

YORK REGION STANDARD
CONDOMINIUM PLAN N°LEVEL 1
UNITS 1 TO 116 INCLUSIVEREGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF
YORK REGION (No. 65) AT 0'CLOCK ON THE
DAY OF _____

ASSISTANT DEPUTY LAND REGISTRAR

SURVEYOR'S CERTIFICATE:

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1980, THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 18TH DAY OF OCTOBER, 2009.
 3. THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATE: JANUARY 5, 2010

 D. WRET
 Ontario Land Surveyor

DECLARATION REGISTERED AS N°:

THIS PLAN IS COMPRISED OF ALL OF P.L.N. 02937-1982(LT)

Schedule of APPURTENANT AND SERVIENT INTERESTS
(PURSUANT TO CLAUSES 9 (1) (G) AND (H) OF THE CONDOMINIUM ACT 1980)

PART	PLAN	DESCRIBED IN	NOTES
SUBJECT TO (SERVIENT INTERESTS)	4	LT 583632	
	6	65R-32014	YR 1409211
	1		YR1418382
TOGETHER WITH (APPURTENANT INTERESTS)	1 AND 5	65R-32015	YR1418383

NOTES AND LEGEND

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF NEW DELHI DRIVE AS SHOWN ON PLAN 65M-4011, HAVING A BEARING OF N 71°45'20"E

- DENOTES BOUNDARIES OF THE UNITS AND THE COMMON ELEMENTS
 ■ DENOTES NOT A PART OF THE UNIT
 ■ DENOTES SURVEY MONUMENT FOUND
 ■ DENOTES STANDARD IRON BAR
 ■ DENOTES CUT CROSS
 ■ DENOTES WHITES
 ■ DENOTES MEASURED
 ■ DENOTES NORTH, SOUTH, EAST, WEST
 ■ DENOTES REGISTERED PLAN 65M-4011
 ■ DENOTES MARKHAM MONSIEUR UNLIMITED, O.L.S.
 ■ DENOTES HELMUT PILLER, O.L.S.
 ■ DENOTES R. AVIS SURVEYING INC., O.L.S.
 ■ DENOTES ORIGIN UNKNOWN
 ■ DENOTES PATIO
 ■ DENOTES WASHROOM
 ■ DENOTES OPEN TO BELOW
 ■ DENOTES F. SCHAEFER, O.L.S.
 ■ DENOTES PLAN 65R-32014
 ■ DENOTES PATIO

UNIT BOUNDARY DEFINITIONS

MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS, CEILINGS AND OTHER PHYSICAL FEATURES AS MORE PARTICULARLY DESCRIBED IN SCHEDULE "C" OF THE DECLARATION

AREAS NOT DESIGNATED AS UNITS ARE COMMON ELEMENTS

- (1) DENOTES BACKSIDE SURFACE AND PLANE OF THE DRYWALL SHEATHING
 (2) DENOTES EXTERIOR SIDE SURFACE AND PLANE OF EXTERIOR DOORS, WINDOWS, DOOR AND WINDOW FRAMES AND ALL GLASS PANELS CONTAINED THEREIN.
 (3) DENOTES THE VERTICAL PLANE ESTABLISHED BY THE CENTRELINE OF WALL AND PRODUCTION.
 (4) DENOTES THE VERTICAL PLANE ESTABLISHED BY MEASUREMENT.
 (5) DENOTES LOWER SURFACE AND PLANE OF THE METAL CEILING/RUSSES AND PRODUCTION.
 (6) DENOTES UPPER SURFACE AND PLANE OF THE CONCRETE FLOOR SLAB AND PRODUCTION.
 (7) DENOTES UNIT SIDE SURFACE AND PLANE OF THE CONCRETE/CONCRETE BLOCK WALL AND PRODUCTION.
 (8) DENOTES UNIT SIDE SURFACE AND PLANE OF THE METAL SUPPORT BEAM AND PRODUCTION.

CERTIFICATE OF DECLARANT

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN Laid OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH MY INSTRUCTIONS.

DECLARANT: MARKHAM-KIRKHAM DEVELOPMENTS INC.

DATED AT _____

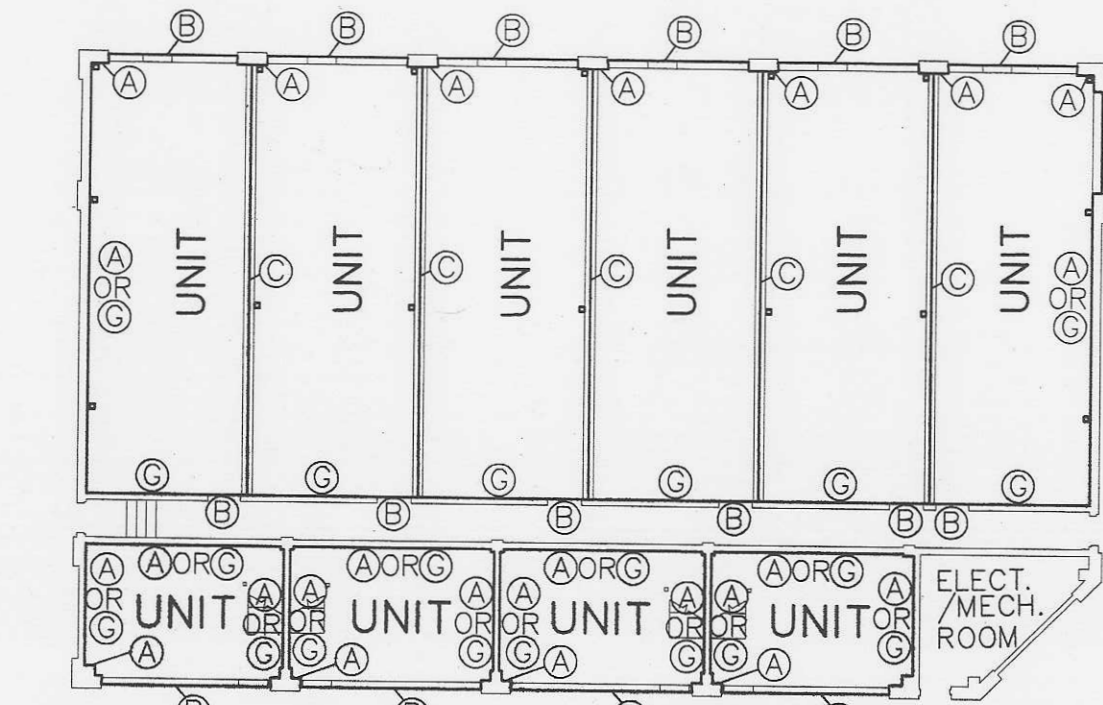
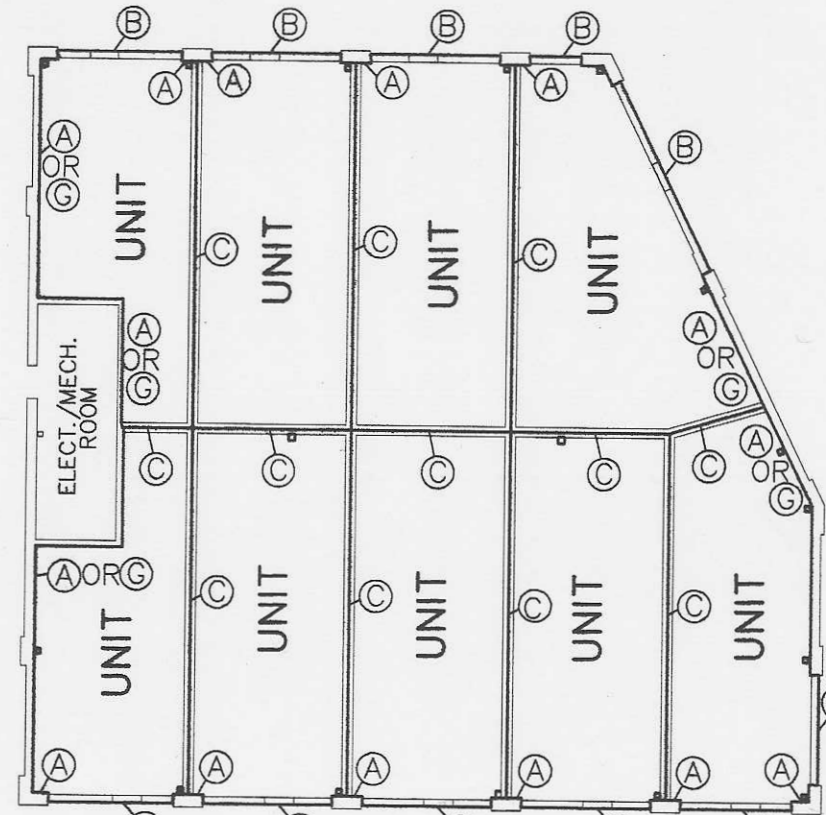
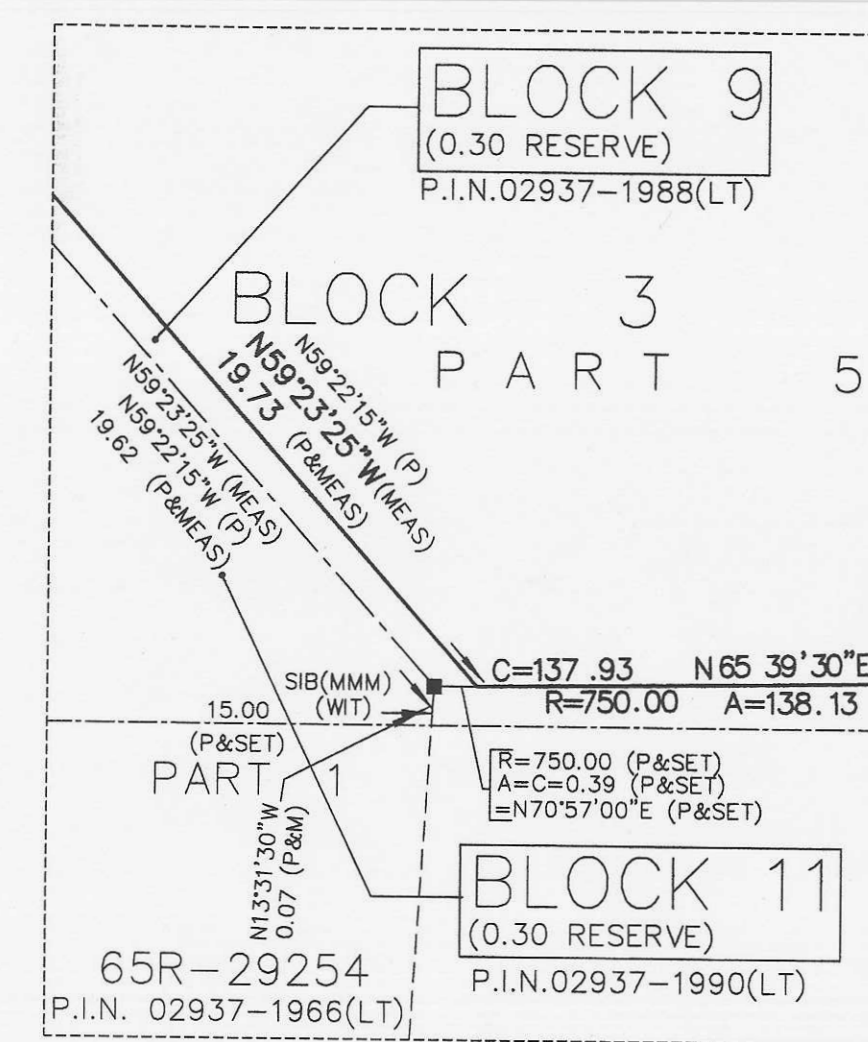
THIS 23 DAY OF JANUARY, 2010.

