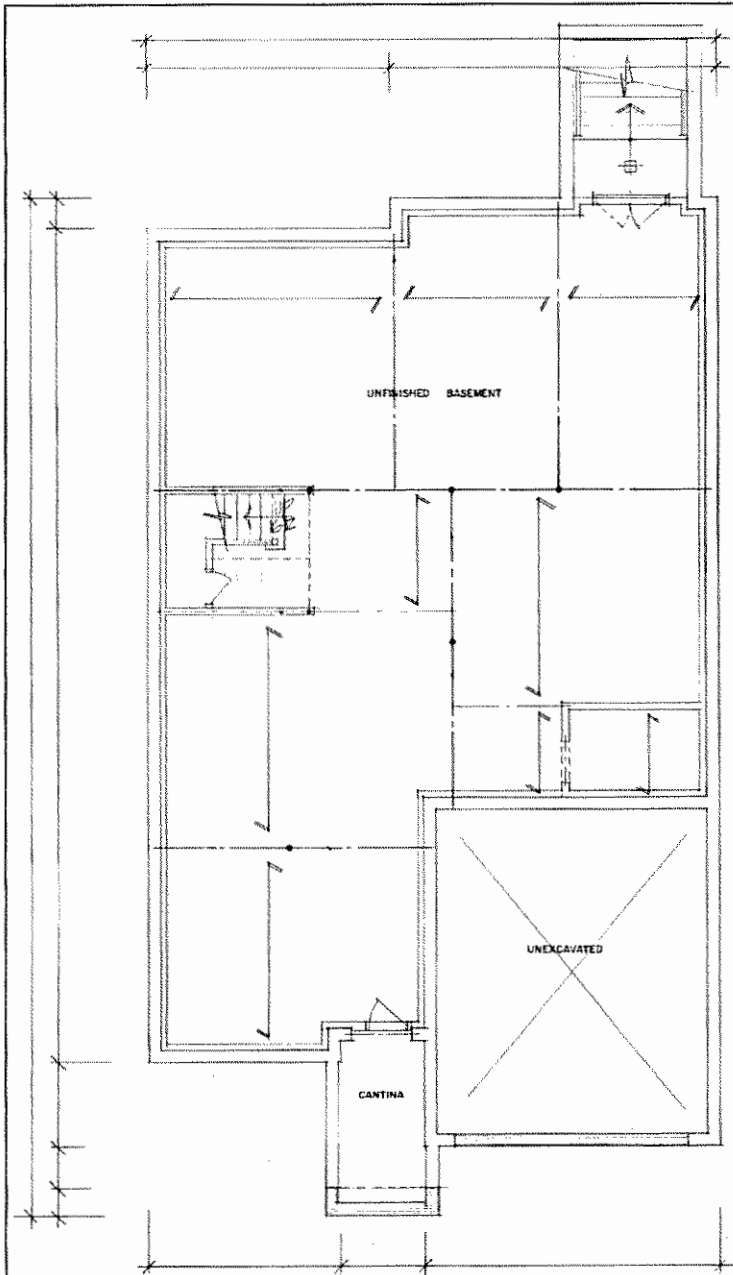






**FRONT ELEVATION**

<p><b>PROJECT:</b>  <b>HOUSE 2046</b>  <b>30 AILEEN ROAD</b>  <b>CITY OF MARKHAM</b>  <b>THE GREGORY DESIGN GROUP</b>          50 MCINTOSH DRIVE, SUITE 140          MARKHAM, ONTARIO, L3R 9T3          OFFICE (905) 479-4767          FAX (905) 479-8496  <a href="mailto:russ@gregorydesigngroup.net">russ@gregorydesigngroup.net</a></p>	<p><small>Owner and client responsible for the design and construction of the project. The design group is not responsible for the construction of the project. The design group is not responsible for the construction of the project.</small></p> <p><b>GENERAL NOTES:</b>          1. All dimensions are in feet and inches.          2. All dimensions are to the center of the wall or window.          3. All dimensions are to the finished surface.          4. All dimensions are to the exterior face of the wall or window.          5. All dimensions are to the interior face of the wall or window.          6. All dimensions are to the center of the door or window.          7. All dimensions are to the finished surface.          8. All dimensions are to the exterior face of the wall or window.          9. All dimensions are to the interior face of the wall or window.          10. All dimensions are to the center of the door or window.</p>	<p><b>DRAWN:</b>          R. GREGORY  <b>DATE:</b>          1/17  <b>SCALE:</b>          1/4"=1'-0"  <b>PROJECT NO.:</b>          226017  <b>DRAWING NO.:</b>          A-1</p>
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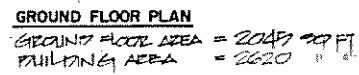


