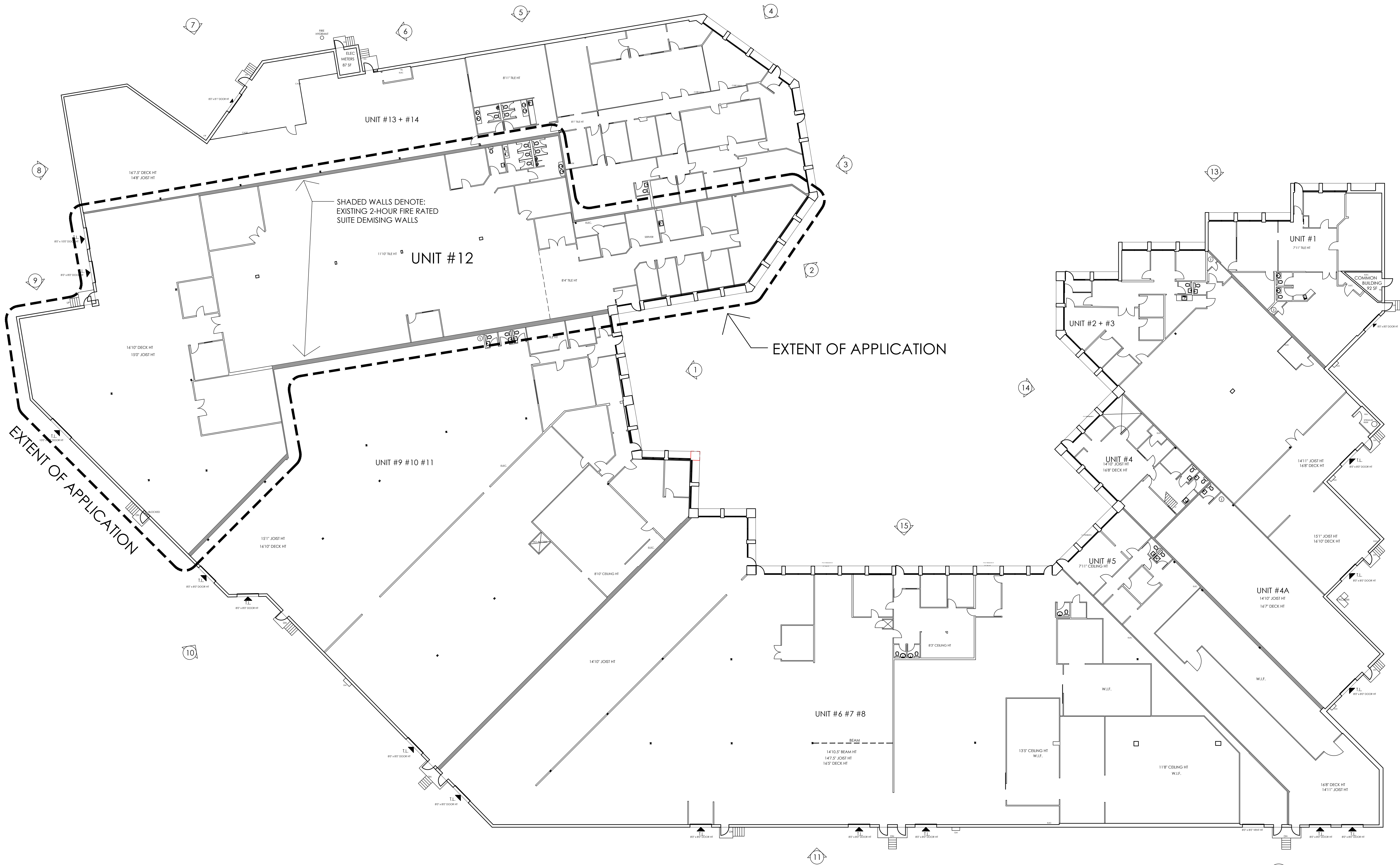




1 EXISTING OVERALL GROUND FLOOR PLAN  
1/8" = 1'-0"

OWNER:

**Weins**  
Canada

3120 Steeles Ave E, Markham, ON  
L3R 1G9 Tel: 905.475.0308

ARCHITECTURAL CONSULTANT:

**S**architecture  
INCORPORATED

155 Denison Road, Ancaster, ON L9G 4G5  
(905) 206-7462

|                                                                                                                                                                                                                                             |    |                                 |                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|---------------------------------|------------------|
| GENERAL NOTES:<br>DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION".<br>VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK.<br>NOTIFY ENGINEER IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES. |    |                                 |                  |
| 1                                                                                                                                                                                                                                           | SW | TEMPORARY REZONING SUB. - REV-1 | 20-10-05         |
| ISSUE                                                                                                                                                                                                                                       | BY | DESCRIPTION                     | DATE<br>YY-MM-DD |

DRAWING TITLE

EXISTING OVERALL  
GROUND FLOOR PLAN

BY: BP | CHECKED: SW | ISSUED FOR: BUILDING PERMIT SUBMISSION

PROJECT NO: 18-109

SCALE: AS NOTED

ISSUE DATE (YY/MM/DD): 20/10/01

SHEET NO: 1

SHEET REV: 1

N

PROJ. NORTH

PROJ. SOUTH

PROJ. EAST

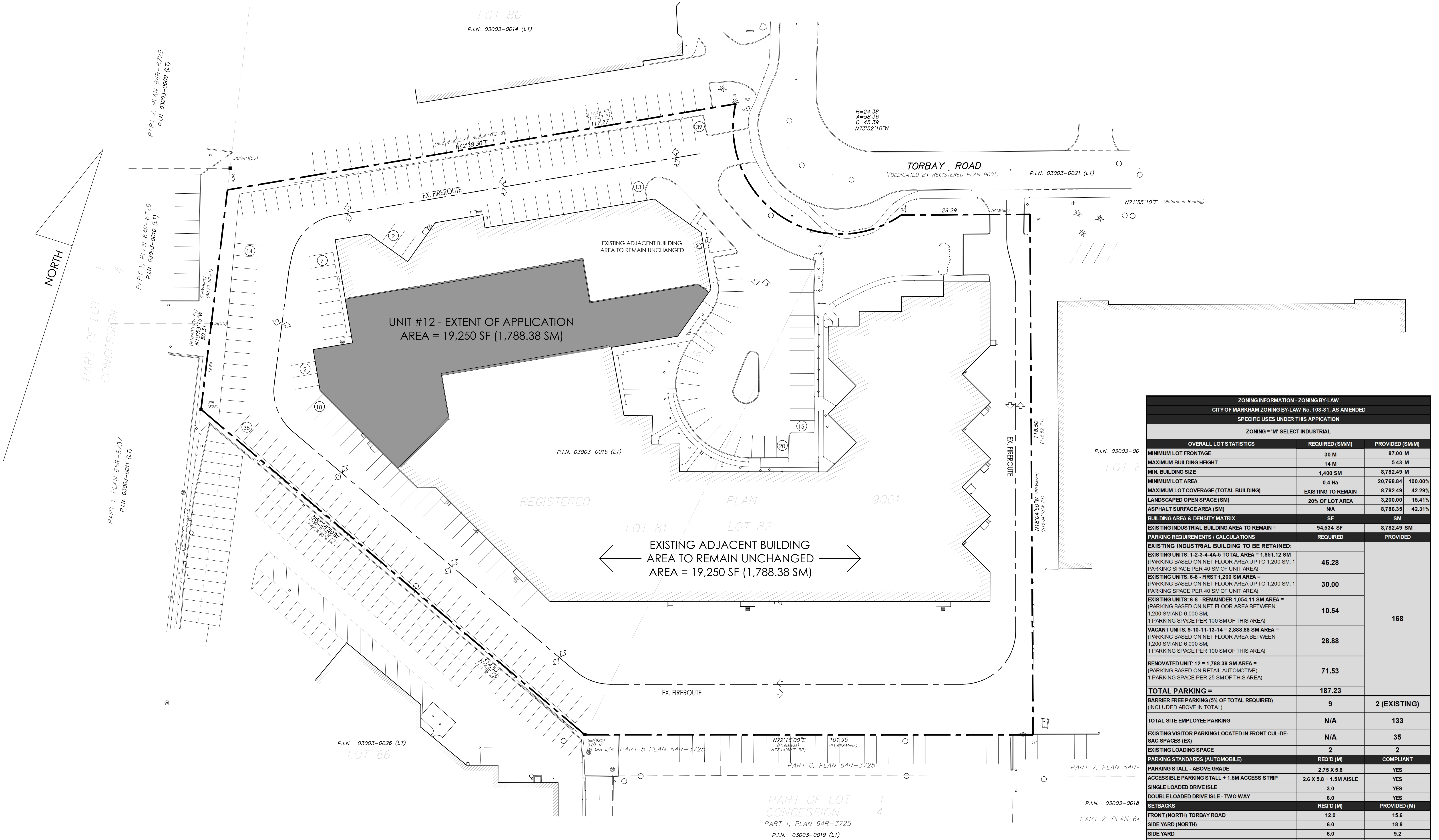
PROJ. WEST

PROFESSIONAL CERTIFICATION

TORBAY SITE DEVELOPMENT

205 Torbay Road, Markham, ON L3R 3W4





| ZONING INFORMATION - ZONING BY-LAW                                                                                                                                   |                        |                   |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|-------------------|
| CITY OF MARKHAM ZONING BY-LAW No. 108-81, AS AMENDED                                                                                                                 |                        |                   |
| SPECIFIC USES UNDER THIS APPLICATION                                                                                                                                 |                        |                   |
| ZONING = 'M' SELECT INDUSTRIAL                                                                                                                                       |                        |                   |
| OVERALL LOT STATISTICS                                                                                                                                               | REQUIRED (SM/M)        | PROVIDED (SM/M)   |
| MINIMUM LOT FRONTAGE                                                                                                                                                 | 30 M                   | 87.00 M           |
| MAXIMUM BUILDING HEIGHT                                                                                                                                              | 14 M                   | 5.43 M            |
| MIN. BUILDING SIZE                                                                                                                                                   | 1,400 SM               | 8,782.49 M        |
| MINIMUM LOT AREA                                                                                                                                                     | 0.4 Ha                 | 20,768.84 100.00% |
| MAXIMUM LOT COVERAGE (TOTAL BUILDING)                                                                                                                                | EXISTING TO REMAIN     | 8,782.49 42.29%   |
| LANDSCAPED OPEN SPACE (SM)                                                                                                                                           | 20% OF LOT AREA        | 3,200.00 15.41%   |
| ASPHALT SURFACE AREA (SM)                                                                                                                                            | N/A                    | 8,786.35 42.31%   |
| BUILDING AREA & DENSITY MATRIX                                                                                                                                       | SF                     | SM                |