_____ PRESIDENT
 I HAVE THE AUTHORITY TO SIGN THE COOPERATION

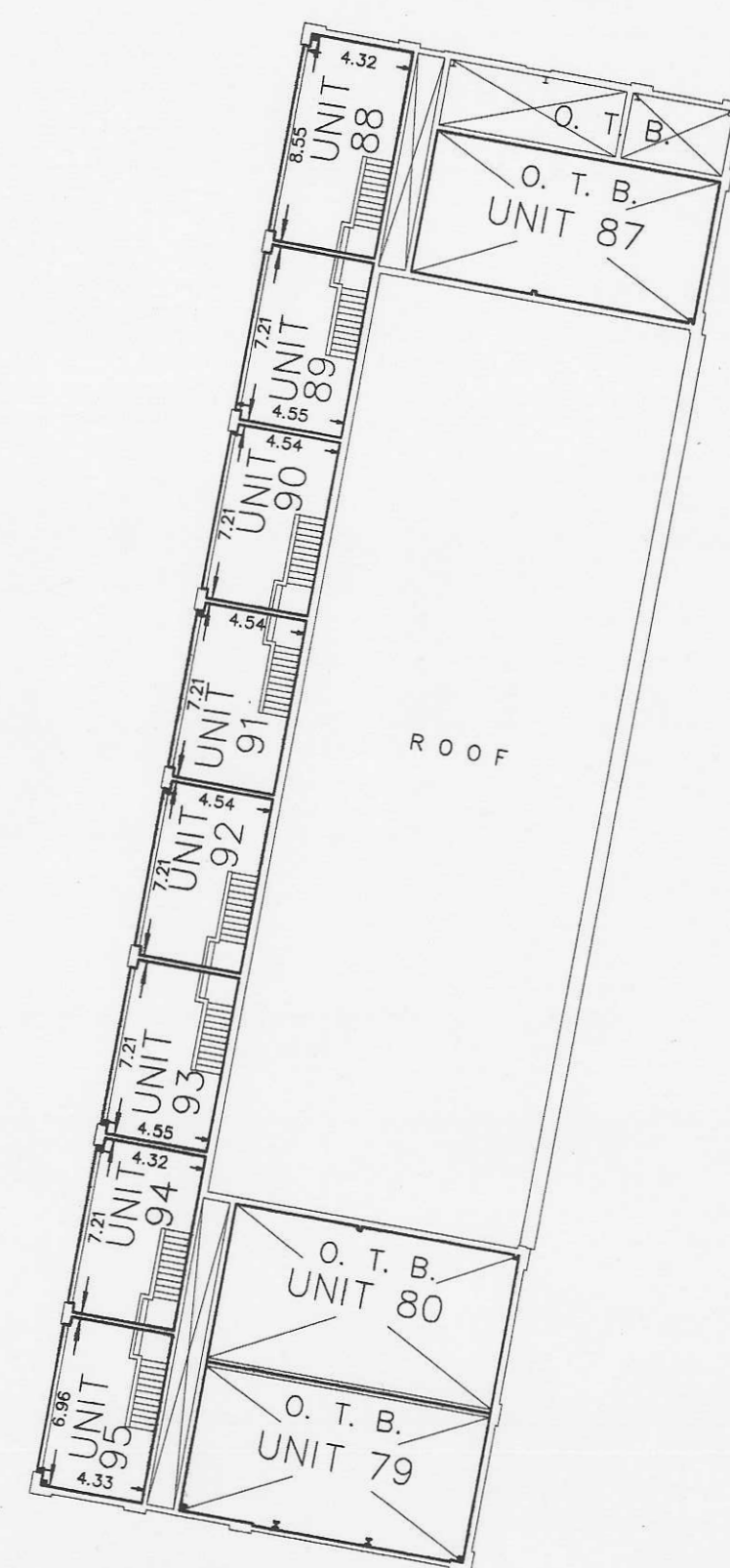
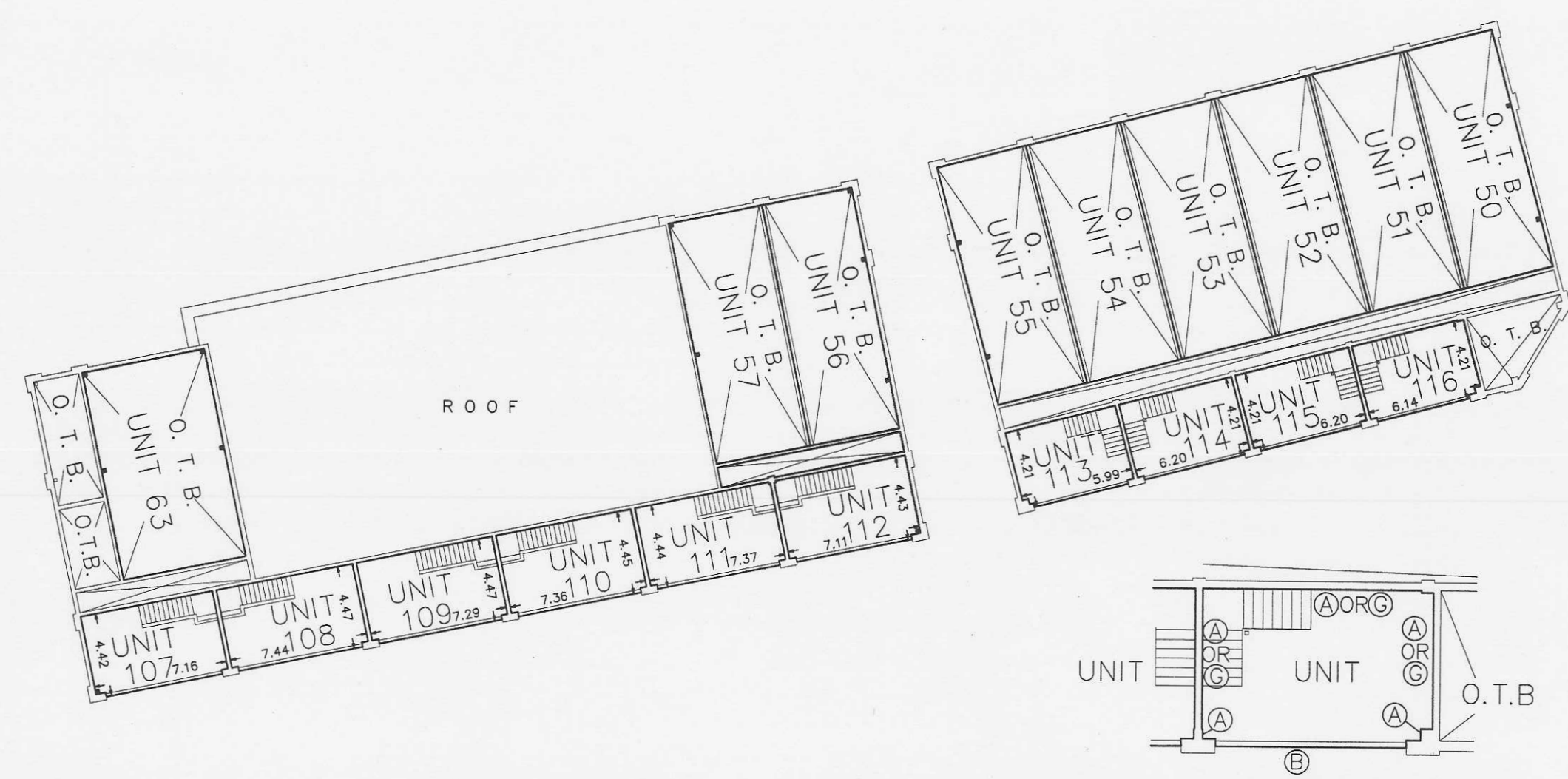
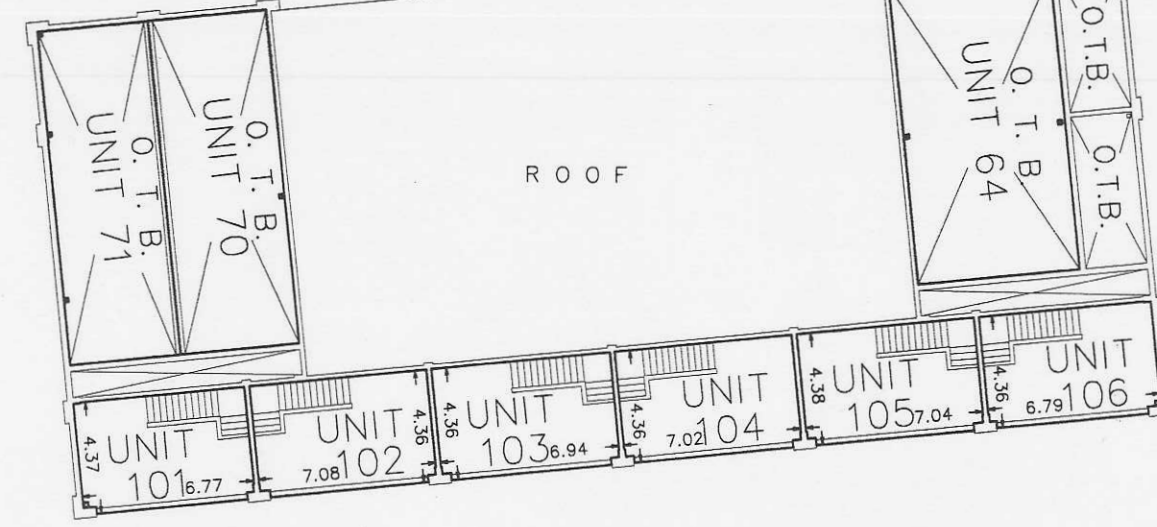