**BASEMENT & FOUNDATION PLAN**

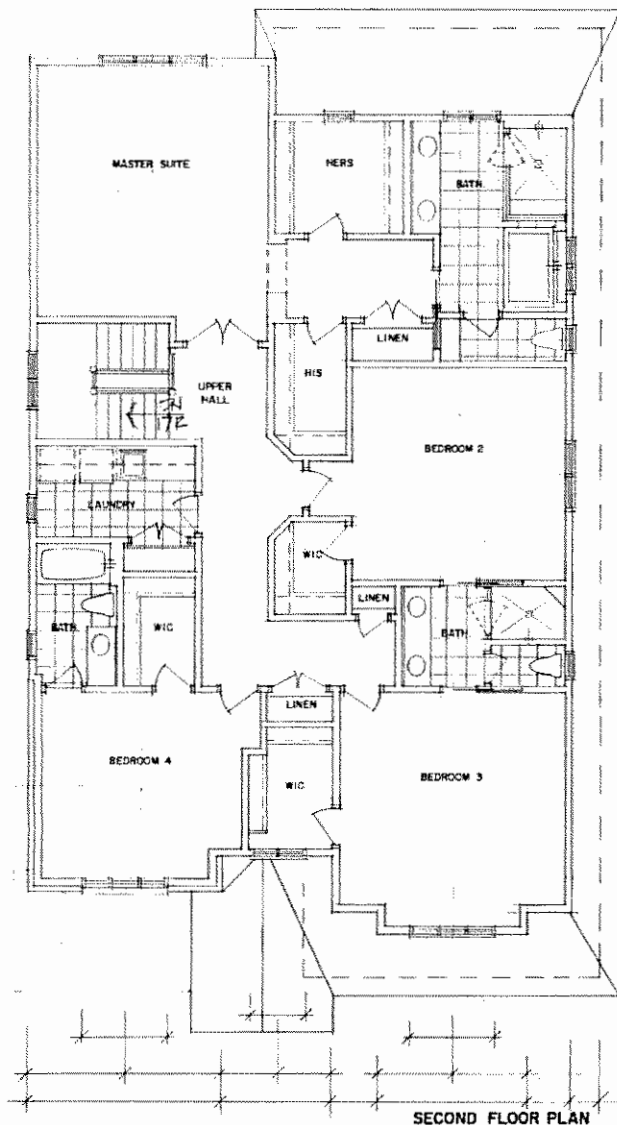


**FRONT ELEVATION**

PROJECT <b>HOUSE 2045</b>		DESIGNER <b>R. GREGORY</b>
28 AILEEN ROAD CITY OF MARKHAM		DATE <b>1 / 17</b>
THE GREGORY DESIGN GROUP 50 MCINTOSH DRIVE, SUITE 140 MARKHAM, ONTARIO, L3R 9T3 OFFICE (905) 479-4787 FAX (905) 479-8496 russ@gregorydesigngroup.net		SCALE <b>1/8" = 1'-0"</b>
GENERAL NOTES: 1. All dimensions are in feet and inches. 2. All work shall be in accordance with the Ontario Building Code. 3. All materials shall be of the highest quality. 4. All work shall be completed within the specified time frame. 5. All work shall be done in accordance with the latest building codes. 6. All work shall be done in accordance with the latest industry standards. 7. All work shall be done in accordance with the latest best practices.		PROJECT NO. <b>20210117</b>
		ISSUING NO. <b>A-1</b>

