennedy Road (Group 2);
- 10504 Kennedy Road, (Group 2); and
- 10504 Kennedy Road (Group 2)

AND THAT the City's North Markham Planning District Manager be advised of the results of the research and classification.

## RESEARCH REPORT

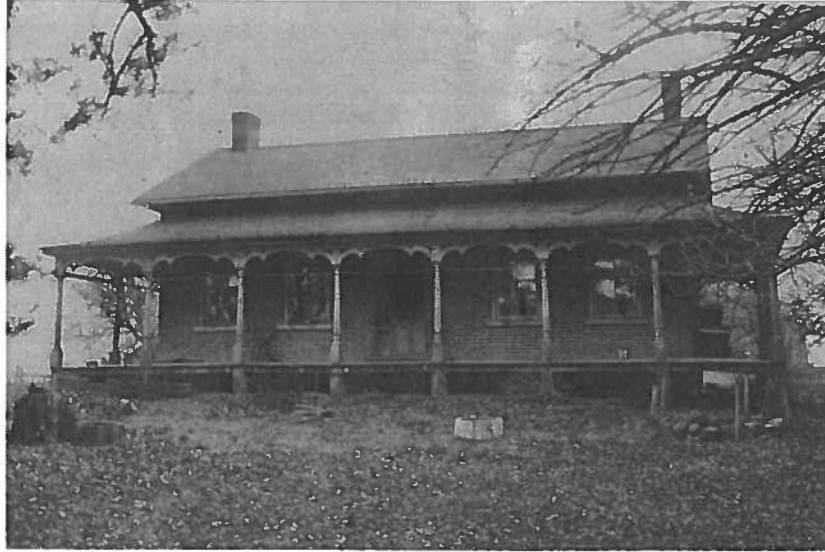


**Lyon-Schell-Frisby House**  
**East 1/4 Lot 25, Concession 4**  
**3575 Elgin Mills Road East**  
**c.1850**

### **Historical Background:**

This one and a half storey brick farmhouse in the Classic Revival style was constructed c.1850 by a Robert Lyon, a local builder. The early history of Lot 25, Concession 4 indicates an association with William Berczy, the leader of a group of German immigrants who are considered to be the founders of Markham. Jacob Rawn and his family were noted as residing on the property in Berczy's census of 1803. In 1804, Rawn purchased the 200 acre property from William Berczy, however he also received the Crown patent for the same lot in 1822. Not much is known about Jacob Rawn. He was not a member of the Berczy group. In 1818 he sold the east 50 acres to D'Arcy Boulton (where 3575 Elgin Mills Road East stands), and in 1822, sold the west 150 acres to Peter Wolfe.

D'Arcy Boulton, a member of the Upper Canadian elite, based in York (later Toronto), likely purchased the 50 acre property on the east part of Lot 25, Concession 4 as a speculative venture. The 50 acre east quarter of Lot 25, Concession 4 was sold to John Tipp in 1828. He was a Markham Township farmer. Tipp sold to John F. Schell in 1833. John F. Schell was the son of Frederick Schell, who came with two of his brothers to Canada from New York State in the late



Archival Photograph, Markham Museum Collection

**Architectural Description and Stylistic Analysis:**

The Lyon-Schell-Frisby House is a one and a half storey brick dwelling with an irregular plan. The original portion of the building is the front part, with a rectangular plan. A garage is attached to the south east corner of the rear of the main block, linked by one storey additions to the east and rear wall. Neither of these additions appear to be historic in nature.

The brick walls are simple in detail, with the only decorative elements being angled brick arches over door and window openings. The building rests on a raised foundation that is concealed by modern-era stone planters. The roof is a low-pitched gable with wide, overhanging eaves. Incomplete cornice details suggest that at one time there were eave returns. A modern chimney is located at the west end of the roof. Originally there were heavier brick chimneys on each gable end.

Door and window openings are arranged in a symmetrical pattern. On the 5-bay front wall, the main entrance is centred, and features a flat-headed transom light and sidelights. The single-leaf door is panelled without glazing. The sash-style front windows, in a 2 over 2 glazing pattern, are large in proportion to the wall area. On the second floor, the gable-end windows are considerably smaller. Overall the building has been well-maintained and alterations to the brick walls and openings have been minimal.

The Lyon-Schell-Frisby House is a good example of a larger mid-19<sup>th</sup> century Markham Township farmhouse designed with the influence of the Classic Revival style. It is noteworthy for its 5-bay front, which is uncommon locally, since most farmhouses in Markham Township built in the same period had 3-bay fronts. Another example, similar in scale and detailing, was

## RESEARCH REPORT



### **John Doner Jr. House “The Toll House”**

**East Part Lot 25, Concession 4  
3693 Elgin Mills Road East  
c.1843, with Later Alterations and Additions**

#### **Historical Background:**

This board and batten-clad house is locally known as “The Toll House” for its association with the toll gate and toll-keeper’s residence at this location that was connected to the Markham and Elgin Mills Plank Road, which existed between 1850 and 1868. It is located on the east part of Markham Township Lot 25, Concession 4.

The early history of this lot indicates an association with William Berczy, the leader of a group of German immigrants who are considered to be the founders of Markham. Jacob Rawn and his family were noted as residing on the property in Berczy’s census of 1803. In 1804, Rawn purchased the 200 acre property from William Berczy, however he also received the Crown patent for the same lot in 1822. Not much is known about Jacob Rawn. He was not a member of the Berczy group. In 1818 he sold the east 50 acres to D’Arcy Boulton, and in 1822, sold the west 150 acres to Peter Wolfe. The 150 acre western portion passed through a series of owners until it was purchased by William Cantley in 1831. Cantley sold 6 acres to blacksmith William

*“In twenty two years as a builder in Markham Township John Doner built three hundred and fifty structures of all kinds.”*

The same history counts John Doner as a supporter of William Lyon Mackenzie and liberalism, and also as a supporter of free trade.

The Doners were a Pennsylvania-German family that came to Markham in 1806 from Lancaster County, Pennsylvania. John Doner Jr. was the son of John Doner and Rachel (Cober) Doner, who lived on Lot 35, Concession 3 (now the New Gormley area of the Town of Richmond Hill). He was married to Euphemia (Effie) Schell, a daughter of John F. Schell and Nancy (McKinnon) Schell. At the time of the 1851 census, John and Effie Doner had six children. No one in the household or near it was listed as a toll-keeper. However, in the Markham Township Assessment Roll of 1854, it listed Robert Gormley as a toll-keeper on the west half of Lot 26, Concession 4, which is across the road from the Doner and Schell properties.

The land records do not provide any direct link to this property and the toll keeper's house of the Markham and Elgin Mills Plank Road Company. However, both John F. Schell and John Doner Jr. were shareholders, and John Doner Jr. served on the board of directors, so there is a connection between the company and this location.

The Markham and Elgin Mills Plank Road Company was incorporated in 1849 by a group of local investors, primarily from Markham Township and Richmond Hill, though Gooderham and Worts, prominent Toronto distillers, also held shares. The route was surveyed by David Gibson, Provincial Land Surveyor, remembered in Ontario history for his role on the Mackenzie side of the Upper Canadian Rebellion of 1837.

Most of the information about the company comes from the ledger and minute-book preserved in the collection of the Markham Museum's archives. The plank road was designed to provide a reliable route between Yonge Street in the west, which was a macadamized toll road, and the Markham and Scarborough Plank Road (today's Highway 48) to the east. The road was built of 3 inch thick wood planks spiked to heavy timber sleepers set in the road bed. The road was about 10 feet wide, enough to allow two teams (horses drawing a wagon or carriage) to pass when travelling in opposite directions. Construction began in 1850 and tenders for supplying the lumber for the first phase of construction were accepted from David Eyer, Jacob Heise, John Doner Jr., and John Horner. Thousands of board feet of lumber were used to build the plank road, and later to repair it. Rates for various types of vehicles were set by the board of directors in August of 1850.

According to the book, *Markham, 1793 – 1900*, there were toll gates at the 2<sup>nd</sup>, 5<sup>th</sup> and 8<sup>th</sup> Lines.

Based on records of other toll-keeper's cottages in York County, these buildings were modest dwellings providing basic accommodation for toll-keepers and their families. If John Doner Jr.'s house was already standing in 1843 or thereabouts, then when money was expended on a toll gate, house and woodshed for Toll Gate No. 2 in 1850, it would have been for a separate building. This suggests that the actual toll keeper's cottage may no longer be standing, and that the present Toll House at 3693 Elgin Mills Road may carry that name mainly for its association with the historic location of the toll gate and associated buildings that were somewhere along the Elgin Mills frontage owned by John Doner Jr. by 1856.

In 1861, John and Effie Doner sold their property to John F. Schell. They moved to a farm the vicinity of Sunnidale Corners in Simcoe County, an area where a number of other families with similar Pennsylvania-German backgrounds had established a community. There they established a new home. Effie Doner died in 1865. The next year, John Doner married Mary Elizabeth Hilts. When they retired from farm life they moved into the village of Stayner in Simcoe County. The Toll House property was sold to William Schell in 1866. Later owners were John Gordon Mustard (1874), Mary J. Brumwell (1886), and Ralph and Frances Boynton (1925).

#### **Architectural Description and Stylistic Analysis:**

The Toll House is a one and a half storey frame building with an irregular plan. The core of this board and batten-clad rural residence is a one and a half storey structure that dates from the 19<sup>th</sup> century, but has been much added to and modified to suit a series of modern-era owners. The roof has a medium pitch, and the street-facing gable is decorated with Gothic Revival-style bargeboards. Windows are modern units with 4 over 4 or 6 over 6 glazing and decorative, non-functional shutters. Without a site visit and thorough examination of the house as it currently exists it is difficult to determine the extent of the original structure that research suggests was built c.1843 as the residence of John Doner Jr. and his family.

Additions and renovations have been sympathetic to the heritage building but exactly which details of the exterior are from the 19<sup>th</sup> century is not obvious from photographs and the view from the street. The front veranda posts and decoration, board and batten siding and vernacular Gothic Revival design of the oldest portion of the house and the additions is reminiscent of the work of the late Napier B. Simpson, a Thornhill-based architect that in the 1960s and 1970s specialized in the restoration or renovation of heritage houses, or the design of new houses in a traditional "old Ontario" style. A search of Simpson's projects in the collection of the Ontario Archives has confirmed that he did indeed work on designs for this property in 1968.

In 1988, the owners undertook renovations and additions to the rear of the west wing, and to the east side of the main block to replace an existing garage with a larger one. In 2015 a conservatory and foyer were added.

**HERITAGE RESEARCH REPORT**



**JOHN C. P. PINGLE HOUSE**  
**East Half Lot 21, Concession 5**  
**10060 Kennedy Road**  
**c.1875**

Prepared For: Heritage Markham

Prepared By: Michael Seaman

Revised 2015 and 2018 by  
G. Duncan

**Architectural Description and Stylistic Analysis:**

The John Pingle House is a good example of late nineteenth century vernacular farmhouse with echoes of the Georgian architectural tradition displayed in its symmetry and simplicity of design. Its conservative form is enhanced with patterned dichromatic brickwork, segmentally-headed windows, and a generous recessed front doorcase. Earlier research reports, prepared before a site inspection proved otherwise, speculated that the house dated from c.1840 and was a frame building updated in the 1880s with brick veneer. The building is actually of solid masonry construction and does not appear to incorporate any portions of an earlier structure.

The house is 1 ½ storeys in height with a 3 bay facade and an end gabled roof. The main block is rectangular in plan, with a rear kitchen tail offset to the north on the west wall. The rear wing has been enlarged with a substantial addition to the south and west, and a second storey. The medium pitched gable roof features a substantial cornice which indicates the knee walls have been raised. The roof pitch has been steepened in recent times to provide a higher ceiling height on the second floor, which is evident from the application of clapboard siding on the upper gable walls and scrolled wood trim at the eaves that hide the changes.