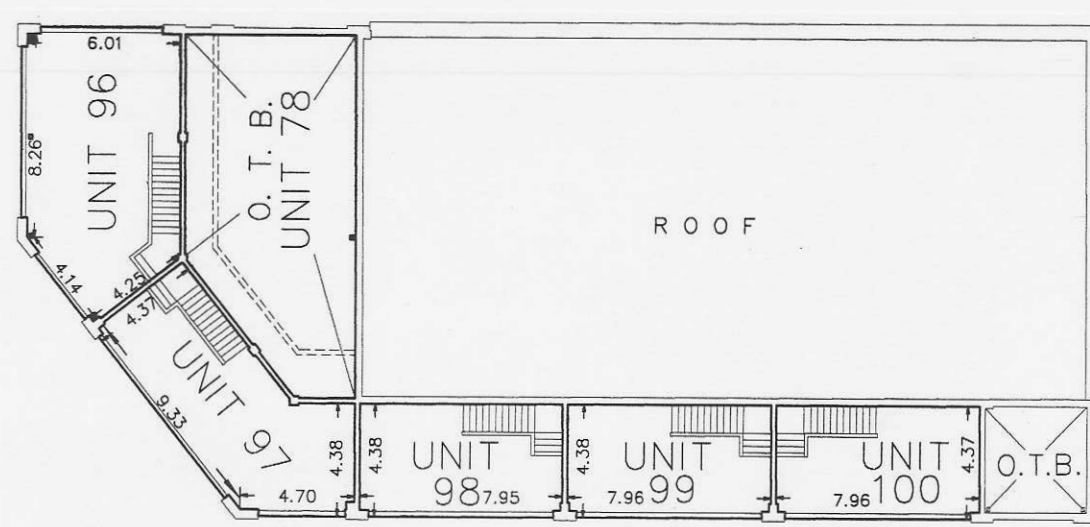
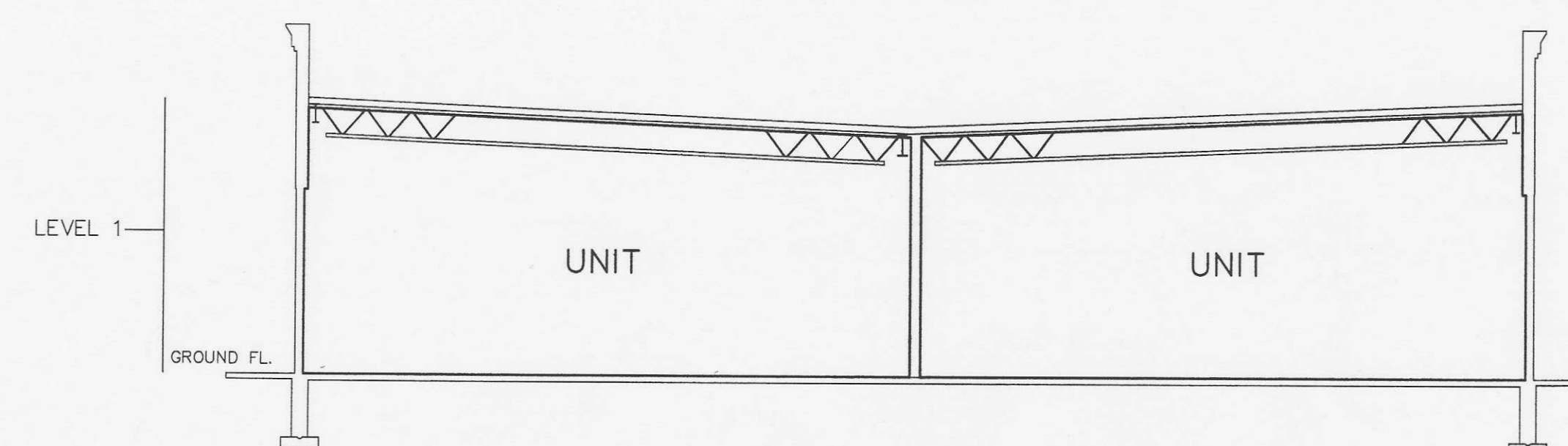
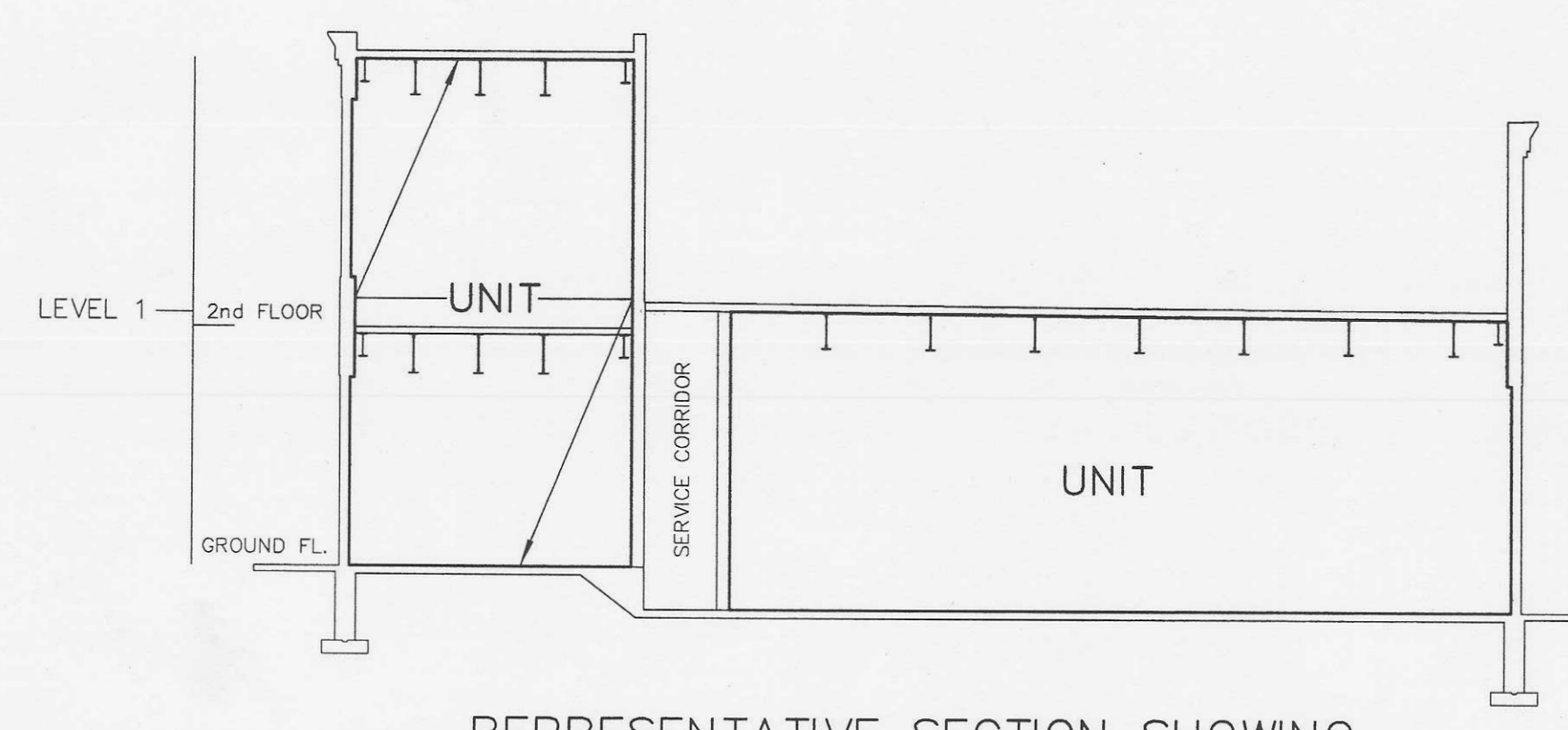
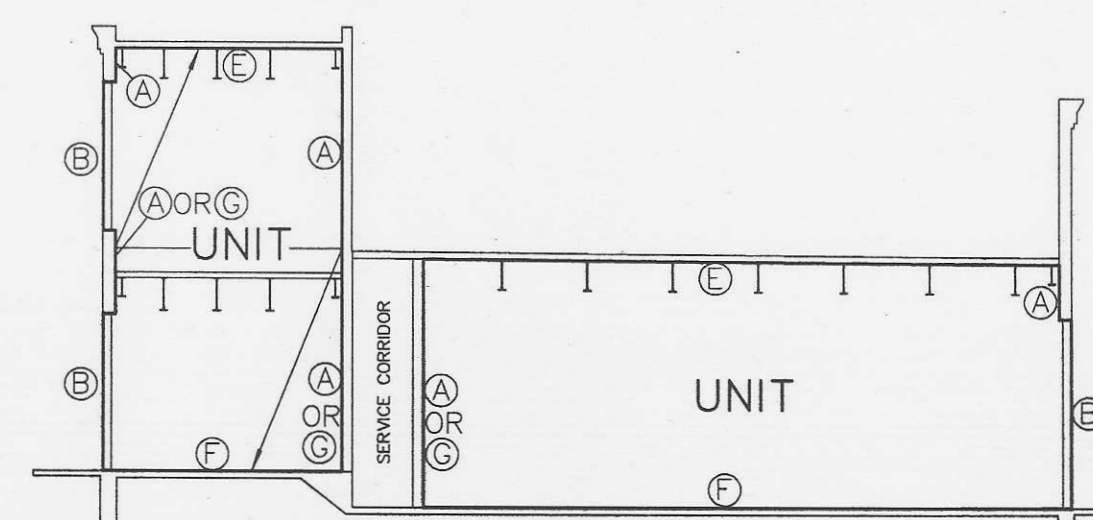
R. AVIS SURVEYING INC.