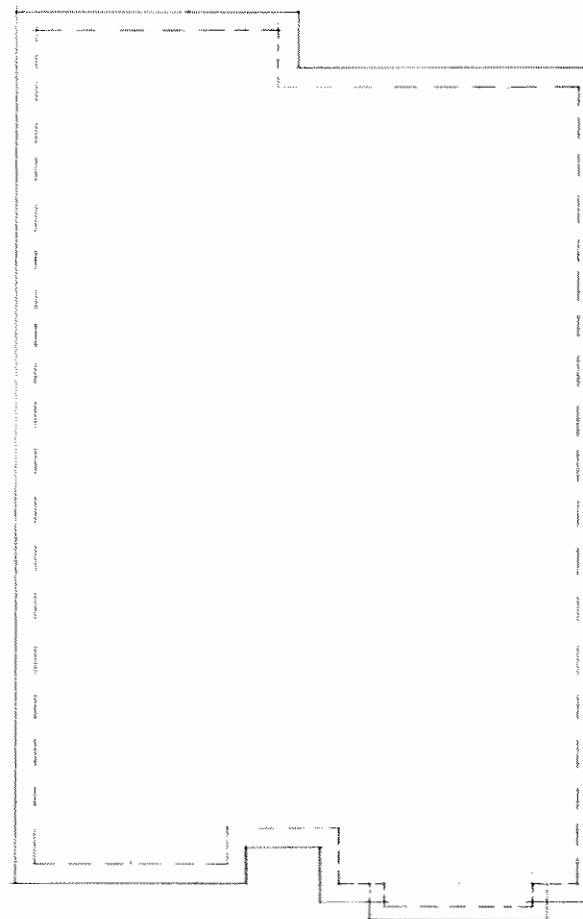


PROJECT	HOUSE 2045	DRAWING	R. GREGORY
		DATE	
		SCALE	1/4" = 1'-0"
		SHEET	1 OF 1
		DRAWING NO.	A-2



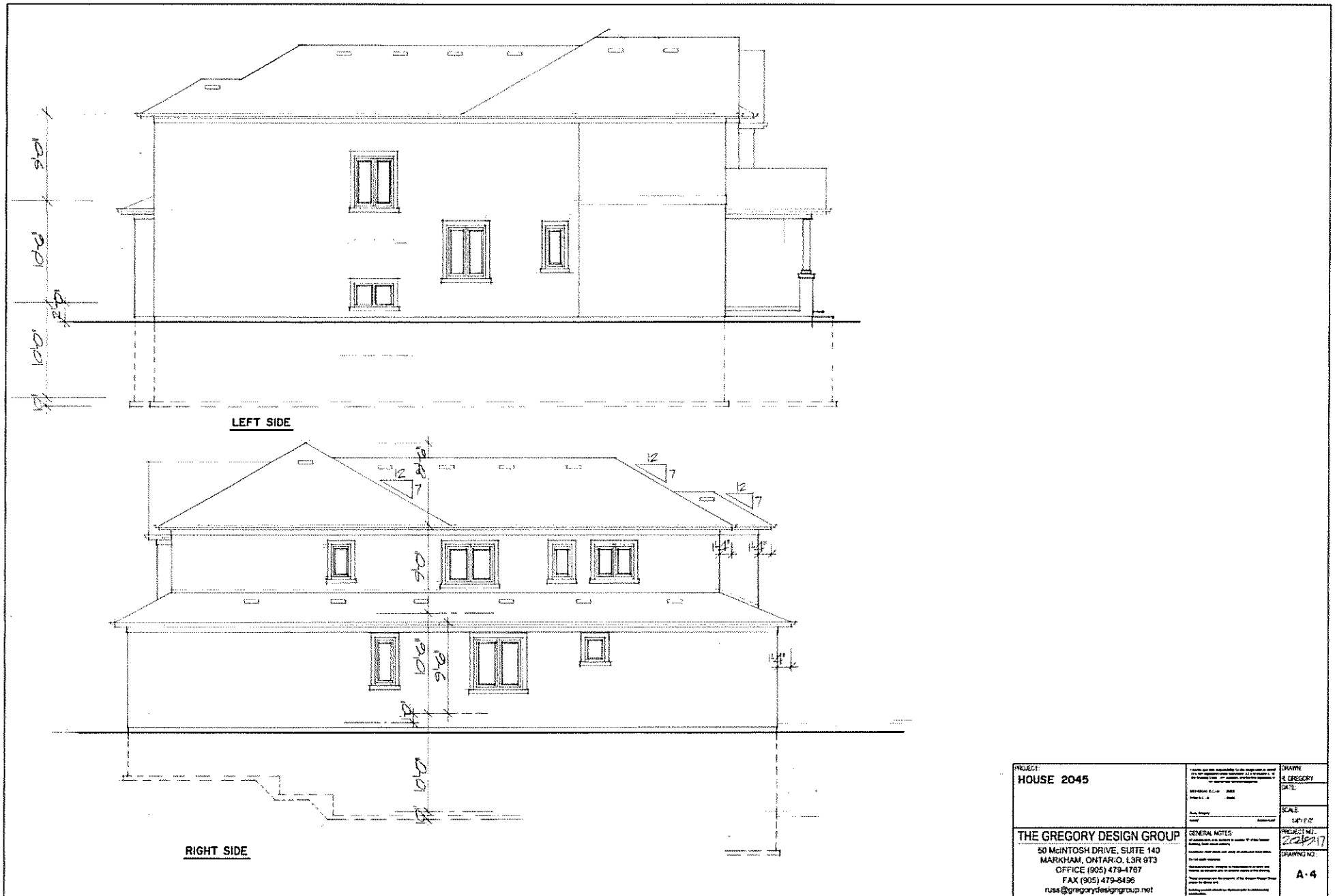
**SECOND FLOOR PLAN**

SECOND FLOOR AREA =  
 OPEN SPACE = 70 SQ FT  
 TOTAL = 110 SQ FT

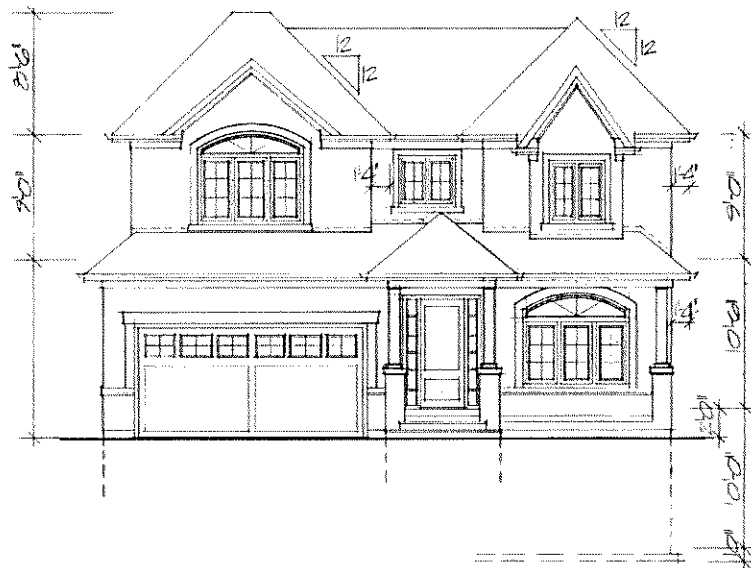


**ROOF PLAN**

PROJECT: <b>HOUSE 2045</b>	DRAWN BY: R. GREGORY DATE:  SCALE: 1/4" = 1'-0"
<b>THE GREGORY DESIGN GROUP</b> 50 MCINTOSH DRIVE, SUITE 140 MARKHAM, ONTARIO, L3R 9T3 OFFICE (905) 479-4767 FAX (905) 479-8496 russ@gregorydesigngroup.net	GENERAL NOTES: 1. All dimensions are in feet and inches, rounded to the nearest 1/4". 2. All dimensions are taken from the centerline of the wall unless otherwise noted. 3. All dimensions are taken from the centerline of the wall unless otherwise noted. 4. All dimensions are taken from the centerline of the wall unless otherwise noted. 5. All dimensions are taken from the centerline of the wall unless otherwise noted. 6. All dimensions are taken from the centerline of the wall unless otherwise noted. 7. All dimensions are taken from the centerline of the wall unless otherwise noted. 8. All dimensions are taken from the centerline of the wall unless otherwise noted. 9. All dimensions are taken from the centerline of the wall unless otherwise noted. 10. All dimensions are taken from the centerline of the wall unless otherwise noted. PROJECT NO.: <b>2045-17</b> DRAWING NO.: <b>A-3</b>