North Side View of 10060 Kennedy Road

The main brickwork on the building is a soft pink-orange variety, while accent brick is buff in colour. Features of the house include radiating brick arches above door and window openings, ornamented with carved keystones; brick quoins; a brick plinth; and a Classic Revival-influenced recessed entranceway with sidelights, a transom light and decorative raised panelled reveals. The front door is four panelled.

## RESEARCH REPORT



**George H. Pingle House**  
**East Half Lot 22, Concession 5**  
**10228 Kennedy Road**  
**c.1870**

### **Historical Background:**

The George H. Pingle House is located on the east half of Markham Township Lot 22, Concession 5. The Crown patent for the original 200 acres of Lot 22 was issued to Nicholas Steffens in 1809. In 1816, he sold one half of the lot to John N. Steffens (in various records his surname is also spelled Stephens or Stevens) and the other half to Dedrick H. Steffens. John N. Stephens is listed among the Berczy settler group in William Berczy's settlement report of 1798. In 1834, Dedrick Steffens (in Berczy's census of 1803 spelled Dietrick Steffens), a son of either Nicholas or John, sold 125 acres of the east half of Lot 22 Concession 5 to John C. P. Pingle, a member of another Berczy settler family. This property was not his primary residence, but rather acreage adjacent to the property that the Pingle family leased to the south.

John Charles Philip Pingle farmed the east half of Lot 21, Concession 5, directly south of this property. His brother, George Jr., farmed the west half of Lot 21, Concession 5. The formerly leased property on Lot 21 was purchased from King's College (later to become the University of Toronto) by their father, George Pingle Sr. in 1838, and the brothers were willed the properties where they lived in 1852.



Front (east) View of 10228 Kennedy Road



South and Rear (west) Sides of 10228 Kennedy Road

Window openings are flat-headed and have a 2 over 2 glazing pattern also typical of the late 19<sup>th</sup> century. On the front façade they are arranged in a balanced order, but on the south side the openings have been placed where convenient to the interior layout. There are additional doors on the south and west (rear) walls.

Overall, the George H. Pingle House has a late 19<sup>th</sup> century character. It is a common vernacular house form described by some architectural guidebooks as a “homestead” or “open-gable cottage.” The design is simple and functional, with its gable-fronted form derived from earlier

## RESEARCH REPORT



**Thomas and Elizabeth Hobbs House**  
**East Part Lots 23 & 24, Concession 5**  
**10476 Kennedy Road**  
**c.1927**

### **Historical Background:**

This house is located on the east part of Markham Township Lots 23 and 24, Concession 5, south of the historic crossroads hamlet of Cashel. The building is more precisely on the portion of the property within Lot 24.

Samuel Eakin, an Irish immigrant, came to Cashel (modern-day crossroads of Kennedy Road and Elgin Mills Road) in the early 1820s. In 1824, he purchased a 10 acre parcel of the east part of Lot 24, Concession 5 from Azal Wilson. In 1836, he added to his land holdings with the purchase of an adjoining 50 acre parcel on Lot 23, Concession 5, from Daniel Tipp. Samuel Eakin was a farmer, He married Elizabeth Pingle, a member of a Berczy settler family. The 1851 census described their residence as a one storey frame building. In 1861, it was described as a one and a half storey frame building. Two of their children, William and George, were wagon makers at Cashel before they moved to Unionville in the mid-1850s. Both were to play significant roles in the economic, administrative and political development of Unionville. Tremaine's map of York County, dated 1860, indicates the wagon shop adjacent to the Samuel Eakin residence.

construction, displaying echoes of the Arts and Crafts Movement in its general form and character. It is a suburban house type rather than a farmhouse type and may have been built according to a pattern book plan.

**Context:**

The Hobbs House is a rural dwelling on its original site. It is located in an area that is presently rural, but is in the process of being transformed into an urban environment. It is one of a number of heritage buildings in the vicinity that relate to the agricultural history of the area. Rather than being associated with the 19<sup>th</sup> century, the Hobbs House is representative of the early 20<sup>th</sup> century phase of development in Markham Township where on some farms, older houses, mainly of frame construction, were replaced with more up-to-date brick residences.

G. Duncan, February 2018, with historical research by Su Murdoch Historical Consulting (see historical research report, attached).

## RESEARCH REPORT



**Storry-Appleton Barn**  
**East Half Lot 24, Concession 5**  
**10504 Kennedy Road**  
**c.1910**

### **Historical Background:**

The “star barn” is located on the east half of Markham Township Lot 24, Concession 5. Francis Schmidt received the Crown patent for the 200 acres of this lot in 1818. Schmidt was among the Berczy settler group that came to Markham with William Berczy in 1794. He sold the east half of Lot 24 to Azal Wilson in 1823. Wilson sold the north-east 35 acres to John W. Crosby in 1829, the south east 10 acres to Samuel Eakin in 1829, and the interior 51 acres to William G. Fenwick in 1831. Fenwick later purchased a 6 acre strip of land between the Eakin and Crosby properties to give his larger parcel frontage on Kennedy Road. It is within the strip that William Fenwick Jr.’s house is shown on the 1878 map of Markham Township that appears in the *Historical Atlas of York County*, and where the barn at 10504 Kennedy Road stands today.

William Fenwick (1809-1839) was the eldest son of James Fenwick, a Scottish immigrant who arrived in Markham Township in 1806, and settled at Crosby’s Corners (later known as Cashel). James Fenwick married Ellen Thomson of Scarborough Township. He operated an inn and distillery at the crossroads as early as 1812. During the War of 1812, James Fenwick served as

the north wall. A small, gable-roofed frame addition (a milk house?) projects from the east wall of the building. A smaller, gable-roofed barn on a raised, painted fieldstone foundation is located to the south of the main barn, off the south-west corner, but is not attached to it. This smaller barn may be older than the main barn based on its proportions and gable roof. The L-shaped placement of these two structures creates a sheltered barnyard facing south, a common layout on old Ontario farms.

The gambrel-roofed barn became popular in the 1890s and locally, barns of this style were built up to the 1920s. They replaced the older style of gable-roofed barns that were typically smaller in size and shorter in depth. Barns of this time period reflect the mixed farming and dairy farming being done in this part of the province in the late 19<sup>th</sup> and early 20<sup>th</sup> centuries. The lower level, within the foundation, was used for stabling and feeding of livestock, and the main floor contained storage for grain and feed on either side of a threshing floor. Some barns were built into a natural slope so that the stables could be accessed at grade at the bottom of the slope, and the threshing floor at the top. Where sloping topography did not exist, as in this case, earthen ramps were constructed to reach the doors at the level of the threshing floor.

On established farms, old-style barns were commonly dismantled, combined and re-built into the gambrel-roofed form. Barn frames often incorporate a great deal of salvaged material, evidenced by odd mortices, hewn beams mixed with sawn beams, and differences in colour and finish.

**Context:**

The Storry-Appleton Barn is a remnant of a former farmstead that has lost the older farmhouse that once accompanied it. It is a local landmark due to the white star motif that decorates the street-facing gable end wall. The property also contains another frame outbuilding that may have originally served as a driveshed. This additional building is not immediately next to the barn complex but is located to the south-east, closer to the garage and residence. The barn complex represents the agricultural community that has surrounded the crossroads hamlet of Cashel for generations but is now in the process of being transformed from rural to urban.

G. Duncan, March, 2018, with historical research by Su Murdoch Historical Consulting.

# 2018 Ontario Heritage Conference

## June 7-9, 2018 ~ Sault Ste. Marie, ON



### Ontario Heritage Conference Sault Ste. Marie 2018

The Sault Ste. Marie Municipal Heritage Committee invites and welcomes you to the 2018 Ontario Heritage Ontario Conference from June 7th to 9th. The inaugural conference was held in Sault Ste. Marie in 1988 and we are excited and honoured to have the event return to our city for its 30th anniversary!

Sault Ste. Marie is situated at the hub of three of the Great Lakes on the shores of the historic St. Marys River rapids, where for centuries Indigenous Peoples gathered to hold annual meetings, trade, and fish. A junction point for hardy fur traders and intrepid explorers on their westward trek, Sault Ste. Marie is one of the oldest European settlements in the province.

We have chosen "What Have We All Achieved?" as the overarching theme of the conference to give us the opportunity to reflect on our past efforts and also to look ahead with renewed vigour as we continue our work to preserve heritage in our respective communities.

The conference will be a time to showcase the changes in our community over the past 30 years, learn from our colleagues and share successes and challenges. Conference attendees can expect a varied itinerary featuring inspiring guest speakers, visits to local heritage landmarks and opportunities to experience all that Sault Ste. Marie has to offer.

We look forward to seeing you in June!

Jeanette Cowen  
Conference Co-Chair

Lloyd Beilhartz  
Conference Co-Chair

**Hutcheson, Regan**

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**From:** Duclos, Bert (MTCS) <Bert.Duclos@ontario.ca>  
**Sent:** March 20, 2018 10:01 AM  
**Subject:** Ministry of Culture Information for Municipal Heritage Committee - 2018 Ontario Heritage Conference  
**Attachments:** 2018 Ontario Heritage Conference.pdf

(To municipal staff liaison: Please pass this on to the chairperson of your municipal heritage committee)

Dear Municipal Heritage Committee Chairperson,

Sponsored by Architectural Conservancy Ontario, Community Heritage Ontario, and the Canadian Association of Heritage Professionals, please see the attached from the organisers of the 2018 Ontario Heritage Conference, held this year in Sault Ste. Marie, June 7 – 9, 2018.

Detailed information is available at the conference websites

<http://www.ontarioheritageconference.ca/> and <https://www.facebook.com/2018-Ontario-Heritage-Conference-1871098529779336/> .

Best regards,

*Bert*

Bertrand (Bert) Duclos  
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# Remember Markham

NEWSLETTER OF THE MARKHAM HISTORICAL SOCIETY  
AND MARKHAM MUSEUM

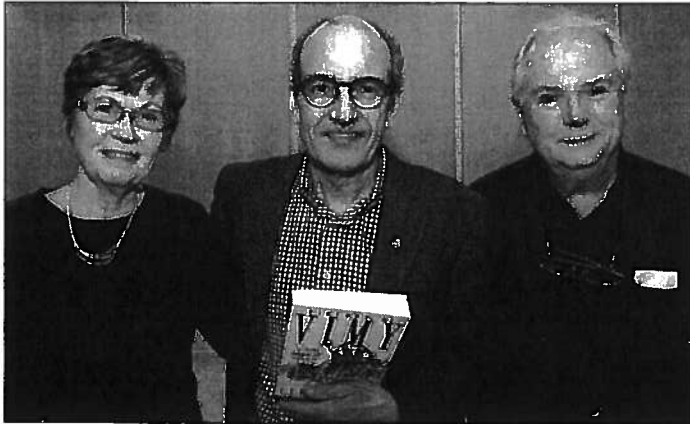
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MAR 28 2018

Spring, 2018

Editor: Lorne R. Smith

DEVELOPMENT SERVICES  
CITY OF MARKHAM  
COMING EVENTS



Sue Smitko, Dr. Ted Barris, Randy Barber

## *New President*

After three years as President, Randy and Solveig Barber are moving on to Cobourg. Sue Smitko has assumed the presidency of the Markham Historical Society for 2018.

Sue, a retired Department Head of History with the York Region District Board of Education, was responsible for many of the interviews conducted on behalf of the MHS Book Committee in the early days of its research. She also continued with the editing team working with writer Cathy Brydon and designer Donna Metcalf in preparing the final version for printing. Sue has also been a regular contributor to *Remember Markham*.

Sue joined the Markham Historical Society Board of Directors at the 2014 Annual General Meeting and has been an active participant in all our activities. Sue has taken responsibility for organizing our bus tours.

*Welcome Sue!*

## *Bus Trip to Niagara Falls*

On Wednesday, June 13 we are taking our last meeting on a bus trip to Niagara Falls.