TEL: (416) 490-8352 FAX: (416) 491-6206
 235 YORKLAND BOULEVARD
 TORONTO, ONTARIO
 M2J 4Y6

PROJECT N°: 2296-D
 DRAWING N°: 2296-01

REPRESENTATIVE PLAN VIEW SHOWING
TYPICAL UNIT BOUNDARIES FOR
UNITS 50 TO 116 INCLUSIVE
(NOT TO SCALE)REPRESENTATIVE PLAN VIEW SHOWING
TYPICAL UNIT BOUNDARIES FOR
UNITS 1 TO 49 INCLUSIVE
(NOT TO SCALE)

DETAIL (NOT TO SCALE)

LEVEL 1
UNITS 88 TO 116 INCLUSIVE
(UPPER STOREY)
(2ND FLOOR)REPRESENTATIVE PLAN VIEW SHOWING
TYPICAL UNIT BOUNDARIES FOR
UNITS 88 TO 116 INCLUSIVE
(2ND FLOOR)
(NOT TO SCALE)REPRESENTATIVE SECTION SHOWING
THE RELATIONSHIP OF THE UNITS WITHIN THE LEVEL
(UNITS 1 TO 49 INCLUSIVE)
(NOT TO SCALE)REPRESENTATIVE SECTION SHOWING
THE RELATIONSHIP OF THE UNITS WITHIN THE LEVEL
(UNITS 50 TO 116 INCLUSIVE)
(NOT TO SCALE)REPRESENTATIVE SECTION SHOWING
TYPICAL UNIT BOUNDARIES FOR
UNITS 1 TO 116 INCLUSIVE
(NOT TO SCALE)