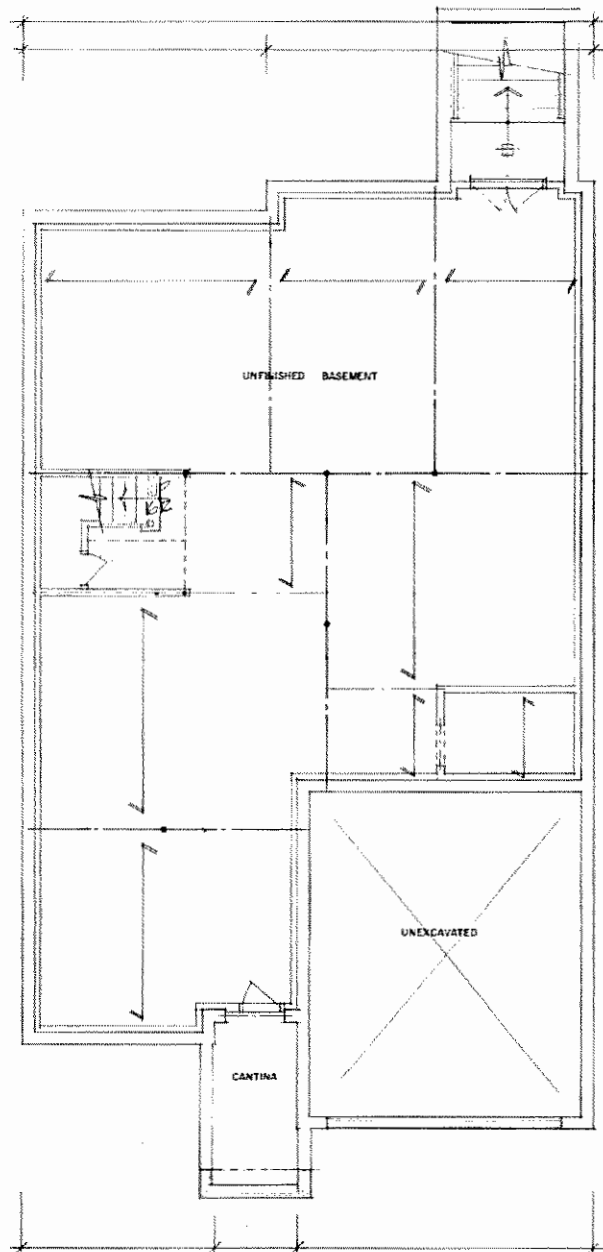




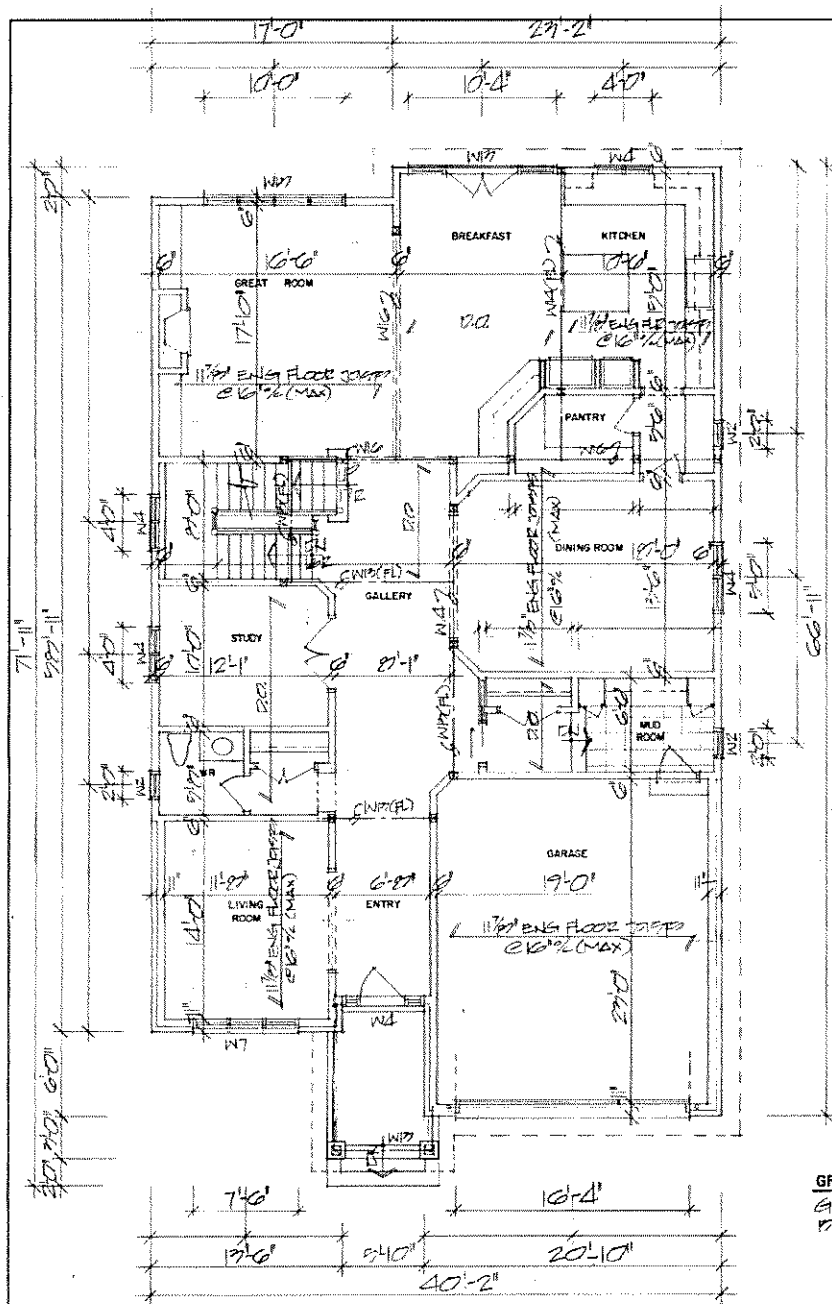
**FRONT ELEVATION**

<b>PROJECT:</b> <b>HOUSE 2046</b>  <b>30 AILEEN ROAD</b> <b>CITY OF MARKHAM</b>  <b>THE GREGORY DESIGN GROUP</b> 50 MCINTOSH DRIVE, SUITE 140 MARKHAM, ONTARIO, L3R 9T3 OFFICE (905) 479-4787 FAX (905) 479-8496 <a href="mailto:russ@gregorydesigngroup.net">russ@gregorydesigngroup.net</a>	<b>GENERAL NOTES:</b> 1. All dimensions are in feet and inches. 2. All materials are to be of standard quality unless otherwise specified. 3. All work is to be done in accordance with the Ontario Building Code. 4. The owner is responsible for obtaining all necessary permits. 5. The designer is not responsible for construction details not shown. 6. The designer is not responsible for construction details not shown. 7. The designer is not responsible for construction details not shown. 8. The designer is not responsible for construction details not shown. 9. The designer is not responsible for construction details not shown. 10. The designer is not responsible for construction details not shown.	<b>DRAWN:</b> A. GREGORY <b>DATE:</b> 7/1/17 <b>SCALE:</b> 1/4" = 1'-0" <b>PROJECT NO:</b> 222617 <b>DRAWING NO:</b> A-1