| EXISTING INDUSTRIAL BUILDING AREA TO REMAIN =                                                                                                                        | 94,534 SF              | 8,782.49 SM       |
| PARKING REQUIREMENTS / CALCULATIONS                                                                                                                                  | REQUIRED               | PROVIDED          |
| EXISTING INDUSTRIAL BUILDING TO BE RETAINED:                                                                                                                         |                        |                   |
| EXISTING UNITS: 1-2-3-4-4A-5 TOTAL AREA = 1,851.12 SM<br>(PARKING BASED ON NET FLOOR AREA UP TO 1,200 SM; 1<br>PARKING SPACE PER 40 SM OF UNIT AREA)                 | 46.28                  | 168               |
| EXISTING UNITS: 6-8 - FIRST 1,200 SM AREA =<br>(PARKING BASED ON NET FLOOR AREA UP TO 1,200 SM; 1<br>PARKING SPACE PER 40 SM OF UNIT AREA)                           | 30.00                  |                   |
| EXISTING UNITS: 6-8 - REMAINDER 1,054.11 SM AREA =<br>(PARKING BASED ON NET FLOOR AREA BETWEEN<br>1,200 SM AND 6,000 SM;<br>1 PARKING SPACE PER 100 SM OF THIS AREA) | 10.54                  |                   |
| VACANT UNITS: 9-10-11-13-14 = 2,888.88 SM AREA =<br>(PARKING BASED ON NET FLOOR AREA BETWEEN<br>1,200 SM AND 6,000 SM;<br>1 PARKING SPACE PER 100 SM OF THIS AREA)   | 28.88                  |                   |
| RENOVATED UNIT: 12 = 1,788.38 SM AREA =<br>(PARKING BASED ON RETAIL AUTOMOTIVE)<br>1 PARKING SPACE PER 25 SM OF THIS AREA)                                           | 71.53                  |                   |
| TOTAL PARKING =                                                                                                                                                      | 187.23                 |                   |
| BARRIER FREE PARKING (5% OF TOTAL REQUIRED)<br>(INCLUDED ABOVE IN TOTAL)                                                                                             | 9                      | 2 (EXISTING)      |
| TOTAL SITE EMPLOYEE PARKING                                                                                                                                          | N/A                    | 133               |
| EXISTING VISITOR PARKING LOCATED IN FRONT CUL-DE-SAC SPACES (EX)                                                                                                     | N/A                    | 35                |
| EXISTING LOADING SPACE                                                                                                                                               | 2                      | 2                 |
| PARKING STANDARDS (AUTOMOBILE)                                                                                                                                       | REQ'D (M)              | COMPLIANT         |
| PARKING STALL - ABOVE GRADE                                                                                                                                          | 2.75 X 5.8             | YES               |
| ACCESSIBLE PARKING STALL + 1.5M ACCESS STRIP                                                                                                                         | 2.6 X 5.8 + 1.5M AISLE | YES               |
| SINGLE LOADED DRIVE ISLE                                                                                                                                             | 3.0                    | YES               |
| DOUBLE LOADED DRIVE ISLE - TWO WAY                                                                                                                                   | 6.0                    | YES               |
| SETBACKS                                                                                                                                                             | REQ'D (M)              | PROVIDED (M)      |
| FRONT (NORTH) TORBAY ROAD                                                                                                                                            | 12.0                   | 15.6              |
| SIDE YARD (NORTH)                                                                                                                                                    | 6.0                    | 18.8              |
| SIDE YARD                                                                                                                                                            | 6.0                    | 9.2               |
| REAR (EAST)                                                                                                                                                          | 12.0                   | 32.5              |