PLAN OF SURVEY OF
BLOCK 3
REGISTERED PLAN 65M-4011
TOWN OF MARKHAM
REGIONAL MUNICIPALITY OF YORK

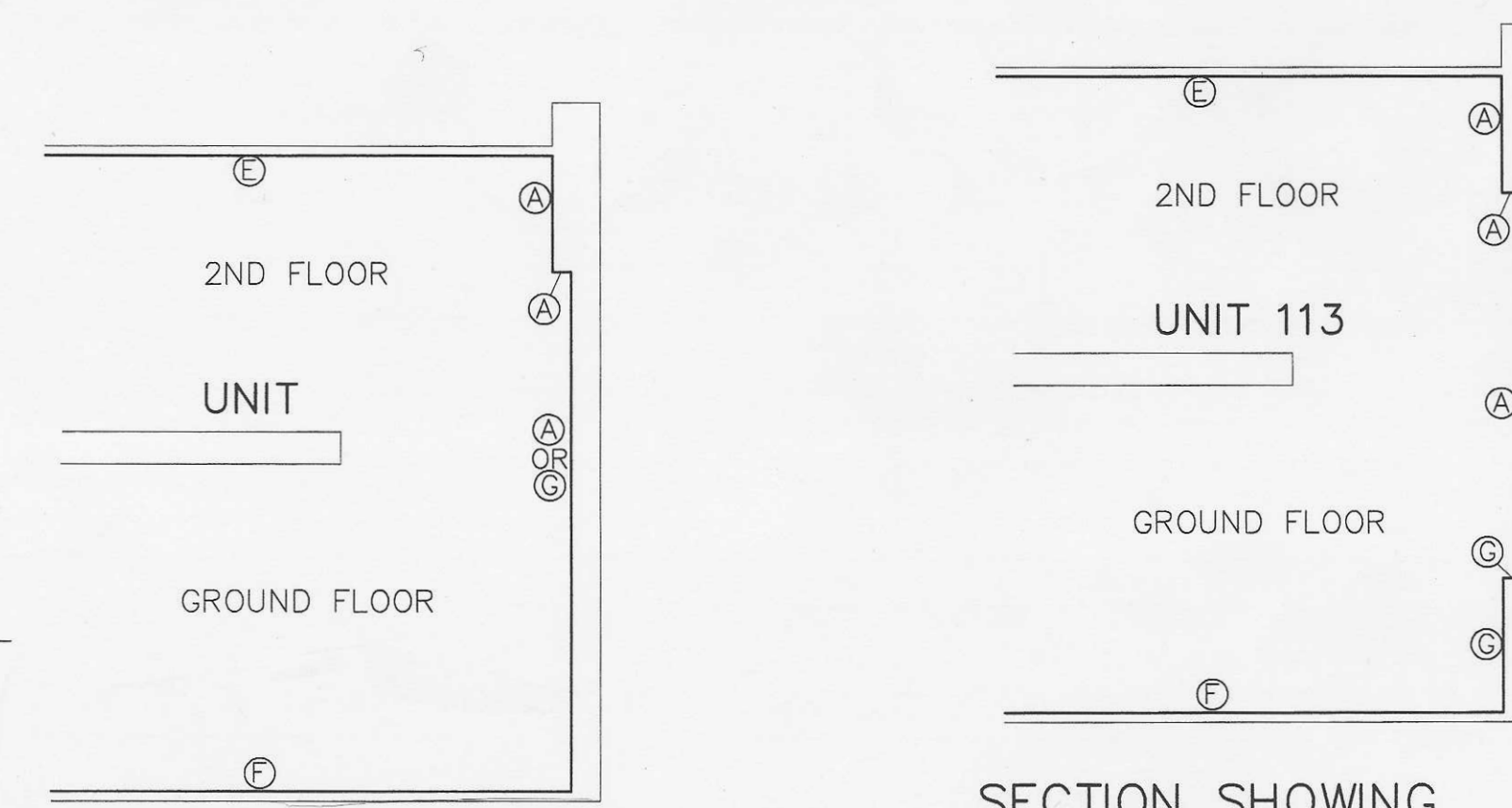
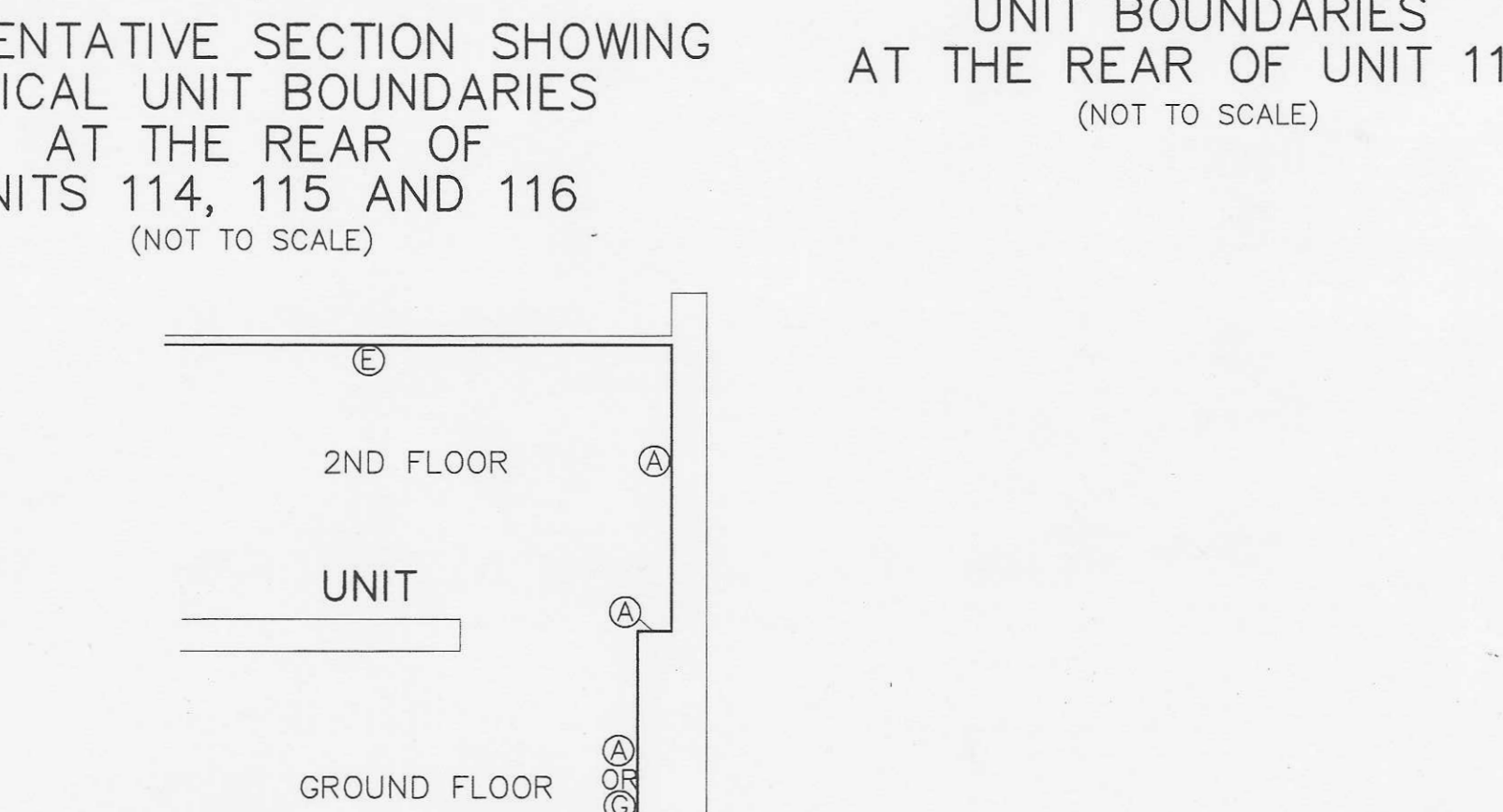
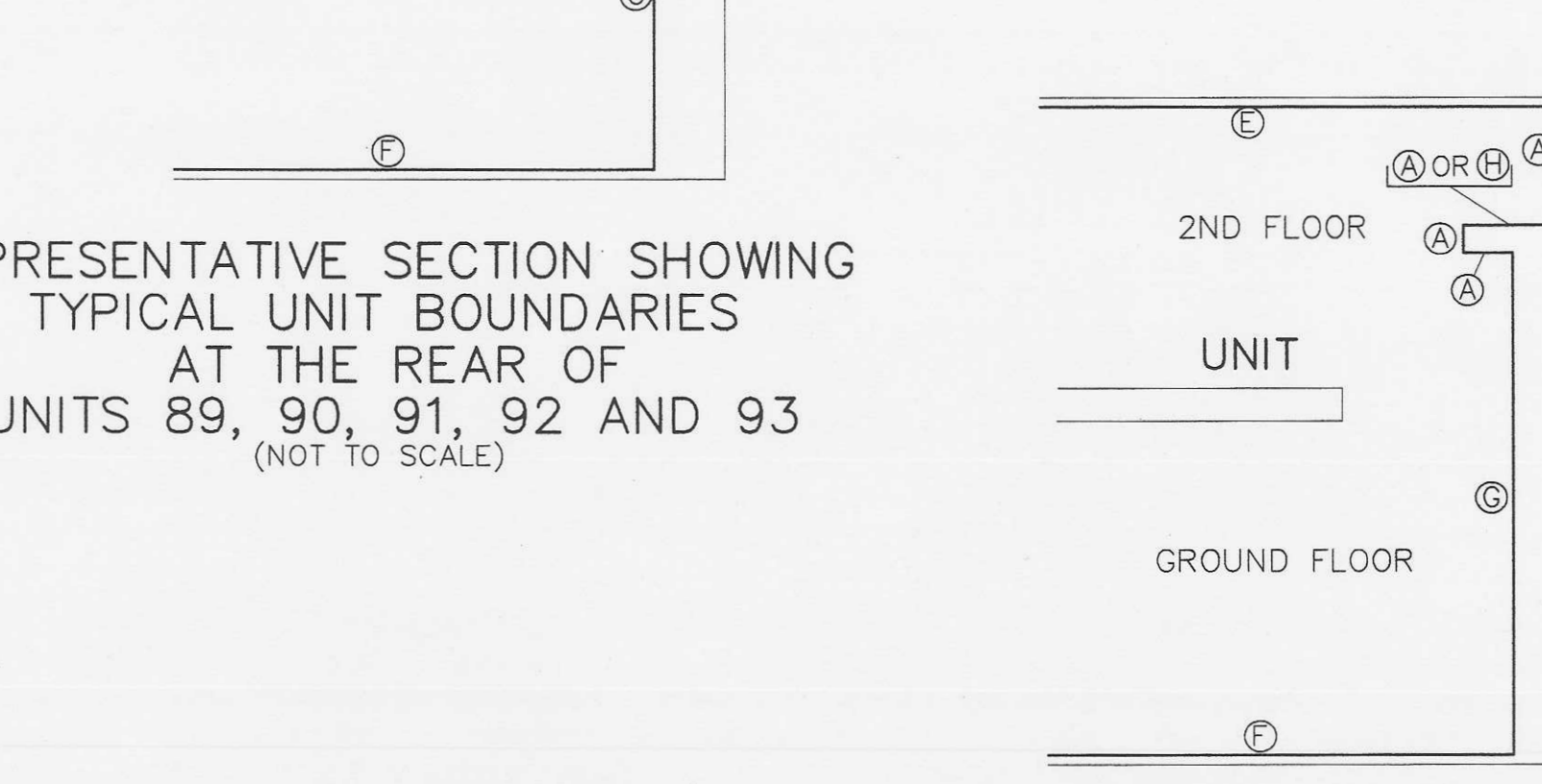
SCALE 1: 300