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<b>PROJECT:</b> <b>HOUSE 2045</b> <b>28 AILEEN ROAD</b> <b>CITY OF MARKHAM</b>		<b>DRAWN BY:</b> R. GREGORY
<b>THE GREGORY DESIGN GROUP</b> 50 MCINTOSH DRIVE, SUITE 140 MARKHAM, ONTARIO, L3R 9T3 OFFICE (905) 479-4767 FAX (905) 479-8496 <a href="mailto:rust@gregorydesigngroup.net">rust@gregorydesigngroup.net</a>		<b>DATE:</b> 1 / 17
<b>GENERAL NOTES:</b> 1. All dimensions are in feet and inches, unless otherwise noted. 2. All work shall be in accordance with the City of Markham Building Code. 3. All work shall be in accordance with the City of Markham Zoning By-Bye. 4. All work shall be in accordance with the City of Markham Planning & Development Department. 5. All work shall be in accordance with the City of Markham Engineering Department. 6. All work shall be in accordance with the City of Markham Fire Department. 7. All work shall be in accordance with the City of Markham Police Department. 8. All work shall be in accordance with the City of Markham Transit Department. 9. All work shall be in accordance with the City of Markham Parks & Recreation Department. 10. All work shall be in accordance with the City of Markham Public Works Department.		<b>SCALE:</b> 1/8" = 1'-0"
<b>PROJECT NO.:</b> 2045-017		<b>DRAWING NO.:</b> A-1