We will be seeing the highly-acclaimed, award-winning musical, *Oh Canada Eh!*, a musical celebration of Canada. The show is full of laughs as singing mounties, lumberjacks, Anne of Green Gables and even a hockey player perform a tribute to over 30 of Canada's professional recording artists.

**Monday, April 9, 2018 at 7:30 p.m.**  
Collections Building, Markham Museum  
"Geared for Growing" Exhibit  
with Janet Reid, Curator

**Monday, May 14, 2018 at 7:30 p.m.**  
Cedar Grove Community Centre  
14th Avenue, east of Reesor Road  
Guest: Lloyd Robertson, retired broadcaster  
Annual Pie Night

**Wednesday, June 13, 9 a.m. – 6 p.m.**  
*We're Going on the Road Again!*  
Bus Trip to Niagara Falls  
9:00 a.m. to 6:00 p.m.  
*Oh Canada Eh!*  
Leaving from Museum parking lot

**September 10, 2018 at 6:30 p.m.**  
Pavilion, Markham Museum  
Annual BBQ and Corn Roast

The dinner show is located in a log cabin theatre and includes an all-Canadian, family-style dinner.

This event will be a full day, departing the Museum at 9:00 and returning at 5:30-6:00. These times will be confirmed closer to June 13th.

Cost of the day trip is \$120.00 per person and includes a (very) comfortable highway bus, the 5-course dinner and the theatre presentation.

There are limited seats so please book early. We already have members signed up, so do not miss out! Bring a friend along with you!

Please bring cash or cheque to our next meeting to reserve your place on the bus.

I hope that you can join us for a fun day with good friends and good food.

If you would like to add your name to our reserve list or if you have any questions, please get in touch with me at 905-475-3440, or

[markhamhs@gmail.com](mailto:markhamhs@gmail.com) or  
[suesmitko@gmail.com](mailto:suesmitko@gmail.com)



*Knabenkapelle  
Nordlingen  
visiting Markham  
on  
May 22 to 29,  
2018*

This boys band, in medieval costumes, from Nordlingen, Germany will be visiting Markham from May 22 to 29. Their first day here will include a visit to the music department under Mark Caswell at Markham District High School where they will be doing a joint performance. The public performances will be held on:

**Thursday, May 24**

4 p.m. Berczy Square, 16th Ave and Kennedy Road.

5 p.m. William Berczy Public School, 50th Anniversary, 120 Carlton Road, Unionville.

**Saturday, May 26**

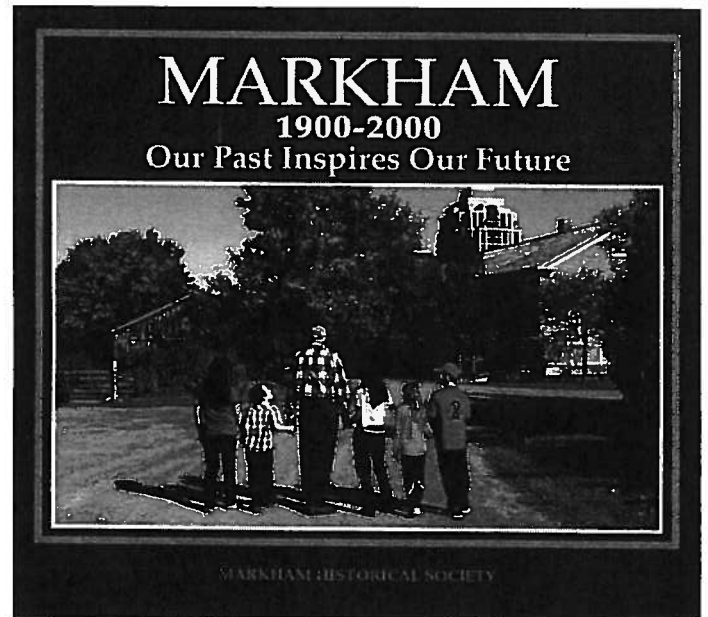
10:30 a.m. Markham Farmers' Market, Robinson and Main Street.

1:30 p.m. Unionville Main Street and Millennium Pavilion.

*Maple Taffy at WinterFest*



Ray Fugeman, Carol Smith, Vivian Ng



**“Markham 1900 – 2000  
Our Past Inspires  
Our Future”**

The book follows the unprecedented changes that have taken place in Markham in the 20th century as the Township of Markham moved from its early agricultural roots to the vibrant, diverse city it is today.

*The book is available from  
Markham Museum for \$30.*

# 90 locale

90

c)



Bringing heritage to life | Le patrimoine en vie

THE MAGAZINE OF THE NATIONAL TRUST FOR CANADA  
LE MAGAZINE DE LA FIDUCIE NATIONALE DU CANADA

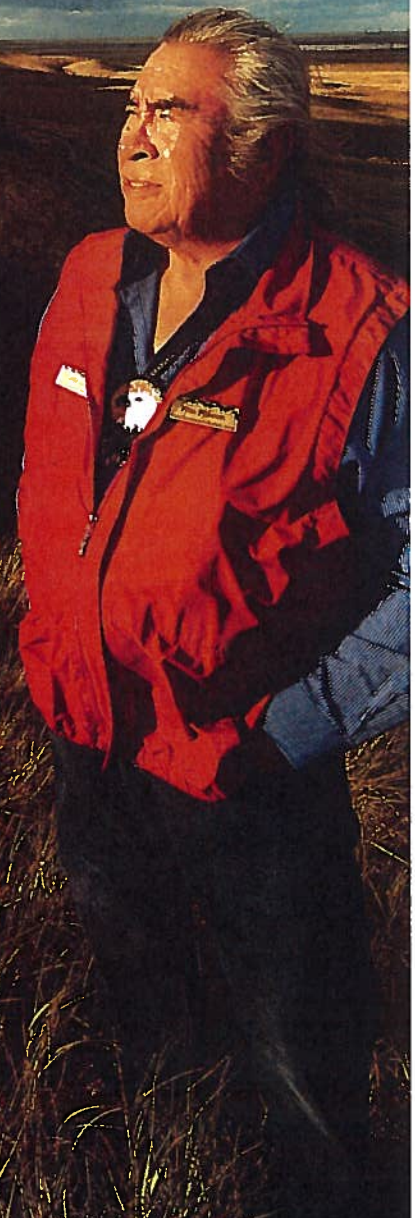


## How an ancient buffalo jump feeds today's generations

### Un ancien précipice à bisons alimente notre génération

Urban exploration  
L'exploration urbaine

*Brewed in heritage*  
*Brassage et patrimoine*



\$6.95

Vol. XX, NO. 3 & 4 / Vol. XX, N° 3 et 4

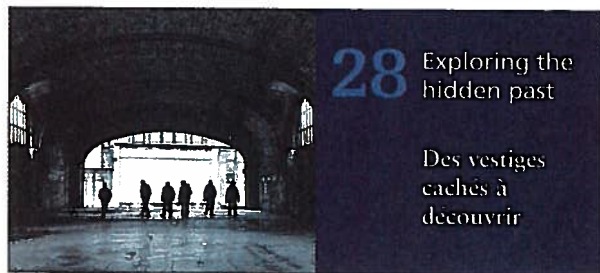
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Lumbertown Ale House à Arnprior, en Ontario

## Our cover

Conrad Little Leaf of the Piikani Nation is Head Interpreter at Head-Smashed-In Buffalo Jump National Historic Site of Canada. Photo: Travel Alberta – Roth & Ramberg Photography.

## En couverture

Conrad Little Leaf de la nation des Piikani est le chef-interprète du lieu historique national du Canada le précipice à bisons Head Smashed In. Photo : Travel Alberta – Roth & Ramberg Photography.

*Correction: In the Places Worth Sharing section of the Fall 2017 issue of Locale, we erroneously included a picture of the Leaskdale Manse National Historic Site of Canada instead of the manse in Norval.*

*Correction : Dans la section Des lieux à faire connaître dans l'édition de Locale automne 2017, nous avons inclus par erreur une photo du lieu historique national du Canada du Presbytère-de-Leaskdale au lieu de la manse de Norval.*



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** George Duncan, Senior Heritage Planner

**DATE:** April 11, 2018

**SUBJECT:** PRELIMINARY PROPOSAL TO RELOCATE BARN  
160 Main Street  
Unionville Heritage Conservation District

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### **Property/Building Description:**

- Former stable, 1900-1910 period, historically associated with the Brown family's general store, bakery, and residence. Frame construction, gambrel roof, modern board and batten siding. Originally clad in sheet metal.

### **Use:**

- Vacant commercial space.

### **Heritage Status:**

- Designated under Part V of the Ontario Heritage Act, within the Unionville Heritage Conservation District. Protected by a Heritage Easement Agreement.

### **Application/Proposal:**

- The owners of the property, in association with the prospective purchaser of 160 Main Street, are exploring the concept of relocating the stable/barn to the Stiver Mill property, where it can be restored and used in connection with the farmer's market and other community-related activities.
- The prospective purchaser has verbally offered to pay the cost of relocating and restoring the building on its new site.

### **Background:**

- The barn/stable and its associated parking lot were formerly part of a larger property that was divided into several parcels through Consent and Minor Variance applications in 1999. The commercial buildings at 156 and 158 Main Street were severed into separate parcels, and the barn at 160 Main Street and the rear of the two commercial properties were intended to be accessed by an L-shaped easement that provided street frontage for

the barn property. The easement land was later sold to the owner of 158 Main Street. Technically, the barn property is now a land-locked parcel with no street frontage. Access is via an adjacent strip of land owned by the City.

- The barn/stable was renovated in 2001 for use as commercial space. The owner entered into a Site Plan Agreement for the project. One of the requirements of that agreement was the owner entering into a Heritage Easement Agreement for the property.
- The owners have advised City staff that they have had difficulty leasing the space due to its location and the limited space and facilities it offers. The building has been vacant for some time and is not generating revenue, and is still subject to commercial property tax costs for the owners.
- The owners have been approached by a neighbouring property owner to purchase the property at 160 Main Street on the condition that the barn be removed or relocated off-site. The owners initially considered submitting a demolition permit, but have recently proposed a new approach that would preserve the heritage building in a new, complementary location with the costs covered by the prospective purchaser.
- This proposal has been discussed with Heritage Section and Urban Design staff in a preliminary manner and is now before Heritage Markham for input.
- It should also be noted that there is another small building on the property which has not been discussed. It is a storage building clad in pressed metal siding with a brick pattern.

**Staff Comment:**

- The Unionville Heritage Conservation District Plan and the Markham Official Plan 2014 contain policies that recommend retaining heritage buildings on their original sites and foundations as the City's first position. Both of these policy documents also provide alternative approaches as a "last resort" once all other options for on-site preservation are explored (see attached excerpt from the District Plan).
- Staff acknowledge that the barn/stable, located away from the Main Street frontage, is not ideal for retail purposes, and that the position of the building on its existing site does pose some challenges for the function of the property for commercial purposes and further development.
- Staff has discussed with the owners and prospective purchasers the possibility of retaining the barn/stable on site as part of a larger commercial structure, perhaps shifted within the property to improve the overall site plan. The feedback on this idea is that the owners and prospective purchasers are of the opinion that the barn/stable is not suitable for further investment on this site, and is an impediment to the development of the property.
- The proposal to relocate the building to the Stiver Mill site is reflective of the vision for the property as previously presented by the Unionville Village Conservancy, showing an addition to the west end of the Stiver Mill. The addition would provide more space for the indoor portion of the farmer's market and more community space. In this current proposal, the barn/stable would be placed to the west of the Stiver Mill, upon an existing concrete pad that at one time provided the base for a series of storage sheds (see the attached illustrations).