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

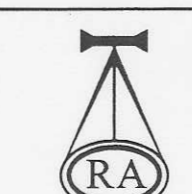
R. AVIS SURVEYING INC.

SCHEDULE OF PARTS

PART	SHEET	DESCRIPTION
1	1	PLAN OF SURVEY OF THE CONDOMINIUM PROPERTY, THE ILLUSTRATION OF THE APPURTENANT AND SERVIENT INTERESTS AND THE DESIGNATION OF UNITS ON LEVEL 1
2	1	PLAN OF SURVEY OF THE EXCLUSIVE USE PORTIONS OF THE CONDOMINIUM ON LEVEL 1
3	25	ARCHITECTURAL PLANS
4	33	STRUCTURAL PLANS

REPRESENTATIVE SECTION SHOWING
TYPICAL UNIT BOUNDARIES
AT THE REAR OF
UNITS 104, 105, 108, 109,
110 AND 111
(NOT TO SCALE)REPRESENTATIVE SECTION SHOWING
TYPICAL UNIT BOUNDARIES
AT THE REAR OF
UNITS 98, 99, 100, 101, 106
AND 112
(NOT TO SCALE)REPRESENTATIVE SECTION SHOWING
TYPICAL UNIT BOUNDARIES
AT THE REAR OF
UNITS 114, 115 AND 116
(NOT TO SCALE)REPRESENTATIVE SECTION SHOWING
TYPICAL UNIT BOUNDARIES
AT THE REAR OF
UNITS 89, 90, 91, 92 AND 93
(NOT TO SCALE)REPRESENTATIVE SECTION SHOWING
TYPICAL UNIT BOUNDARIES
AT THE REAR OF
UNITS 102 AND 103
(NOT TO SCALE)

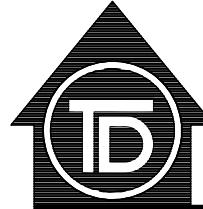
PARTS 1 & 2 APPROVED AND PARTS 3 & 4 EXEMPTED UNDER SECTION 9 OF THE CONDOMINIUM ACT, R.S.O. 1996, c.18 AND SECTION 51 OF THE PLANNING ACT, R.S.O. 1990, c.13 AS AMENDED. THIS 23rd DAY OF JANUARY, 2010.

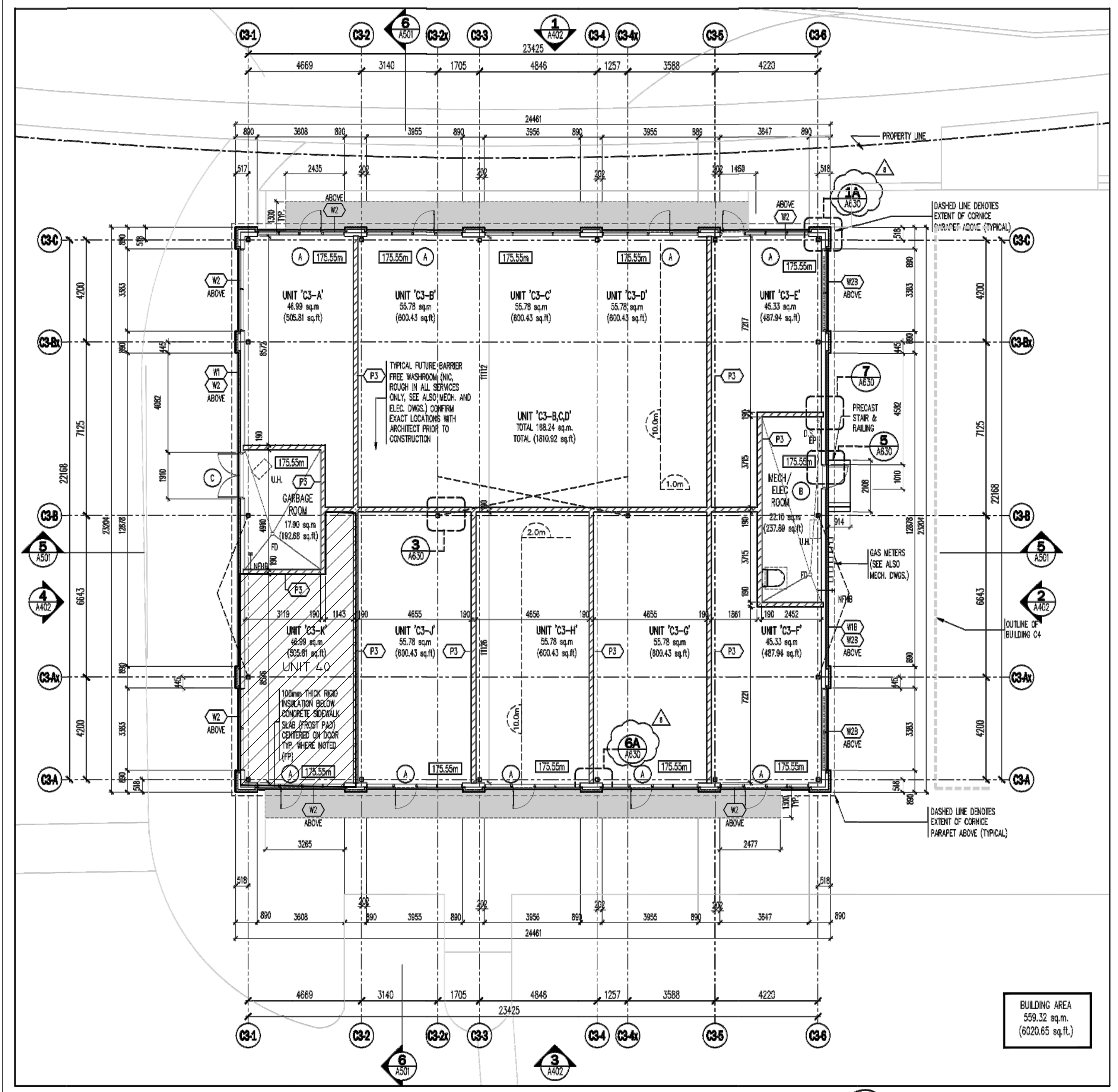


R. AVIS SURVEYING INC.

TEL: (416) 490-8352 FAX: (416) 491-6206
 235 YORKLAND BOULEVARD
 TORONTO, ONTARIO
 M2J 4Y6

PROJECT N°: 2296-D
 DRAWING N°: 2296-01

GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITION ON SITE AND REPORT IMMEDIATELY ANY DISCREPANCIES TO TRAN DIEU & ASSOCIATES INC BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF TRAN DIEU & ASSOCIATES INC. AND MUST BE RETURNED ON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM TRAN DIEU & ASSOCIATES INC. ALL WORK SHALL BE PERFORMED IN ACCORDANCE TO O.B.C. AND THE PERMIT DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION DO NOT SCALE DRAWINGS		
 TRAN DIEU & ASSOCIATES INC. 50 WEYBRIGHT CRT., UNIT 4, SCARBOROUGH, ONTARIO M1S 5A8, TEL: (416) 298-6370 FAX: (416) 298-6903		
PROJECT: DENTAL OFFICE 35 KARACHI DRIVE, UNIT 40		
DRAWN BY: C.T.		
CHECKED BY: C.T.		
SCALE: 1/4" = 1'-0"		DATE:
PROJECT:	TITLE: A0	