**GROUND FLOOR PLAN**  
 GROUND FLOOR AREA = 2049 SQ. FT.  
 BUILDING AREA = 2620

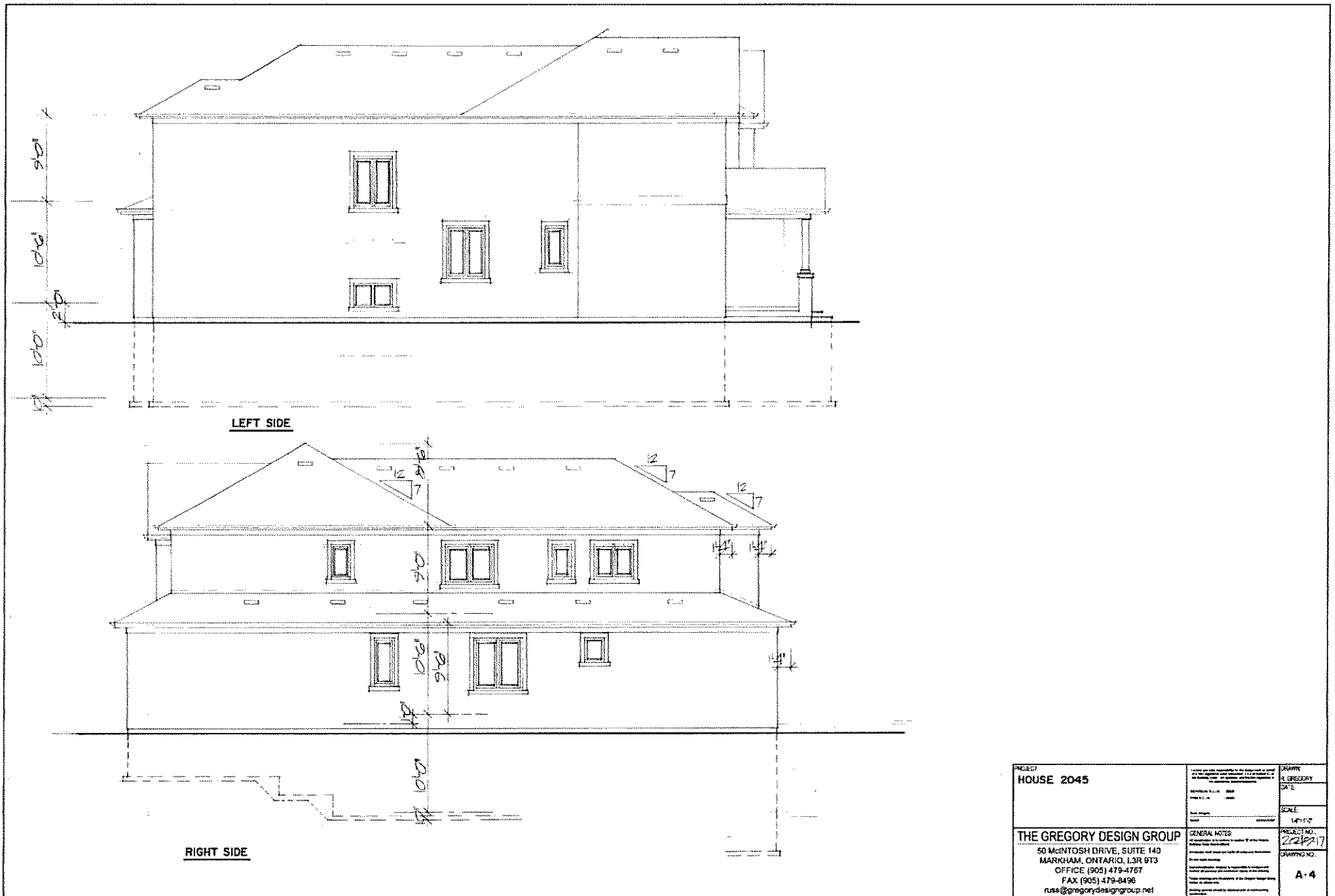


PROJECT <b>HOUSE 2045</b>		DATE
DRAWN R. GREGORY		DATE
SCALE 1/4" = 1'-0"		PROJECT NO. 2045-11
DRAWING NO. <b>A-2</b>		

**THE GREGORY DESIGN GROUP**  
 50 MCINTOSH DRIVE, SUITE 140  
 MARKHAM, ONTARIO, L3R 9T3  
 OFFICE (905) 479-4767  
 FAX (905) 479-8436  
 russ@gregorydesigngroup.net