- In the Vision Plan (2015), a greenhouse type addition was shown as being attached to the west end of the Stiver Mill structure (see attached illustration).
- Although the project is proposed to be funded by the prospective purchaser of 160 Main Street, if supported from a heritage perspective, the concept will need to be reviewed with the City's Asset Management and Community Services staff to determine if the City is willing to accept a new facility on the Stiver Mill property and assume the on-going operational and maintenance costs.
- In staff's opinion, on-site retention is always the preferred approach, but acknowledges the challenges associated with the current site. The proposal would preserve the heritage structure in an appropriate context and would remove the risk of demolition.
- Staff recommend that on the basis of the above discussion points, that the proposal be explored with affected City departments to determine if this addition to the Stiver Mill property can be supported by the municipality.

**Suggested Heritage Markham Recommendation:**

THAT Heritage Markham supports Heritage Section staff meeting with Asset Management and Community Services staff to discuss the implications of the potential relocation and restoration of the barn/stable at 160 Main Street to the Stiver Mill property;

AND THAT if the addition of the structure to the Stiver Mill property is supported by the affected City departments, Heritage Markham will support further discussion with the property owners and the project funding partner regarding the barn/stable relocation and restoration, with further details coming back to the committee for review and comment prior to being considered by Markham Council.

File:

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Above: Former barn/stable at 160 Main Street when a spa was in operation. Below: Location Map





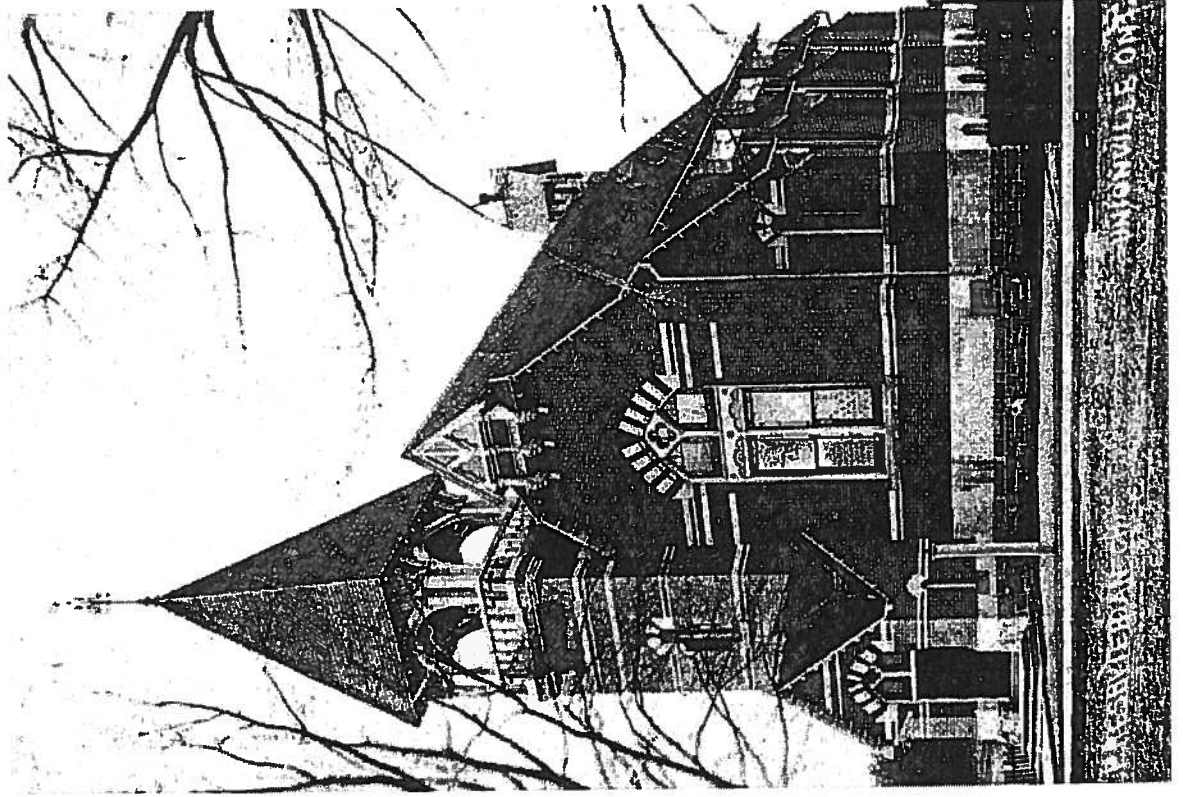
## 4.0 Building Policies

### 4.2.4 Salvage of Historical Building Materials and Features

- a) If a heritage building has been approved for demolition or demolition is unavoidable, the building will be documented and the proponents of the demolition will be required to advertise in the local press, the availability of the building for relocation or salvage of architectural features, as a condition of the demolition permit. Prior to advertising, all materials will first be offered to the Markham Museum.
- b) The Town may require the demolition of a building to be undertaken in such a manner as to expose the construction techniques used for documentation and educational purposes

### 4.2.5 Relocation of Heritage Buildings

- a) Relocation and dismantling of a heritage building will be employed only as a last resort.
- b) The Town will encourage the retention of buildings of architectural and/or historical significance in their original locations whenever possible. Before such a building can be approved for relocation to any other site, all options for on-site retention will be investigated. The following alternatives, in order of priority, will be examined prior any approval of relocation for a heritage building:
  - Retention of building on-site in its original use.
  - Retention of building on-site in an adaptive re-use.
  - Relocation of building on the specific development site.
  - Relocation of building within the District or to a sympathetic site within the municipality.
- c) A threatened heritage building relocated to the District from another site will be compatible in style and type to the existing development patterns in the District.

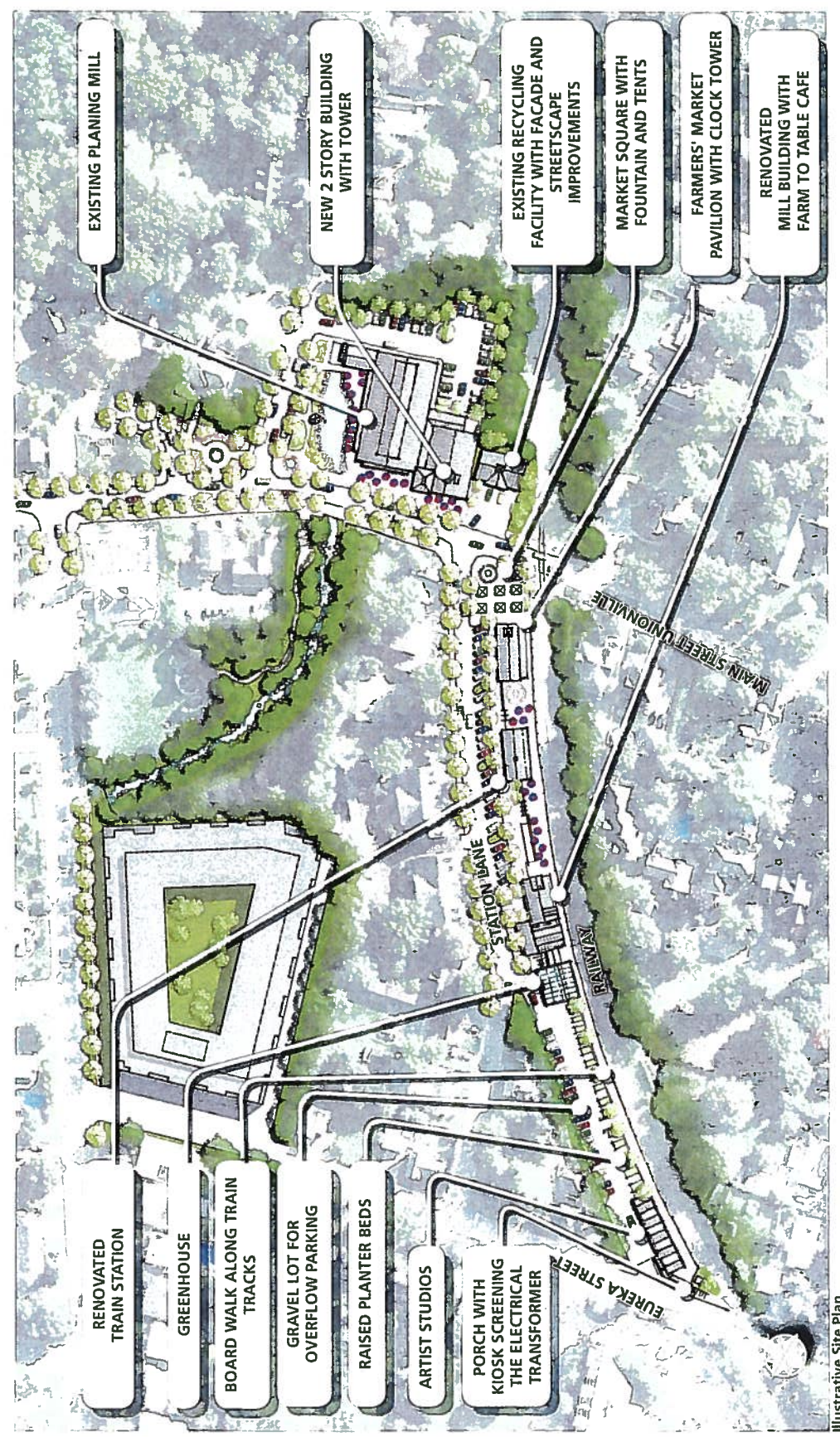


Congregational Church, circa 1879, 150 Main Street

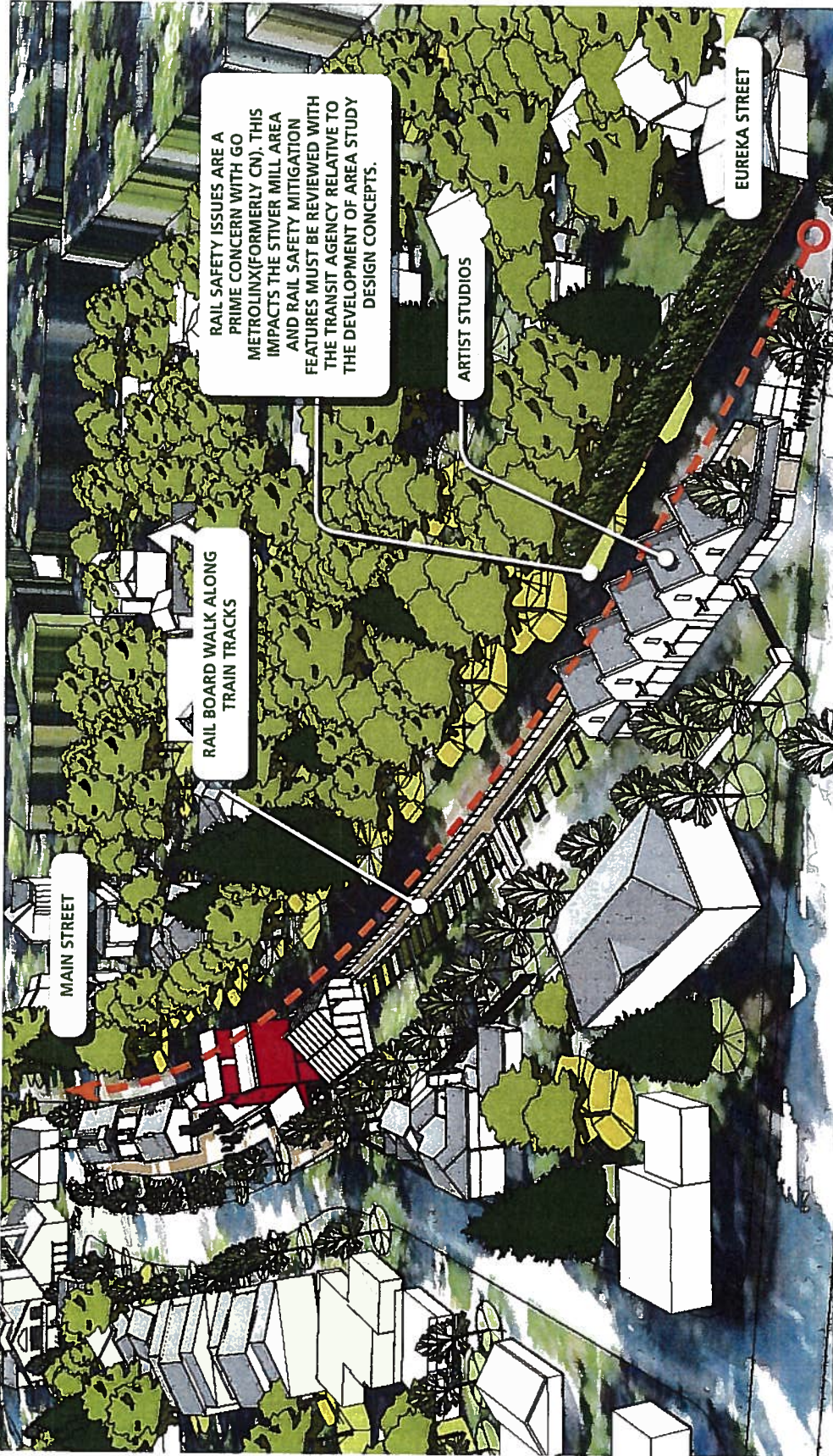
# VISION PLAN FOCUS AREAS

Main Street Unionville  
Community Vision Plan  
(Feb 2015)