OWNER:

**Weins**  
Canada

3120 Steeles Ave E, Markham, ON  
L3R 1G9 Tel: 905.475.0308

ARCHITECTURAL CONSULTANT:

**S**architect  
INCORPORATED

159 Denison Road, Ancaster, ON, L9G 4C5  
(905) 203-1102

GENERAL NOTES:

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|       |    |                                 |          |
|-------|----|---------------------------------|----------|
| 1     | SW | TEMPORARY REZONING SUB. - REV-1 | 20-10-05 |
| ISSUE | BY | DESCRIPTION                     | DATE     |
| 1     | SW | TEMPORARY REZONING SUB. - REV-1 | 20-10-05 |

DRAWING TITLE:

EXISTING OVERALL  
SITE PLAN

BY: [ ] CHECKED: [ ] ISSUED FOR: [ ]

PROJECT NO: 18-109

DATE: AS NOTED

ISSUE DATE (YYYYMMDD): 20/10/26

1

1

1

N

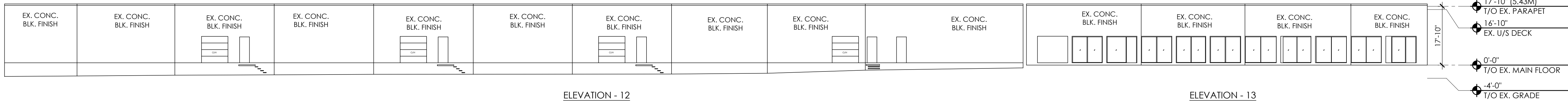
PROFESSIONAL CERTIFICATION

PROJECT NAME & ADDRESS:

**TORBAY SITE DEVELOPMENT**

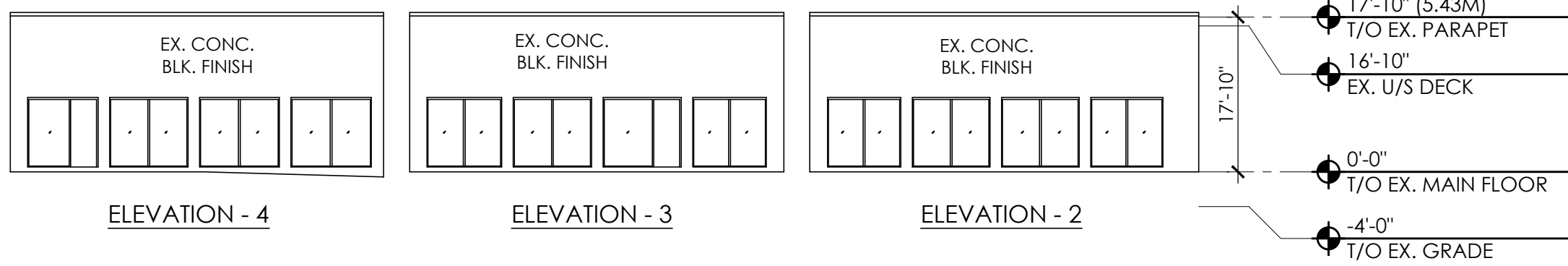
205 Torbay Road, Markham, ON L3R 3W4





ELEVATION - 12

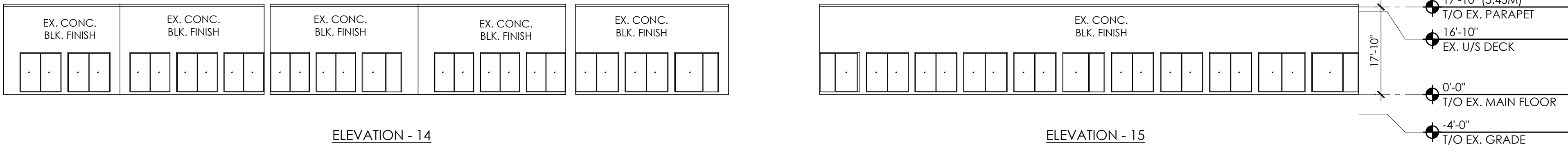
ELEVATION - 13



ELEVATION - 4

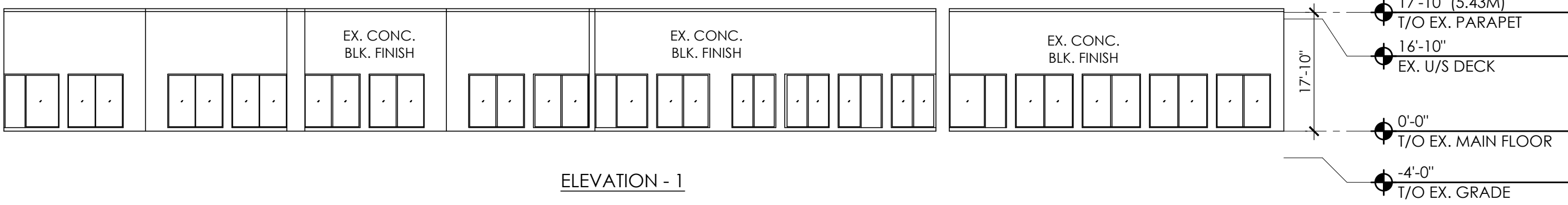
ELEVATION - 3

ELEVATION - 2

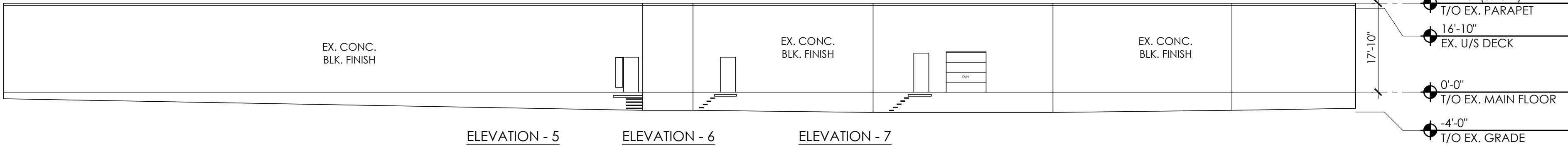


ELEVATION - 14

ELEVATION - 15



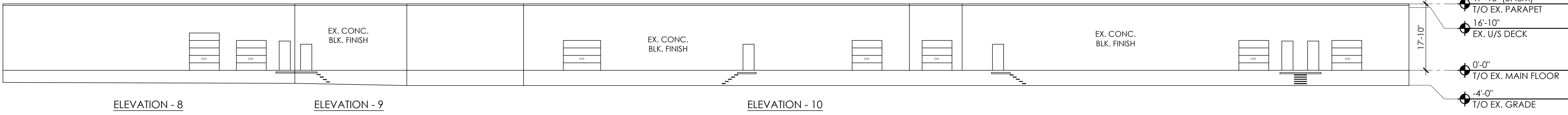
ELEVATION - 1



ELEVATION - 5

ELEVATION - 6

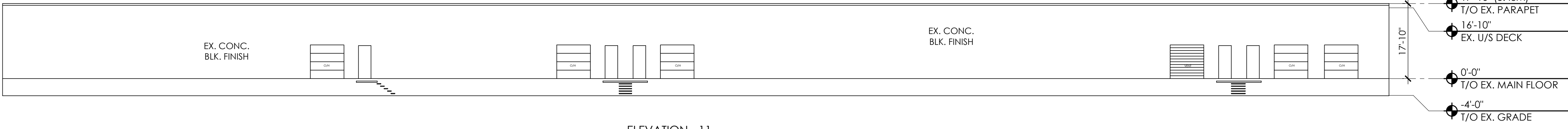
ELEVATION - 7



ELEVATION - 8

ELEVATION - 9

ELEVATION - 10



ELEVATION - 11

OWNER:

**Weins**  
Canada

3120 Steeles Ave E, Markham, ON L3R 1G9 Tel: 905.475.0308

ARCHITECTURAL CONSULTANT:

**S**architect  
INCORPORATED

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| ISSUE | BY | DESCRIPTION                     | DATE     |
|-------|----|---------------------------------|----------|
| 1     | SW | TEMPORARY REZONING SUB. - REV-1 | 20-10-05 |

DATE: 20/10/26

DRAWING TITLE:

EXISTING ELEVATIONS

BY: BP | CHECKED: SW | ISSUED FOR: TEMPORARY REZONING SUB. - REV-1

PROJECT NO: 18-109

SHEET NO: 1

ZONE: AS NOTED

DATE: 20/10/26

**A-300**

1 SHEET REV

N

PROJECT NORTH

PROJECT NAME & ADDRESS:

**TORBAY SITE DEVELOPMENT**

205 Torbay Road, Markham, ON L3R 3W4

PROFESSIONAL CERTIFICATION



PLAN OF SURVEY WITH TOPOGRAPHY OF  
LOTS 81 AND 82  
REGISTERED PLAN 9001  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK  
SCALE 1 : 400

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED  
ONTARIO LAND SURVEYORS  
2016