**GENERAL NOTES:**  
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2006 CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE BY-LAWS.  
 2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.  
 3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY NOTICES.  
 4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY NOTICES.  
 5. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY NOTICES.





<b>PROJECT</b> <b>HOUSE 2045</b>	<small>Client and architect responsible for the development of a project and the design of the building. The architect is responsible for the design of the building and the construction of the building.</small> <small>Architect's Name: R. GREGORY</small> <small>Project No. 2045</small> <small>Date: 2017</small>	<b>DRAWN</b> <b>R. GREGORY</b> <b>DATE</b> <b>2017</b>
<b>THE GREGORY DESIGN GROUP</b> 50 MCINTOSH DRIVE, SUITE 140 MARKHAM, ONTARIO, L3R 9T3 OFFICE (905) 479-4767 FAX (905) 479-6496 russ@gregorydesigngroup.net	<b>GENERAL NOTES</b> 1. All dimensions are in feet and inches. 2. All materials are to be of the highest quality. 3. All work is to be done in accordance with the latest building codes. 4. All work is to be done in accordance with the latest industry standards. 5. All work is to be done in accordance with the latest best practices.	<b>SCALE</b> 1/4" = 1'-0" <b>PROJECT NO.</b> 2045 <b>DRAWING NO.</b> A-4

## Russ Gregory

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**From:** Russ Gregory [russ@gregorydesigngroup.net]  
**Sent:** November-28-17 7:53 AM  
**To:** 'Tony Tan'  
**Cc:** 'Russ Gregory'  
**Subject:** RE: FW: B/29/16 - 28 Aileen Road

- 1- I need to get the TAPP (tree protection) completed. I've already contacted my Arborist because yours didn't respond. It will be a small cost plan her Report. (Items 5, 6 & 7)
- 2- The "draft transfer" documents are in the file, just not seen by Carlson. (Item 2)
- 3- The two payments need to be made (Items 4, 8 & 9)
- 4- Clearance of the Tax Bill (just before finalizing the details).
- 5- The City needs to complete the Development Agreement. (Item 14)
- 6- The 15<sup>th</sup> condition was taken care of yday.

There's not a lot of work left to secure the Severance. I think it would be wise to see it thru and get it completed...

---

**From:** Tony Tan [mailto:ttttonytam@gmail.com]  
**Sent:** November-27-17 7:43 PM  
**To:** Russ Gregory  
**Subject:** Re: FW: B/29/16 - 28 Aileen Road

Hi Russ, totally understand what is the process right now. However, it seems like we do have lots of works to do. From your experience, how long is it gonna be took for finishing all the conditions?

Russ Gregory <russ@gregorydesigngroup.net> 于2017年11月27日 周一下午4:47写道 :

Tony, here's what's left to get the severance done at Aileen...

---

**From:** Tsang, Carlson [mailto:CTsang@markham.ca]  
**Sent:** November-27-17 2:55 PM  
**To:** Russ Gregory  
**Subject:** B/29/16 - 28 Aileen Road

Hi Russ,

After my preliminary review, it appears the conditions highlighted in red below remain outstanding. Please let me know if you have any questions. Thanks.

Condition 1 – Cleared

Condition 2- Provide draft transfer

Condition 3 – Cleared

Condition 4 – Conveyance Fee \$ 1638.50

Condition 5,6,7 – Tree Conditions- the arborist report needs to be updated to reflect the new driveway configuration

Condition 8,9 – Parkland Dedication \$ 41,250

Condition 10,11,12,13 – Cleared

Condition 14 – Development Agreement- In Process

Condition 15 – Please submit a site plan to reflect the new driveway configuration