## STIVER MILL AREA



Illustrative Site Plan



Aerial View of Stiver Mill Area looking from Eureka Street eastward towards Main Street



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Peter Wokral, Heritage Planner

**DATE:** April 11, 2018

**SUBJECT:** Designated Heritage Property Grant Program  
Review of 2018 Applications

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### Program Details:

- Council approved the Designated Heritage Property Grant Program in 2010.
- Total funding of \$120,000 was allocated to the program over a four year period (2010-2013) based on a targeted allocation of \$30,000 per year;
- The program was extended for an additional three years (2014-2016);
- In 2016, the program was extended for an additional three years (2017-2019) with an allocation of \$30,000 per year.
- Assistance to the owner is in the form of a grant representing 50% of eligible work up to a maximum limit of \$5,000 per property for eligible work, and through an amendment to the program in 2016, a maximum amount of \$7,500.00 for the replacement of a cedar shingle roof in Markham Heritage Estates;
- Minimum amount of eligible work - \$500.00;
- Properties must be designated under the Ontario Heritage Act (Part IV or Part V). In the case of Part V (Heritage Districts), only properties identified in a district plan as being of cultural heritage value or interest are eligible;
- Ineligible Projects:
  - Commercial façade grant projects are specifically related to “*the entire exterior front surface of a building which abuts the street from grade to eaves*”, and are not eligible as there is a separate program. However, other conservation work on a commercial property is considered eligible under the Designated Heritage Property Grant program. At the discretion of Council, an applicant may be limited to receiving only one heritage related financial assistance grant in a calendar year;
  - Projects in Markham Heritage Estates (under 20 years) as these owners already receive a financial incentive through reduced lot prices;
- Grants are to be awarded on an annual cycle following a request for applications with a deadline established;
- Only one grant per calendar year per property;

- First time applicants will get priority each year and repeat applicants will be considered only if the annual cap is not reached by first time recipients;
- Subject property must be in conformity with municipal by-laws and regulations;
- Eligible work primarily involves the repair, restoration or re-creation of heritage features or components (cornices, parapets, doors, windows, masonry, siding, woodwork, verandas, etc.);
- Eligible costs include the cost of materials, equipment and contracted labour (but not donated labour or materials or labour performed by the applicant). A grant of up to 50% for architectural/ design/ engineering fees to a maximum of \$1,000 (as part of the maximum permitted grant of \$4,000) is available;
- Exterior Painting- in documented original colours to a maximum grant contribution of \$2,000 or 25% of the cost, whichever is the lesser. One time only grant.
- Two separate estimates of work (due to the specialized nature of the work) are to be provided by a licensed contractor (other than the owner) for consideration;
- Applications will be reviewed by City (Heritage Section) staff and Heritage Markham and recommended submissions will be forwarded to Council for approval;
- Grant commitments are valid for 1 year and expire if the work is not completed within that time period (an extension may be granted);
- Grants are paid upon submission of receipts to the satisfaction of the City;
- Approved work commenced since last year's deadline for applications can be considered eligible for grant funding;
- Approved applicants will be required to enter into a Letter of Understanding with the City.

### **Application/Proposal**

- Staff received 6 applications by the March 29th, 2018 deadline;
- The total amount of grant assistance requested is \$26,230.76;
- The total amount of grant assistance recommended by Staff is \$26,230.76

### **Staff Comment**

- See attached summary chart for recommended applications
- See attached photographs for each application
- Staff used the following criteria when evaluating each application:
  - Preference will be given to applications where the integrity of the property may be threatened if the proposed work is not undertaken
  - Preference will be given to applications proposing work visible to the general public
  - Priority will be given to first time applicants
  - Must comply with heritage conservation guidelines, principles and policies
  - Scope of the work is to be clear, logical and demonstrate the maximum retention of historic fabric and heritage attributes
  - Grant is not to reward poor stewardship
  - The addition of new features (re-introduction of heritage features) needs to be backed up with evidence (physical, documentary or archival)
- Staff recommends approval of grant funding for all 6 the applications;
- The total amount of grant assistance requested for the 6 applications is \$26,230.76 which is \$3,769.24 less than what is available for the 2018 program;

## **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham supports the funding of the following six grant applications in the amounts noted at a total cost of \$27,024.33 subject to conditions noted on the individual summary sheets:

- 1 Millbrook Gate (up to \$4,206.43);
- 42 George Street (\$4,407.00);
- 819 Bur Oak Avenue (\$2,758.33);
- 14 Eureka Street (\$5,000.00);
- 131 Main Street Unionville (\$5,000.00);
- 20 Union Street (\$4,859.00)

File: Finance/Designated Heritage Property Grant Program

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### Designated Heritage Property Grant Summary

<b>Address</b>	<b>Eligible Work</b>	<b>Grant Amt. Requested</b>	<b>Grant Amount Recommended</b>	<b>Running Total</b>	<b>Comment</b>
1 Millbrook Gate, Buttonville	No	\$5,000.00	Up to \$4,206.43	\$4,206.43	Grant assistance is requested for structural repairs to the floor decks of the north and south facing covered porches. However, these porches are not part of the original house and were constructed as part of a new addition to the heritage building undertaken by David Wylie when the house was relocated to the property from another location. This technically does not make them eligible for grant funding but due to the visibility of these features and the quality of the design, the Manager of Heritage Planning may at their sole discretion determine them to be culturally significant heritage features.
42 George Street, Markham Village	No	\$4,407.00	Up to \$4,407.00	\$8,613.42	Grant assistance is requested for the repair and restoration of the brick and stucco of the early 20 <sup>th</sup> century portion of the house and for the construction of the new foundation. Only Type 'A' buildings in the Markham Village Heritage Conservation District are considered eligible for grant funding, but the house at 42 George Street has been identified as a Type 'B' structure. Despite its classification, demolition of this early 20 <sup>th</sup> century building would have been vigorously opposed by Heritage Staff, Heritage Markham and the neighbourhood. Funding for the construction of the foundation is not supported as it does not preserve any heritage feature of the house and payment of the grant should be conditional on the cost of the foundation being broken out of the invoice for the cost of the work.
819 Bur Oak Avenue, Markham	Yes	\$2,758.33	\$2,758.33	\$11,371.76	Grant assistance is requested to repair and recondition the historic second floor windows and to produce wooden storm windows.

14 Eureka Street, Unionville	Yes	\$5,000.00	\$5,000.00	\$16,371.76	Grant assistance is requested to repair the floor structure of the historic front veranda.
131 Main Street Unionville (Central United Church)	Yes	\$5,000.00	Up to \$5,000.00	\$21,371.76	Grant assistance is requested to repair and protect the historic stained glass windows of the church. Only one quote was provided due to the specialized nature of the work.
20 Union Street, Unionville (Bethesda Lutheran Church)	Yes	\$4,859.00	\$4,859.00	\$26,230.76	Grant assistance is requested to replace damaged brick and repointing of the north and west wall of the church.

## Designated Heritage Property Grant Application

<b>Name</b>	Stephanie Ho
<b>Address</b>	1 Millbrook Gate
<b>Status</b>	Part IV dwelling in Buttonville HCD
<b>Grant Project</b>	Structural repairs to floor deck of the north and south verandas of the new addition
<b>Estimate 1</b>	Camrod Canadian Corp \$8,412.85
<b>Estimate 2</b>	Cost Plus Contracting \$20,000.00
<b>Eligibility</b>	Not technically eligible because they are not heritage elements, but they may be considered to be culturally and architecturally significant.
<b>Conditions</b>	Work would require a building permit, and it must be determined if repairs are warranted
<b>Previous Grants</b>	No
<b>Comments</b>	Recommended for approval-staff must confirm whether repairs are required.
<b>Grant Amount</b>	Up to \$4,206.43



## Designated Heritage Property Grant Application

<b>Name</b>	Brad and Jessica Dever
<b>Address</b>	42 George Street, Markham Village
<b>Status</b>	Part V designated, Type 'B' building in Markham Village HCD
<b>Grant Project</b>	Repairs to early 20 <sup>th</sup> century brick and stucco cladding and construction of new foundation
<b>Estimate 1</b>	Angelone Homes \$12,068.40
<b>Estimate 2</b>	Mez-Van Masonry Inc. \$8,814.00
<b>Eligibility</b>	Technically the building is not eligible because only Type 'A' buildings in the Markham HCD are eligible for funding. If recommended for funding only the repairs to the brick and stucco should be eligible for siding as the new foundation does not preserve or replicate a heritage feature.
<b>Conditions</b>	Quotation would have to be broken down to subtract cost of foundation
<b>Previous Grant</b>	No
<b>Comments</b>	Recommended for Approval up to \$4,407.00 conditional on the cost of the foundation work being broken out of the final cost of the work.
<b>Grant Amount</b>	Up to \$4,407.00



## Designated Heritage Property Grant Application

<b>Name</b>	Jayaswal Preeti
<b>Address</b>	819 Bur Oak Avenue
<b>Status</b>	Part IV live work dwelling in Markham
<b>Grant Project</b>	Repair and reconditioning of historic second floor windows and production of wooden storm windows.
<b>Estimate 1</b>	Jimmy Chen, Schell Lumber, Artefacts Salvage \$5,516.66
<b>Estimate 2</b>	Po, Hoffmeyers Mill, Killian Hardware Co, \$10,159.69
<b>Eligibility</b>	Proposed work meets the eligibility requirements of the program
<b>Conditions</b>	Proposed work must be approved by a Heritage Permit
<b>Previous Grants</b>	No
<b>Comments</b>	Recommended for Approval
<b>Grant Amount</b>	\$2,758.33



**Designated Heritage Property Grant Application**

<b>Name</b>	Lake and Deborah Trevelyan
<b>Address</b>	14 Eureka Street
<b>Status</b>	Part V Class 'A' dwelling in the Unionville HCD
<b>Grant Project</b>	Structural repair of front veranda floor deck
<b>Estimate 1</b>	EllisCo \$14,464.00
<b>Estimate 2</b>	Evergreen Carpentry Services Ltd. \$14,831.25
<b>Eligibility</b>	Proposed work meets eligibility requirements of the program
<b>Conditions</b>	Building Permit/ Heritage Permit
<b>Previous Grants</b>	No
<b>Comments</b>	Recommended for Approval
<b>Grant Amount</b>	\$5,000.00