GENERAL CONDITION:

GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITION ON SITE AND REPORT IMMEDIATELY ANY DISCREPANCIES TO TRAN DIEU & ASSOCIATES INC. BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF TRAN DIEU & ASSOCIATES INC. AND MUST BE RETURNED ON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM TRAN DIEU & ASSOCIATES INC. ALL WORK SHALL BE PERFORMED IN ACCORDANCE TO O.B.C. AND THE PERMIT DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION C OF THE BUILDING CODE

LUONG QUANG TRAN 20848
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION C OF THE BUILDING CODE

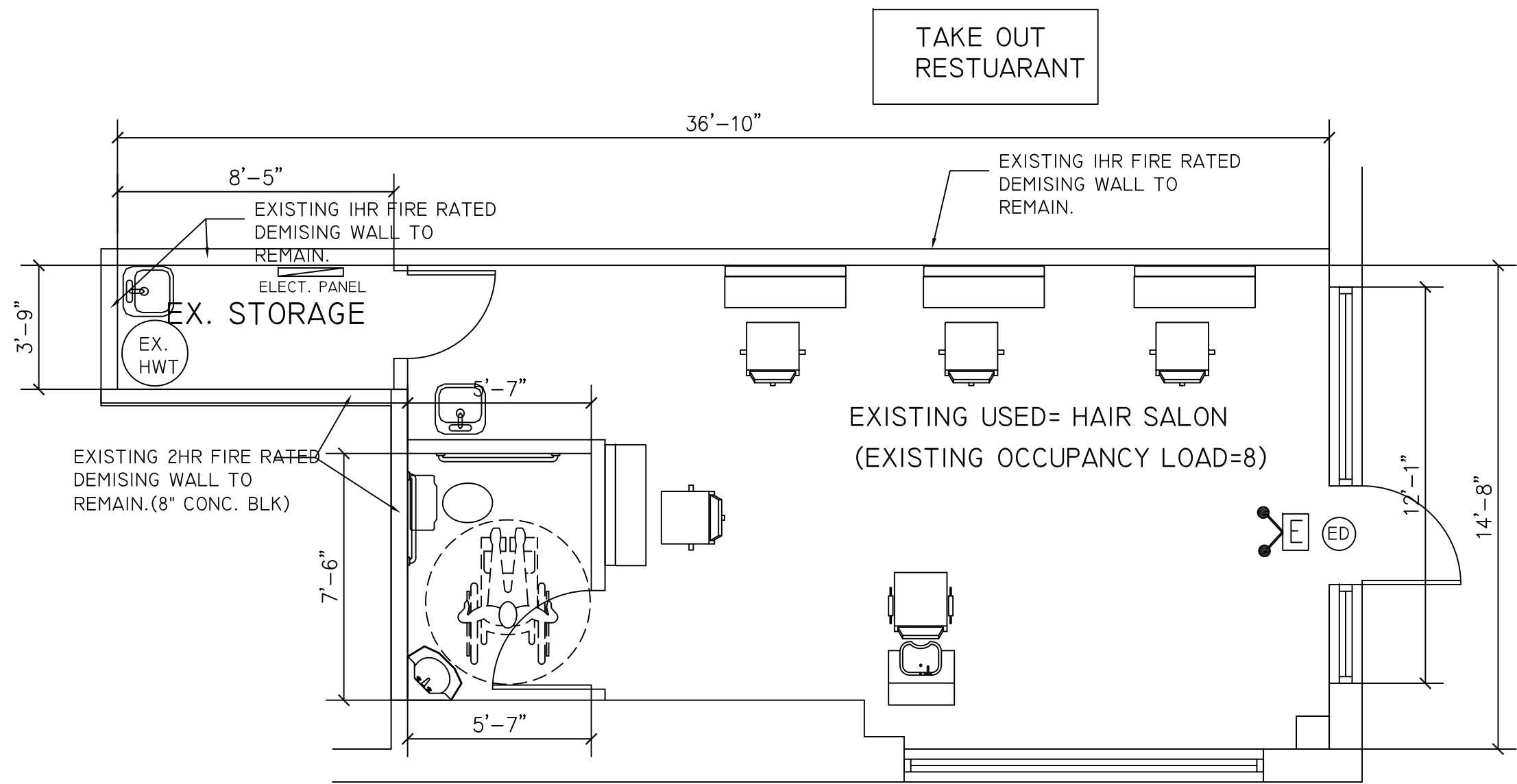
TRAN DIEU & ASSOCIATES INC. 27068
FIRM NAME BCIN



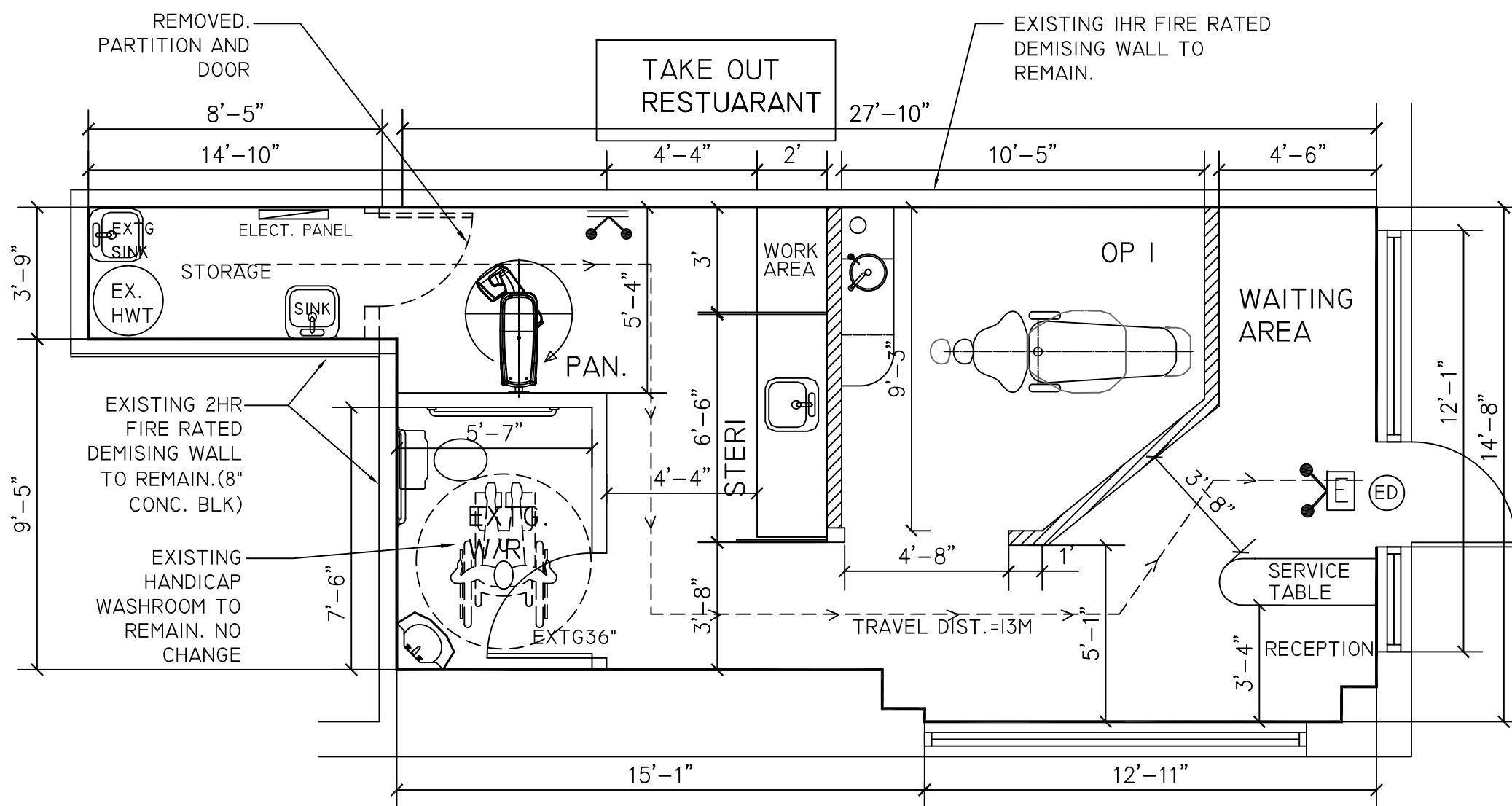
TRAN DIEU & ASSOCIATES INC.
50 WEYBRIGHT CRT., UNIT 4, SCARBOROUGH, ONTARIO
M1S 5A8, TEL: (416) 298-6370 FAX: (416) 298-6903