## **Carlson Tsang**

Planner I – Zoning and Special Projects

101 Town Centre Boulevard

Markham, Ontario L3R 9W3

Phone: 905-477-7000, Ext 2945

Fax: 905-479-7768

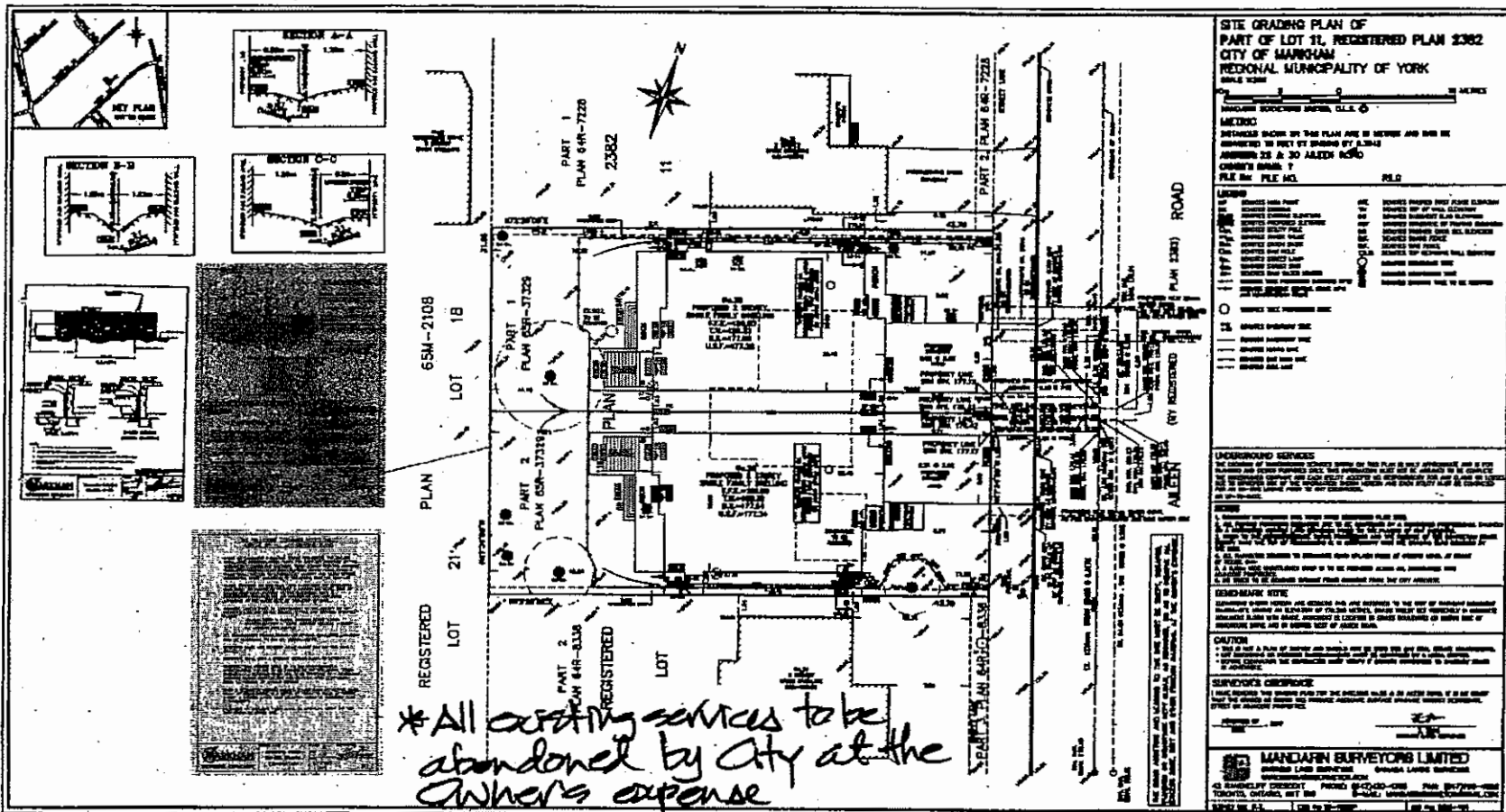
[Ctsang@markham.ca](mailto:Ctsang@markham.ca)



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## Russ Gregory

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**From:** Larbi, Michael [mlarbi@markham.ca]  
**Sent:** November-27-17 8:32 AM  
**To:** Russ Gregory  
**Subject:** RE: SEVERANCE FOR 28 AILEEN RD...C OF A APP B/29/16

Hi Russ:  
I have informed Carlson that Engineering conditions are cleared.  
Thanks.

**Michael Larbi**, C.E.T.  
Engineering Technologist | Engineering  
Anthony Roman Centre | City of Markham  
101 Town Centre Boulevard  
Markham, ON L3R 9W3

T: 905.477.7000 Ext. 3746  
F: 905.479.7773  
E: [mlarbi@markham.ca](mailto:mlarbi@markham.ca)  
[www.markham.ca](http://www.markham.ca)

**From:** Russ Gregory [mailto:[russ@gregorydesigngroup.net](mailto:russ@gregorydesigngroup.net)]  
**Sent:** Monday, November 27, 2017 6:41 AM  
**To:** Larbi, Michael <[mlarbi@markham.ca](mailto:mlarbi@markham.ca)>  
**Subject:** RE: SEVERANCE FOR 28 AILEEN RD...C OF A APP B/29/16

Micheal, I'm just checking with you to make sure you were OK with the drawings submitted last week.  
Have your approvals been passed on the C of A so conditions 10 and 11 are cleared?

thanks



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