## Designated Heritage Property Grant Application

<b>Name</b>	Randy Holmes Trustees of Central United Church
<b>Address</b>	131 Main Street Unionville
<b>Status</b>	Part V designated heritage church
<b>Grant Project</b>	Restoration and protection of historic stained glass windows
<b>Estimate 1</b>	Rainbow Makers Stained Glass \$14,690.00
<b>Estimate 2</b>	None provided
<b>Eligibility</b>	Proposed work meets eligibility requirements but two quotes are required
<b>Conditions</b>	Proposed work requires a Heritage Permit
<b>Previous Grants</b>	Yes, in 2014 and 2016
<b>Comments</b>	Recommended for Approval subject to a second quote being provided.
<b>Grant Amount</b>	Up to \$5,000.00



## Designated Heritage Property Grant Application

<b>Name</b>	Bethesda Lutheran Church
<b>Address</b>	20 Union Street
<b>Status</b>	Part V designated heritage dwelling in the Unionville HCD
<b>Grant Project</b>	Repairs to historic masonry of north and west walls
<b>Estimate 1</b>	Hulshof Masonry \$12,904.60
<b>Estimate 2</b>	Fiorini Masonry & Repair \$ 9,718.00
<b>Eligibility</b>	Proposed work meets eligibility requirements of the program
<b>Conditions</b>	Heritage Permit
<b>Previous Grants</b>	No
<b>Comments</b>	Recommended for Approval
<b>Grant Amount</b>	\$4,859.00



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## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Peter Wokral, Heritage Planner

**DATE:** April 11, 2018

**SUBJECT:** Commercial Façade and Signage Improvement Grant Program  
Review of 2018 Grant Applications

### Background

- The City created the Commercial Façade Improvement and Signage Replacement Grant Program in 2004 to assist in the exterior improvement of privately owned buildings in commercial use located within the City's heritage conservation districts;
- In 2015, the program was expanded to make buildings individually designated under Part IV of the Ontario Heritage Act, and in commercial use, eligible for grant funding, provided the property meets all other eligibility requirements of the program. Previous to this change, only commercial properties located within the City's four heritage conservation districts were considered to be eligible for grant funding;
- This Program was advertised in the winter of 2018 with a deadline for applications of March 29, 2018;
- The City has received five applications;
- These applications must be reviewed by Heritage Markham as part of the approval process;
- Currently, there is \$25,000 in the 2018 grant budget for this program;
- The requested grants in the five submissions total \$16,009.83;
- Four of the five requested grants totalling up to \$12,278.33 are recommended for approval subject to certain conditions;
- One of the requested grants is not recommended for approval because it does not meet the eligibility requirements of the program.

The applications and the amount of grant assistance requested are as follows:

Address	Description of Work	Grant Request
2977 16 <sup>th</sup> Ave.	<ul style="list-style-type: none"> <li>• Installation of historically appropriate windows in the addition to the heritage dwelling.</li> </ul>	\$5,068.00

83 Main Street North Markham Village Heritage Conservation District	<ul style="list-style-type: none"> <li>Repairs to storefront and sign</li> </ul>	\$1,132.83
87 Main Street North Markham Village Heritage Conservation District	<ul style="list-style-type: none"> <li>Repair of concrete sidewalk steps and curbing in front of store</li> </ul>	\$3,672.50
11 Joseph Street Markham Village Heritage Conservation District	<ul style="list-style-type: none"> <li>Replacement of the steel entrance door and replacement of bricks and pointing of masonry walls, and levelling of interlocking pavers.</li> </ul>	\$3,961.25
76 Main Street North Markham Village Heritage Conservation District	<ul style="list-style-type: none"> <li>Replacement and repointing of historic brick</li> </ul>	\$2,175.25

### **Staff Comments**

#### ***2977 16th Avenue***

- The subject property is an individually designated heritage property located north of the Buttonville Heritage Conservation District;
- The applicant is seeking grant funding to replace modern windows installed in the addition to the historic structure which are now failing.
- The proposed work is eligible for funding up to a maximum of \$5,000.00 because the proposed work is not on the heritage portion of the building;
- Not all of the windows are visible from the public realm;
- Staff recommends funding for the project provided the new windows are a substantial improvement from the current windows, such as replacing windows with a snap-in grill with new windows having true divided lites or exterior adhered muntin bars.

#### ***76 Main Street North***

- The subject property is a Class A heritage property located in the Markham Village Heritage Conservation District;
- The proposed work is eligible for funding under the Commercial Façade Improvement Grant Program;
- Staff recommends grant funding up to \$2,175.25 for the proposed work subject to the applicant obtaining a heritage permit;

**83 Main Street North**

- The subject property is a Type B non-heritage structure located in the Markham Village Heritage Conservation District;
- The grant request is for \$1,132.83 to replace rotten trim with new trim and to paint the façade;
- The proposed work meets the eligibility requirements of the program;
- Staff recommends funding up to \$1,132.83;

**87 Main Street North**

- The subject property is a Type A commercial heritage property located in the Markham Village Heritage Conservation District;
- The grant request is for \$3,672.50 to replace repair damaged concrete steps and curbing in front of the building;
- The proposed work and application does not appear to meet the eligibility requirements of the program as the proposed work does not propose to restore a heritage attribute, or façade features of the building;
- The applicant claims that damage to the exterior concrete curbing, as well as damage to interior features such as the terrazzo floor, a crack in the glass of the interior display case, and the gap between the front door and the frame are the result of the recent streetscape improvements to Main Street North. If so, other sources of compensation should be pursued rather than the Façade Improvement Grant Program;
- Structural repairs that provide for the long term use of the building could be considered eligible for grant funding, but the quotes provided by the applicant only relate to cosmetic patching up elements not considered to be part of the facade
- Staff recommends that Heritage Markham not support any grant assistance for the proposed work to this property.

**11 Joseph Street**

- The subject property is a Type C non-heritage property located in the Markham Village Heritage Conservation District;
- The proposed new steel front door to replace the existing steel front is considered to be eligible for funding;
- The proposed levelling of the surrounding interlocking pavers is not eligible work as it is not part of the facade;
- The repairs to the exterior brick wall can be considered eligible for grant funding provided that the owner reinstates drain pipes that previously directed water away from the exterior walls and would have prevented the damage caused to the masonry walls;
- Staff recommends that Heritage Markham supports grant assistance for the proposed door replacement and completed work on the brick walls but that the cost of levelling the abutting interlocking brickwork, which is not part of the façade be broken out of the invoiced cost of the work;

## **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham supports a matching grant of up to \$5,000.00 for the installation of historically appropriate new windows on the non-heritage portion of the building at 2977 16th Avenue subject to the new windows being a substantial improvement to the current windows and the applicant obtaining a heritage permit;

THAT Heritage Markham supports a matching grant of up to \$2,175.25 for the selective replacement of damaged bricks and repointing of the masonry walls of 76 Main Street North subject to the applicant obtaining a heritage permit;

THAT Heritage Markham supports \$1,132.83 of grant assistance for the proposed replacement of rotting trim and painting of the façade at 83 Main Street North;

THAT Heritage Markham does not support grant assistance for the proposed repairs of the exterior concrete curbing and steps of 87 Main St. North because these are not considered to be significant heritage attributes, or a façade feature of the building;

THAT Heritage Markham supports grant assistance for the replacement of the steel entrance door at 11 Joseph Street provided that it reflects a traditional commercial door design and is approved by a heritage permit;

THAT Heritage Markham supports grant assistance for the repairs made to the exterior masonry walls at 11 Joseph Street, provided that the owner obtains a heritage permit to permanently re-install drainage pipes that previously directed water away from the exterior walls and that the cost of levelling the adjacent interlocking pavers is broken out of the invoiced cost to the repairs of the brick walls;

THAT Heritage Markham does not support grant assistance for the releveling of the interlocking pavers that abut the exterior walls of 11 Joseph Street because they are not considered to be part of the façade.

**Summary of 2018 Commercial Façade Improvement Grant Requests**

2977 16<sup>th</sup> Avenue

**Status:** Part IV Designated Building in Buttonville



Proposed Work	Quote 1	Quote 2
Installation of historically appropriate windows in the new addition to the heritage dwelling	Fieldstone Windows Inc.	Thermo-Bilt
Total Cost	\$23,318.10	\$10,136.00

**Staff Comment:** Staff supports up to funding up to \$5,000.00 if the new windows constitute a substantial improvement to the façade such as replacing windows with a snap in grill with exterior simulated divided lites. Grant funding would be subject to the applicant obtaining a heritage permit for the proposed work.

76 Main Street North

Status: Class 'A' heritage building (Markham Village Heritage Conservation District).



Proposed Work	Quote 1	Quote 2
<ul style="list-style-type: none"> <li>Replacement of damaged historic bricks and repointing of exterior brick walls.</li> </ul>	Red Robin Masonry	Three Little Pigs Masonry
Total Cost	\$4,350.50	\$28,024.00

Staff Comment: the proposed work is eligible for up to \$2,175.25 worth of grant funding subject to the applicant obtaining a heritage permit for the proposed work.

**83 Main Street North**

**Status:** Class 'B' building in the Markham Village Heritage Conservation District.



Proposed Work	Quote 1	Quote 2
<ul style="list-style-type: none"> <li>Replacement of rotten trims of sign and windows with new trim and re-painting of the façade.</li> </ul>	Paul Leonard	Titan Decorating Mathew Chevolleau
Total Cost	\$5,000.00	\$2,265.65

**Staff Comment:** The proposed work is considered eligible for up to \$1,132.83 of grant funding.

**87 Main Street North**

**Status:** Class ‘A’ heritage building (Markham Village Heritage Conservation District).



Proposed Work	Quote 1	Quote 2
<ul style="list-style-type: none"> <li>Repair of concrete sidewalk and curbing in front of store</li> </ul>	Casa Loma Masonry Inc.	Contractors Masonry Ltd.
Total Cost	\$7,345.00	\$9,379.00

**Staff Comment:** the proposed work is not eligible for funding because the concrete front steps and curbing is not considered to be a heritage attribute, or façade feature of the building. Heritage Staff does not recommend grant funding for the proposed work.

## 11 Joseph Street

**Status:** Type 'C' building in the Markham Village Heritage Conservation District.



Completed and proposed work	Quote 1	Quote 2
<ul style="list-style-type: none"> <li>Replacement of damaged brick and repointing of brick walls (completed in 2017).</li> </ul>	Case Loma masonry Inc. \$6,102.00	Contractor's Masonry Ltd. \$7,797.00
<ul style="list-style-type: none"> <li>Proposed replacement of existing steel entrance door with new similar steel entrance door</li> </ul>	Edmunds Home Improvements \$1,820.50	Osten Group Inc. \$2,604.65
<b>Total Cost</b>	<b>\$7,940.50</b>	<b>\$10,401.65</b>

**Staff Comment:** the application is considered eligible for up to \$3,970.25 of grant funding provided that the owner obtains a heritage permit to permanently re-install drainage pipes which previously directed water drained from the roof away from the masonry walls (see picture above), and that the cost of re-leveling the interlocking brickwork is broken out of the cost to repair the brickwork.

**City of Markham  
Commercial Façade Improvement  
Grant Program**

**February 2018**



**Planning and Urban Design  
Heritage Section**

## Commercial Façade Improvement Grant Program

### 1.0 Purpose of the Program

The purpose of the program is to facilitate a physical upgrading of privately owned buildings in commercial use located within the City of Markham's heritage districts or individually designated under Part IV of the Ontario Heritage Act. The objectives of the program include:

- To encourage the restoration and improvement of commercial building facades in the heritage districts/ main street areas;
- To provide financial assistance to both heritage and non-heritage buildings in commercial use;
- To encourage substantive improvements rather than short-term, cosmetic "patch-ups";
- To help stimulate the revitalization of the central historic core areas in the municipality.
- To promote joint public/private action and investment, which will complement and enhance streetscape and other municipal service improvements being carried out by the City and other groups.

## 2. Eligibility

### 2.1 Eligible Areas

Commercial properties located in the City's Buttonville, Markham Village, Thornhill and Unionville heritage conservation districts, as well as properties outside of these districts individually designated under Part IV of the Ontario Heritage Act in commercial use are eligible for the program.