THE REPRODUCTION, ALTERATION OR USE OF THIS PLAN  
IN WHOLE OR IN PART, WITHOUT THE EXPRESS PERMISSION OF  
SPEIGHT, VAN NOSTRAND & GIBSON LIMITED IS STRICTLY PROHIBITED.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND

| DENOTES |                                                                                |
|---------|--------------------------------------------------------------------------------|
| WIT     | SURVEY MONUMENT FOUND                                                          |
| SIB     | SURVEY MONUMENT PLANTED                                                        |
| CP      | WITNESS MONUMENT                                                               |
| IB      | STANDARD IRON BAR                                                              |
| CC      | CONCRETE PIN                                                                   |
| CC      | IRON BAR                                                                       |
| N,S,E,W | CUT CROSS                                                                      |
| OU      | NORTH, SOUTH, EAST, WEST                                                       |
| 657     | ORIGIN UNKNOWN                                                                 |
| 922     | D. HOLSTED, O.L.S.                                                             |
| OU      | F. SCHAEFFER, O.L.S.                                                           |
| P1      | ORIGIN UNKNOWN                                                                 |
| P2      | PLAN OF SURVEY BY WINTERS, MAUGHAN & GLENDAY, O.L.S.<br>- DATED JULY 28, 1981  |
|         | PLAN OF SURVEY BY WINTERS, MAUGHAN & GLENDAY, O.L.S.<br>- DATED MARCH 27, 1974 |
| B       | BOLLARD                                                                        |
| CB      | CATCH BASIN                                                                    |
| FF      | FINISHED FLOOR                                                                 |
| GV      | FIRE HYDRANT                                                                   |
| HB      | GAS VALVE                                                                      |
| HW      | HYDRO BOX                                                                      |
| MH      | HAND WELL                                                                      |
| MLS     | METER                                                                          |
| PIV     | MANHOLE                                                                        |
| SIA     | METAL LIGHT STANDARD                                                           |
| SMH     | PRESSURE INDICATOR VALVE                                                       |
| WLS     | SIAMISE CONNECTION                                                             |
| WP      | SEWER MANHOLE                                                                  |
| WV      | WOODEN LIGHT STANDARD                                                          |
| OH      | GUY WIRE                                                                       |
| OH      | WATER VALVE                                                                    |
| OH      | OVERHEAD WIRE                                                                  |
| OH      | DECIDUOUS TREE                                                                 |
| OH      | CONIFEROUS TREE                                                                |
| OH      | CONCRETE                                                                       |
| OH      | BRICK                                                                          |
| OH      | STONE                                                                          |
| OH      | GRAVEL                                                                         |
| OH      | TOP ELEVATION                                                                  |
| OH      | UNDERGROUND GAS LINE                                                           |
| OH      | UNDERGROUND WATER LINE                                                         |
| OH      | UNDERGROUND HYDRO LINE                                                         |
| OH      | UNDERGROUND CABLE LINE                                                         |

BEARING NOTE

BEARINGS HEREON ARE ASTROMOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT  
OF TORBAY ROAD AS SHOWN ON REGISTERED PLAN 9001 HAVING A BEARING OF  
N71°55'10"E

ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF TORONTO  
BENCH MARK NO. 5308

LOCATION :  
3790 VICTORIA PARK AVENUE PLATE AT SOUTH EAST CORNER  
AT CENTER OF DIAGONAL WALL 0.46 METRES ABOVE GRADE.

ELEVATION:  
PUBLISHED ELEVATION = 188.174 metres.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,  
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON DECEMBER 21, 2016.

DATE : JANUARY 9, 2017

LES RUDNICKI  
ONTARIO LAND SURVEYOR

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED  
ONTARIO LAND SURVEYORS  
750 OAKDALE ROAD, Units 65 & 66  
TORONTO, ONTARIO M3N 2Z4  
TEL. 416 749-SVNG(7864) FAX 416 749-7866  
E-MAIL: toronto@svng.on.ca

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
1994714

|                        |                          |
|------------------------|--------------------------|
| DRAWN : E. D./F. P. B. | FILE NAME : A1600317.DWG |
| CHECKED : L. R.        | PLOT SCALE : MET.1=0.40  |
| JOB No. : 160-0317     | PLOTTED :                |
| REF. No. : 17-9001Y    | UPDATED :                |

THIS PLAN IS NOT VALID  
UNLESS IT IS AN ENDORSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1026, Section 28(3)