PROJECT:
DENTAL OFFICE
35 KARACHI DRIVE, UNIT 40

DRAWN BY: C.T.
CHECKED BY: C.T.
SCALE: 1/4" = 1'-0" DATE:
PROJECT: TITLE: **A0-B**



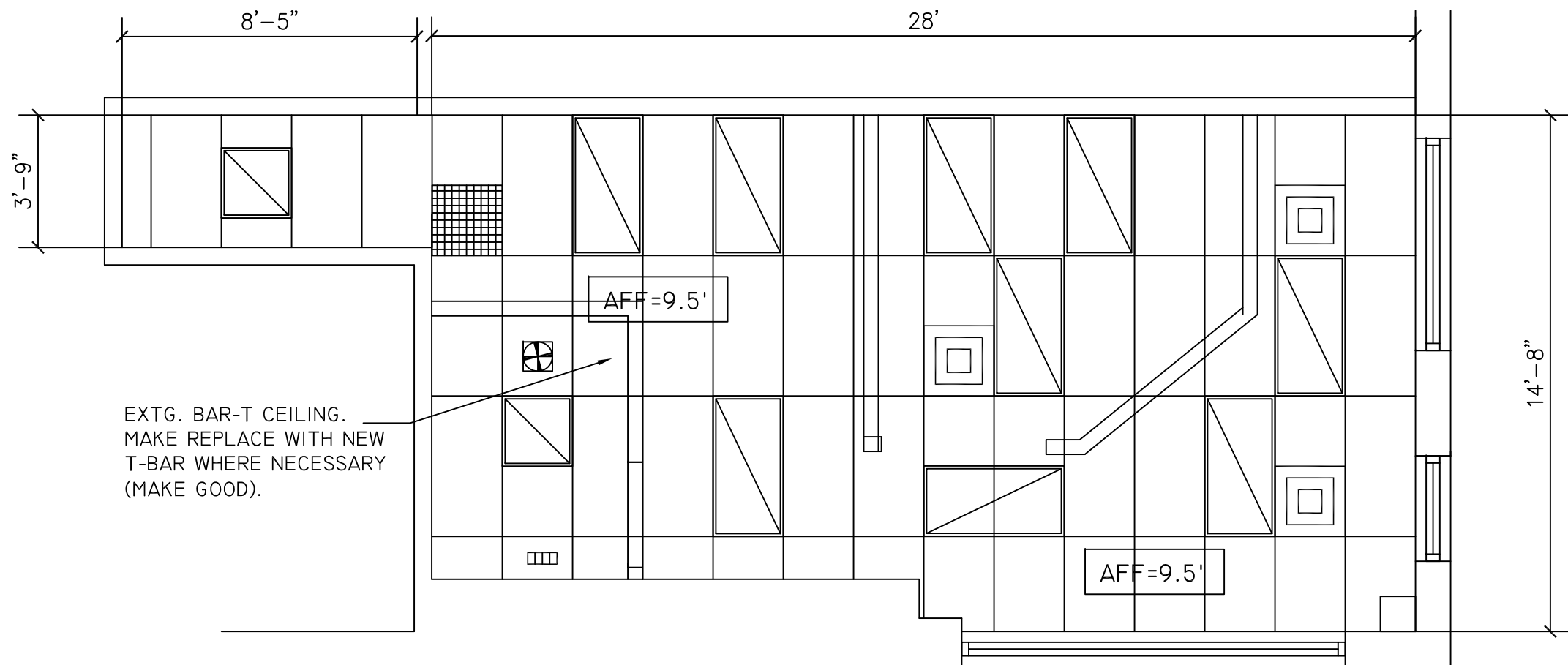
EXISTING FLOOR PLAN



PROPOSED FLOOR PLAN
(OCCUPANCY LOAD=8)

ONTARIO BUILDING CODE DATA MATRIX PART 11-			O.B.C. 2012 REFERENCE
11.1	EXISTING BUILDING CLASSIFICATION	DESCRIBE EXISTING BUILDING USE: <i>Existing classification: (Group E & D)</i> - GFA OF UNIT=41 SQ.METER+/- -EXISTING USE OF UNIT SUBJECT UNIT= HAIR SALON (PERSONAL SERVICE) GROUP D -EXISTING OCCUPANCY LOAD=8 PEOPLE -PROPOSED DENTAL OFFICES= GROUP D (GROUP"D" OCCUPANCY, NO CHANGE OF USED) - 1 STOREY BUILDING, NO BASEMENT, NON SPRINKLER. - NON COMBUSTIBLE CONSTRUCTION.	11.2.1.
11.2	ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION: ☒ - NO CHANGE OF USED. - RENOVATION DOES NOT RESULT IN H.I.C=C.I EXTENSIVE RENOVATION:	11.3.3.1 11.3.3.2 11.4.2 11.4.2.1
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: ☐ YES ☒ NO BY INCREASE IN OCCUPANT LOAD: ☐ YES ☒ NO BY CHANGE OF MAJOR OCCUPANCY: ☐ YES ☒ NO PLUMBING: ☐ YES ☒ NO SEWAGE-SYSTEM: ☐ YES ☒ NO	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL: ☐ YES ☒ NO INCREASE IN OCCUPANT LOAD: ☐ YES ☒ NO CHANGE OF MAJOR OCCUPANCY: ☐ YES ☒ NO PLUMBING: ☐ YES ☒ NO SEWAGE-SYTEM: ☐ YES ☒ NO	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	COMPLIANCE ALTERNATIVES PROPOSED:	EXPLANATION: 3.7.4 SHALL COMPLY. 6.2.2.1 SHALL COMPLY.	11.5.1

FINISHING:
FINISHING MATERIALS ON WALLS
AND CEILINGS MUST HAVE A
FLAME-SPREAD RATING OF
NOT MORE THAN 150



PROPOSED REFLECTED CEILING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION C OF THE BUILDING CODE

LUONG QUANG TRAN 20848
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF DIVISION C OF THE BUILDING CODE

TRAN DIEU & ASSOCIATES INC. 27068
FIRM NAME BCIN

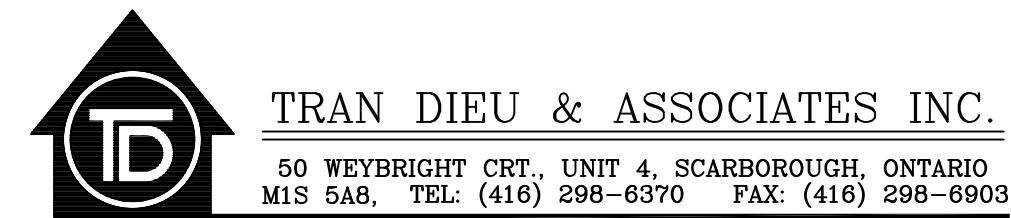


GENERAL CONDITION:

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LEGEND

- EXISTING WALL TO REMAIN
- PROPOSED NEW PARTITION WALL 2X4 METAL STUD @ 16" O/C COVERED BY 1/2" DRYWALL ON BOTH SIDES
- EXISTING DOOR TO REMAIN
- EXIT SIGN C/W EMERGENCY LIGHT (30 MIN. BATTERY BACK UP)
- EMERGENCY LIGHT (30 MIN. BATTERY BACK UP)
- EXTG EXHAUST FAN
- 4"X10" SUPPLY AIR DIFFUSER
- 2'X2' SUPPLY AIR DIFFUSER
- CEILING RETURN AIR GRILLE
- 2'X4' (OR 2'X2' OR 1'X4') RECESSED FLUORESCENT LIGHT
- 2'X4' T-BAR CEILING. (ACCOUSTIC TILE) @ 9'-6:"+/-



PROJECT:
DENTAL OFFICE
35 KARACHI DRIVE, UNIT 40

DRAWN BY: C.T.

CHECKED BY: C.T.

SCALE: 1/4" = 1'-0"

DATE:

PROJECT:

TITLE:

AI