### 2.2 Eligible Applicants

Owners and tenants of commercial property are eligible to apply for assistance. Tenants are required to provide documentation of the property owner's consent to the improvements. Written consent may be either in the form of a lease indicating the lessee's authority for property renovation and repair, or written documentation of the property owner's agreement to the proposed rehabilitation.

### 2.3 Eligibility Requirements

- The subject property must not be in default of any municipal taxes, local improvements or any other money payable to the City (fees or penalties). The property must not be the subject of a contravention, work order or outstanding municipal requirements (subject to the satisfaction of the Commissioner of Development Services). A contravention is defined as "an offence under a municipal by-law, Act or regulation for which enforcement proceedings have been commenced that relates specifically to the building or land for which a grant is sought or given".

- **Only proposed work, and work already approved by the City commenced between March 28, 2017 and the current year's deadline may be considered eligible for grant assistance.**
- Existing use of property must be in conformity with applicable zoning by-law regulations and other relevant planning controls.

### **3.0 Grant Information**

#### **3.1 Amount of Grant Assistance**

The assistance is in the form of a 50/50 matching grant, which is paid upon completion of the previously approved work. Approved applicants who undertake at least \$500 in improvements are eligible for a grant of up to 50% of the costs with a maximum limit of \$10,000 per property for eligible work. Buildings identified as heritage structures would be eligible for an additional \$5,000 in matching grant assistance.

An applicant may use the City of Markham Loan Fund as part of the matching component for grant assistance.

Two separate estimates for the same scope of work are to be provided by a professional/licensed contractor other than the owner. The grant will be calculated based upon the lowest estimate, and will not address cost increases or over runs.

#### **3.2 Frequency of Grant**

A commercial establishment may receive one grant per calendar year. If a grant is provided, the work must be completed and inspected before another grant is considered by the municipality.

#### **3.3 Completion of Work**

Grant commitments are valid for one (1) year and expire if the work is not completed within that time period. This timeframe may be extended at the discretion of the municipality.

#### **3.4 Protecting the Public's Investment**

As a condition of any grant of \$5,000 or more, the property owner will be required to enter into a façade easement agreement, in perpetuity, with the municipality. Recipients of public financial assistance will be required to guarantee the conservation of the subject property by accepting this form of legal protection.

### **4.0 Eligible Improvements**

For this program, "façade" is defined as follows:

"The entire exterior front surface of a building which abuts the street from grade to eave or fascia line. Improvements above the storefront level,

including roof repairs and roof replacement, are only eligible when performed in conjunction with storefront improvements.

Where a building abuts two streets or an alley, empty lot, parking area or open space, such building may have other faces considered facades if the City, at its sole discretion, determines they are highly visible”.

In the City of Markham, a number of former residential buildings have been converted to commercial uses, such as in the core area of old Unionville. These forms of buildings are also considered eligible for assistance under this grant program.

#### **4.1 Heritage Properties**

Eligible facade improvements on **heritage properties** may include:

- Repair or restoration of original features (cornices, parapets, eaves, other architectural features)
- Repair, restoration or replacement of windows and doors
- Cleaning of masonry in a sensitive manner where proven necessary (excluding sandblasting)
- Re-pointing of masonry in a traditional manner
- Removal of non-original siding or facing
- Removal of inappropriate signage
- Repair or restoration of authentic historic storefront treatment
- Painting in original or period colours
- Exterior lighting improvements
- Awnings
- Installation of new signage in accordance with the City's Sign By-law for Special Sign Districts
- Structural improvements necessary for continued use
- Other capital improvements which the City, in its sole discretion, determines are important to incorporate as an integral part of the total façade improvement design

#### **4.2 Non-Heritage Properties**

Eligible façade improvements on **non-heritage properties** may include:

- Renovation of existing commercial storefronts in accordance with standard principles of traditional storefront design (fascia board for signage above storefront, appropriate display windows, removal of incompatible alterations, etc.)
- Improvements to the principal facades of incompatible buildings being sympathetic and compatible with the historic character of the area and the policies of the heritage conservation district plan
- Re-cladding in more traditional materials complementary to the district character

- Installation of traditional awnings
- Other capital improvements which the City, in its sole discretion, determines are important to incorporate as an integral part of the total façade improvement design

#### **4.3 Ineligible Projects**

The following types of work are not grant eligible:

- Manufacture of commemorative plaques
- Insulation
- Restoration or renovation of building interiors
- Structural works to the exterior to accommodate modern renovations
- Sandblasting of brick
- Security systems
- Interior window coverings
- Non-permanent fixtures
- Murals

#### **4.4 Eligible Expenses**

Eligible costs shall be the cost of materials, equipment and contracted labour to complete eligible improvements, as supported by invoices to the satisfaction of the City. Labour provided by the applicant or tenant of the building will not be an eligible cost. Other reimbursable expenses include professional, legal and architectural/ design fees, to a maximum grant of \$1,000.

#### **4.5 Eligibility Considerations**

The following considerations will apply when reviewing all applications for grant assistance:

- a) The project must comply with the policies and guidelines of the area's heritage conservation district plan;
- b) Preference will be given to applications proposing work on heritage properties;
- c) On heritage properties, conservation and restoration of original architectural features will occur to the extent possible;
- d) There will be a monetary participation by the applicant (for eligible work) equivalent to that being requested from the City;
- e) The grant program should not reward poor stewardship.

### **5.0 Application Details**

#### **5.1 Application Deadline**

Grants are to be awarded on an annual cycle following a request for applications within an established deadline. Applications for this program will be due on or before a date identified by the municipality.

## **5.2 Application Requirements**

### **1. Application Form**

The applicant is required to fill out an application form available from the Planning and Urban Design Department (Markham Civic Centre). The applicant is encouraged to engage a professional (architect, engineer or designer) to assist with decisions on façade improvements and provide the necessary drawings.

### **2. Information to Accompany Application**

The application must include all the details necessary for a full understanding of the proposed work, and is to include:

- a) A professional scaled drawing of the building showing the proposed improvements, including any specific details as may be required by the Planning and Urban Design Department. Depending on the nature and extent of the work, a building permit and the required drawings may be required.
- b) Samples of proposed materials or colours, and any product information.
- c) Two (2) professional estimates of the costs of the proposed improvements.

## **5.3 Application Process**

The Commercial Façade Improvement Grant Program will be administered by Markham's Planning and Urban Design Department. Given that eligible properties are either individually designated under Part IV of the Ontario Heritage Act or are commercial properties in the heritage districts, the Heritage Planning Section will co-ordinate the program.

### ***Step 1. Determine if you are eligible (pre-application consultation)***

Prior to submitting a formal application for financial assistance, it is recommended that the following steps be undertaken:

- a) Determine if the property is eligible to receive funding. Contact the Heritage Section.
- b) Discuss any restoration or rehabilitation proposal with the Building Department to determine any zoning or other building regulations.
- c) Discuss any restoration or rehabilitation proposal with a Heritage Section staff member
- d) If an application appears advisable, consider reviewing it with Heritage Markham for feedback purposes.
- e) Secure a grant application form from the Development Services Counter, online or by contacting Heritage Section staff and complete and return it with the necessary documentation.

This pre-application consultation stage should help to avoid ineligible proposals.

**Step 2. Submit your application**

Submit a completed application with all required materials before the deadline date. Required information includes 2 estimates from licensed contractors for the same work, proper drawings of the work to be undertaken, and a photograph of the building's façade(s).

**Step 3. Staff Review**

The application will be reviewed to ensure that it meets all the eligibility requirements, including confirmation that no municipal requirements are outstanding.

**Step 4. Grant Review Committee**

The review of all grant applications will be undertaken by a grants review committee comprised of Planning and Urban Design staff. All applications will be forwarded to Heritage Markham for its consideration and recommendation. The grants review committee may recommend one or more applications to Council for approval, through the Development Services Committee. The submissions will be reviewed against a set of criteria, and grants will be recommended for the most deserving project(s). The focus of the program is to encourage substantive improvements rather than short-term cosmetic "patch-ups".

**Step 5. Approval by Council**

All grants will require approval by Council, through the Development Services Committee.

**Step 6. Notification/ Legal Agreement**

Applicants who secure grant approval will be required to enter into a Grant Agreement / Letter of Understanding with the municipality. This agreement establishes a formal arrangement between the applicant and the City and outlines the amount of the grant, and the project completion date. The agreement must be signed and returned to the City. If an application is unsuccessful, a letter will be sent confirming that a grant will not be issued.

**Step 7. Undertaking the Improvements**

Nothing contained in the grant application procedures or approval relieves the applicant from obtaining all necessary municipal planning and building department approvals. All work must be carried out in accordance with the requirements of the Ontario Building Code and municipal by-laws.

The applicant is required to contact the municipality concerning any changes to the project which are proposed during the course of the work.

**Step 8. Issuing the Grant**

Grants will not be payable until such time as all work has been completed to the satisfaction of the City. When the work to the building's façade has been

completed, the applicant must submit copies of all paid invoices for approved work as well as photographs of the new façade.

Heritage Section staff will be responsible for the inspection of all grant-assisted properties to ensure that works have been completed in accordance with the terms of the application as reviewed by Heritage Markham and approved by Council.

If the cost of the completed work is less than the approved amount, a cheque will be issued for 50% of the new costs.

The City reserves the right to reduce the amount of the grant upon completion of the project where it is of the opinion that unapproved modifications diminish the beneficial effects of the project.

## **6.0 General Information**

### **6.1 Funding Availability**

Funding for this grant program will be considered on an annual basis by Markham Council as part of its overall annual budget process. Individual grants are approved subject to the availability of funding.

### **6.2 Continuation of the Program**

The City, in its sole discretion, may change or discontinue this program at any time.

#### **For further information, please contact:**

Heritage Section  
Planning and Urban Design Department  
City of Markham  
101 Town Centre Boulevard  
Markham ON, L3R 9W3

905-477-7000, ext. 7955

905-475-4739 (FAX)

[pwokral@markham.ca](mailto:pwokral@markham.ca)



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Regan Hutcheson, Manager-Heritage Planning

**DATE:** April 11, 2018

**SUBJECT:** Review of Properties on Wales Avenue, south of Gleason Avenue

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### Background

- At the March 2018 meeting of Heritage Markham, the committee discussed if staff should investigate whether 15 Wales Avenue meets the criteria to have it added to the Heritage Register. The subject property is located outside the boundaries of the Markham Village Heritage Conservation District.
- Heritage Markham recommended that staff report back on the residential homes on the east side of Wales Avenue south of Gleason Avenue with respect to whether any of the dwellings meet the criteria to have them added to the Heritage Register

### Staff Comment

- Heritage section staff has prepared a document (attached) providing the dates of construction for all properties on Wales Avenue (both sides) south of Gleason Avenue. This data is taken from MPAC. Also included are photos of each dwelling and a few streetscape photographs. All of these properties are outside of the current heritage district.
- Two of the properties date from the early part of the 20<sup>th</sup> century (1908, 1928) with the remaining properties mainly dating from after WWII:

Time Period	Number
Pre- 1930	2
1940-1955	10
Post 1960	5
Total	17

- According to the existing Register, the City has listed or individually designated some properties from the 1930s, the 1940s and the 1950s:

Period	Number
1930s	24
1940s	7
1950s	4

\*\*These properties do not include properties in heritage conservation districts

- The criteria that Heritage Markham has been using for adding properties to the Heritage Register has been attached as Appendix “A” to this memo. It is similar to the Province’s Regulation 9/16 used for determining cultural heritage value when considering individual designation. (See Appendix “C”).
- Section 27 of the Ontario Heritage Act indicates that a municipality shall keep a register of property situated in the municipality that is of cultural heritage value or interest. The register must contain all Part IV (individual designations) and **may also include property that has not been designated, but that the council believes may have cultural heritage value or interest**. If the municipality has appointed a municipal heritage committee (such as Heritage Markham), the council must consult with the committee before including a property on the register or removing the reference to such a property from the register.
- Being a non-designated property on the Register allows a request for demolition to be delayed for 60 days. Section 27 (3) indicates:
 

*“If the property included in the register under subsection (1.2) has not been designated under Section 29, the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the council of the municipality at least 60 days notice in writing of the owner’s intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure”*
- Requests to list a property on the municipal register may come from anyone including the general public, property owners, municipal heritage committees, staff, resident associations or historical societies. However, only Council, after consulting with its municipal heritage committee, can add a property to the register.
- Although detailed research and evaluation is not required to list a property, it is recommended by the Ministry of Culture that a brief rationale be provided as to why the resource may be important to the community.
- If Heritage Markham wishes to add specific properties from Wales Avenue to the Register, information is provided in Appendix “B”.

## **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham Committee receive as information.

Or

THAT Heritage Markham Committee recommends that the following properties be added to the Markham Register of Property of Cultural Heritage Value or Interest:

Property Address

XXX

Reason for Listing

XXX

File: Q:\Development\Heritage\SUBJECT\INVENTORY\Changes and Additions\Hm April 2018 Wales Ave.doc

**Appendix “A”**

**MARKHAM REGISTER OF PROPERTY OF CULTURAL HERITAGE VALUE OR INTEREST  
(formerly the HERITAGE MARKHAM BUILDING INVENTORY)  
CRITERIA FOR SELECTING PROPERTIES OF HISTORICAL  
OR ARCHITECTURAL VALUE IN MARKHAM**

**1. Historical Value**

A property or the building or other structure which stands on it, has historical value when one or more of the following criteria are satisfied:

- a) It dates from an early age in the development of the City’s communities.
- b) It is an outstanding, representative, early, only or rare example of the work of an architect, builder, landscape architect, interior designer, sculptor, engineer or other environmental designer.
- c) It is associated with (an) owner/occupant(s) who had importance locally or had influence in a broader geographical area.
- d) It served as the place of an event or movement important locally or to a broader geographical area.
- e) It is associated with, and effectively illustrates, the City's social, cultural, political or economic history. Included in this criterion would be: 1) meeting places such as town halls, railway stations, schools and places of worship; and 2) farmsteads.
- f) It affords or protects a significant natural view associated with local history.
- g) It meets such other criteria as may be determined from time to time.

**2. Architectural Value**

A property, or the building or other structure which stands on it, has architectural value when one or more of the following criteria is satisfied:

- a) It represents an outstanding, typical, early, only or rare method of construction.
- b) It is an outstanding, typical, early, only or rare example of an architectural style, period or type of building or structure.
- c) It exhibits an outstanding, aesthetic exterior design.
- d) It functions as a landmark, terminates a view or contributes in design to a streetscape or plan.
- e) it provides the open space needed to allow for visual appreciation of a building, a structure or a group of buildings or other structures, that is deemed to have historical or architectural value by any of the above criteria.
- f) It offers an outstanding, typical, early, only or rare form of interior design.
- g) It meets such other criteria as may be determined from time to time.

**NOTES**

The above architectural criteria will be judged against the building’s or the structure's surviving integrity. Integrity means a composite quality derived from original materials, original workmanship, original location and intangible elements of feeling and association. Buildings include houses, barns, driving sheds, churches, meeting houses, town halls, schools, railway stations, hotels, stores, post offices and industrial buildings. Other structures include fences, bridges and village pumps.

A property selected for inclusion in the Markham Register of Property of Cultural Heritage Value or Interest (formerly the "Heritage Markham Building Inventory") is considered to have architectural or historical value in relation to:

- a) all buildings and structures in the City, or
- b) the historical community in which it is located (e.g. rural, Victoria Square, the Thornhill area), or
- c) all buildings in a heritage conservation district or heritage conservation district study area, or
- d) such other context as may be defined from time to time.

The perception of members of the City's various communities has influence in the determination of historical and architectural value.

Heritage Markham June 25, 1986

Revised as needed since 1986 to update terminology (eg. Town to City)

## Appendix "B"

Potential Additions to Markham Register of Properties of Cultural Heritage Interest or Value  
– April 2018

Address	Type of Resource	Date	Reason for Listing
17 Wales Ave	Dwelling	1908	1(a), 2(b)
15 Wales Ave	Dwelling	1928	1(a), 2(b)

**1940s period (primarily due to age 70 years average)**

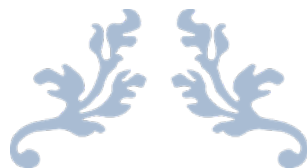
Address	Type of Resource	Date	Reason for Listing
20 Wales Ave	Dwelling	1941	1(a), 2(b), 2(d)
16 Wales Ave	Dwelling	1946	1(a), 2(b)
14 Wales Ave	Dwelling	1947	1(a), 2(b)
12 Wales Ave	Dwelling	1949	1(a), 2(b)
19 Wales Ave	Dwelling	1949	1(a), 2(b)
9 Wales Ave	Dwelling	1948	1(a), 2(b)

## Ontario Ministry of Culture's Designation Criteria

The Government of Ontario on January 25, 2006 passed a regulation (O.Reg. 9/16) which prescribes criteria for determining a property's cultural heritage value or interest for the purpose of designation. Municipal councils are permitted to designate a property to be of cultural heritage value or interest if the property meets the prescribed criteria.

The purpose of the regulation is to provide an objective base for the determination and evaluation of resources of cultural heritage value. The prescribed criteria help ensure the effective, comprehensive and consistent determination of value or interest by all Ontario municipalities. The criteria are essentially a test against which properties can be judged; the stronger the characteristics of the property compared to the standard, the greater the property's cultural heritage value. **The property may be designated if it meets one or more of the criteria.**

- The property has **design value or physical value** because it:
  - Is a rare, unique, representative or early example of a style, type expression, material or construction method,
  - Displays a high degree of craftsmanship or artistic merit,
  - Demonstrates a high degree of technical or scientific achievement.
  
- The property has **historical value or associative value** because it:
  - Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;
  - Yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
  - Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community
  
- The property has **contextual value** because it:
  - Is important in defining , maintaining or supporting the character of an area
  - Is physically, functionally, visually or historically linked to its surroundings
  - Is a landmark



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# WALES AVENUE

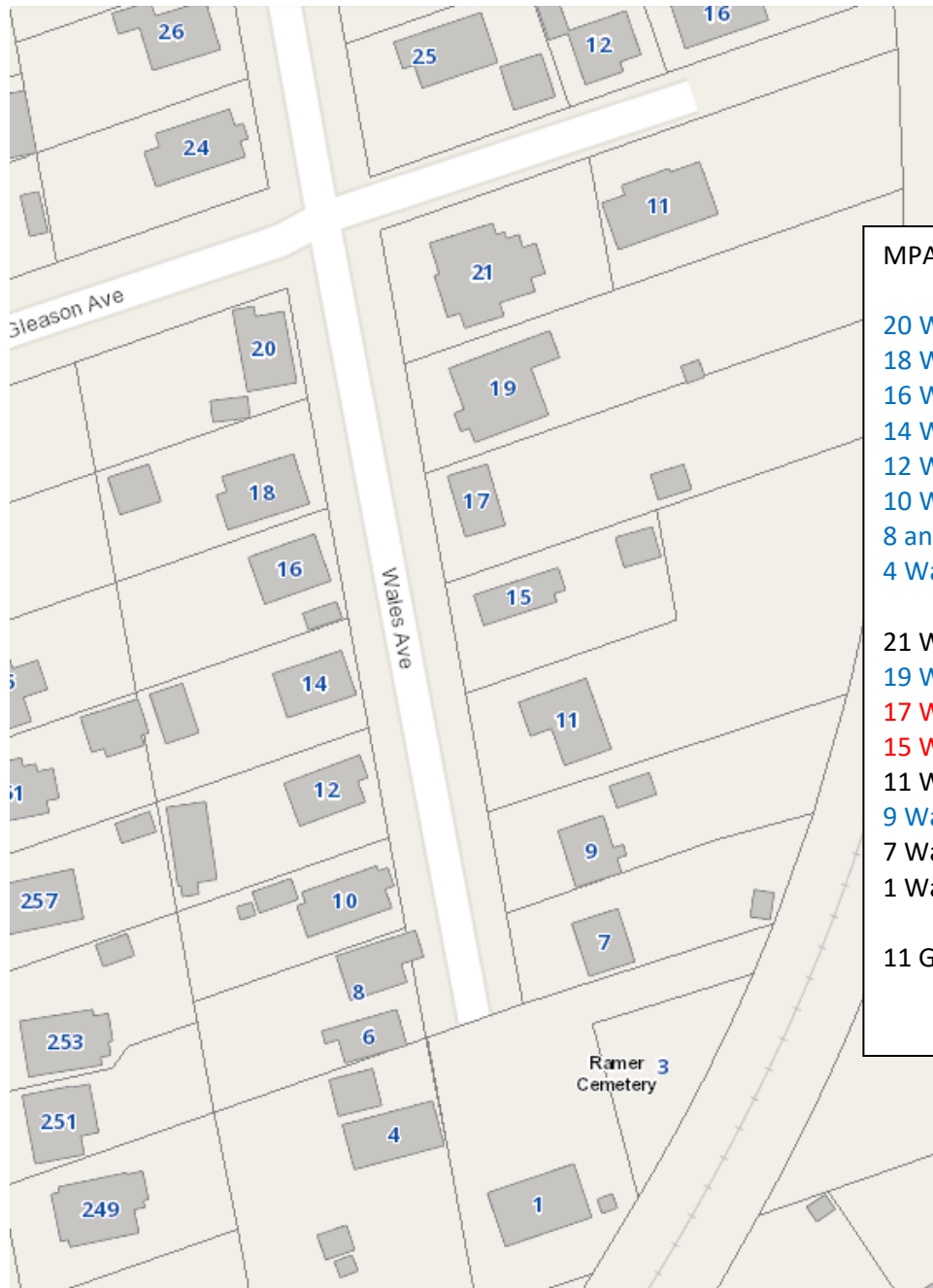
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South of Gleason Avenue



APRIL 4, 2018  
CITY OF MARKHAM  
Heritage Section

Review of Wales Avenue, south of Gleason Avenue



MPAC Date of Construction	
20 Wales Ave	1941
18 Wales Ave	1953
16 Wales Ave	1946
14 Wales Ave	1947
12 Wales Ave	1949
10 Wales Ave	1951
8 and 6 Wales Ave	1950
4 Wales Ave	1952
21 Wales Ave	1980
19 Wales Ave	1949
17 Wales Ave	1908
15 Wales Ave	1928
11 Wales Ave	1961
9 Wales Ave	1948
7 Wales Ave	1966
1 Wales Ave	1976
11 Gleason	1970

## **Photographs of Dwellings**

**Photos from Google Street View 2015 unless otherwise noted  
Earlier Street Views were used when vegetation obstructed the dwelling**

20 Wales Ave (age: 1941)



18 Wales (age: 1953)



16 Wales (age: 1946)



14 Wales (age: 1947)



12 Wales (age: 1949)



10 Wales (age: 1951)



8 and 6 Wales (age: 1950)



4 Wales – at the end of the street (age: 1952)



1 Wales – at the end of the street (age: 1976)



21 Wales (southeast corner at Gleason) (age: 1980)



19 Wales (age: 1949)



17 Wales (photo: 2009) (age: 1908)



17 Wales (photo: 2015) (age: 1908)



15 Wales (age: 1928)



15 Wales (age: 1928)



11 Wales (photo: 2009) (age: 1961)



9 Wales (photo: 2009) (age: 1948)



7 Wales (photo: 2009) (age: 1966)



11 Gleason (age: 1970)



Streetscape West Side (photo:2009 - No leaves)



Streetscape East Side 2009 - No leaves)



Wales Avenue looking south from Gleason Avenue



Q:\Development\Heritage\PROPERTY\WALES\Wales outside of HC District\Wales Ave date of construction south of Gleason 2018 MPAC.doc