

URBAN DESIGN BRIEF

TERMS OF REFERENCE AUGUST 2023



INTRODUCTION

PURPOSE

The Urban Design Brief is intended to provide a design rationale for planning applications in the City of Markham. The brief should ensure the development proposals' compliance with municipal policies and guidelines, in addition to the existing and planned site context. The Brief should demonstrate the opportunities and constraints of the new development and provide solutions guided by best urban design practices.

WHEN IS THIS REQUIRED?

The Urban Design Brief may be required as part of a development application for an Official Plan Amendment, Zoning By-Law Amendment, Draft Plan of Subdivision and/or Site Plan applications for large-scale projects located in key areas within the City (e.g. intensification areas, mixed-use nodes, sensitive infill development within established communities).

WHO PREPARES THIS?

The Urban Design Brief should be prepared by an urban designer, licensed architect, landscape architect or full member of the Canadian Institute of Planners and/or the Ontario Professional Planners Institute with a demonstrated specialization in urban design.

WHY DO WE NEED THE URBAN DESIGN BRIEF?

An Urban Design Brief is needed to ensure that the development application conforms to applicable by-laws and policies from the City of Markham 2014 Official Plan, including, but not limited to:

- 6.1.1 General Policies
- 6.1.2 The Public Realm
- 6.1.3 Streets and Blocks
- 6.1.4 Streetscapes
- 6.1.5 Landmarks and Views
- 6.1.6 Parks and Open Space
- 6.1.7 Public Art
- 6.1.8 Built Form and Site Development



STRUCTURE AND FORMAT

WHAT SHOULD BE INCLUDED? Submission Requirements

The Urban Design Brief should be organized with follow the following format:

Part 1: Design and Vision Approach

Part 2: Context Analysis

Part 3: Development Concept

Part 1: Design and Vision Approach

Vision Statement

Provide a clear vision statement that outlines the intent, form and function of the proposed development. This statement should describe how the development will integrate with the existing and planned surrounding context by creating a sense of place through the proposed built form and public realm.

Design Principles

Identify key design principles to support the overall Vision of the proposed development. These principles will be used to guide the proposed development throughout the design processes.

Part 2: Context Analysis

Policy Analysis

Provide a summary and evaluation of relevant City documents as part of the design response. Describe in detail how the proposed development contributes to the municipal urban design vision and how it conforms to relevant city policies and guidelines established in:

- Official Plan and Secondary Plan (if applicable);
- Community Design Plan/ Comprehensive Block Plan/ Precinct Plan (if applicable);
- Accessibility Guidelines;
- Bird Friendly Guidelines; and,
- Any other relevant policies, guidelines and design studies.



Context Analysis

Provide a spatial analysis of the existing conditions within a minimum 400 metre radius from the site to address the following elements at a minimum. As part of the analysis, mapping, photographs and graphics/renderings should be provided to illustrate the following:

Surrounding Area

- Regional landmarks;
- Major nodes (community centers, shopping centers, public spaces, transit hubs);
- Gateways and focal points;
- Open space and parks;
- Road network;
- Concepts/plans of current development applications on adjacent sites; and,
- Major transportation/transit routes and stops/stations (existing and planned).

Project Site

- Topography and existing vegetation;
- Official plan and zoning designations (existing and proposed);
- Views and vistas, to and from the site;
- Accessibility/connectivity, to and from the site;
- Streetscape design; and,
- Any other relevant information on a site specific basis.



Part 3: Design and Vision Approach

Clearly illustrate the proposed design using descriptive text, plans, cross sections, precedent images, 3D renderings and other diagrams to address, at a minimum, the following:

Site Design

- Street and block pattern
- The location of buildings and their orientation to the street edge and sidewalks
- Access to the site and on-site circulation for vehicles, pedestrians, cyclists and people with disabilities
- Access to transit and cycling facilities
- Location of parking, driveways, ramps and/or drop off areas;
- Location of servicing areas (loading, garbage, storage, utilities etc.); and,
- Linkages to surrounding open spaces (parks, paths, cycling routes and/or Natural Heritage system).

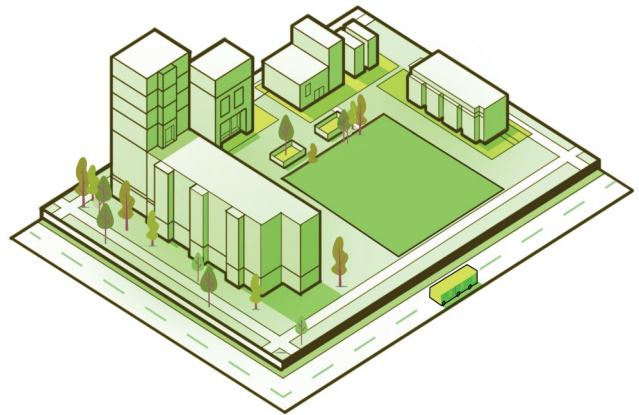


Massing

- Building height;
- Setbacks and transition and scale to adjacent uses/buildings;
- Building step-backs; and,
- Shadow impacts.

Transition

The design brief should provide a summary of how the proposal addresses transition to adjacent uses and buildings. An Angular Plane analysis may be requested on a case-by-case basis by Urban Design staff to evaluate rear yard transitions, side yard transitions, corner sites and street frontages. Where requested, this study should include a visual illustration of impacts on surrounding development and should be shown as a scaled cross section drawing or 3D model.



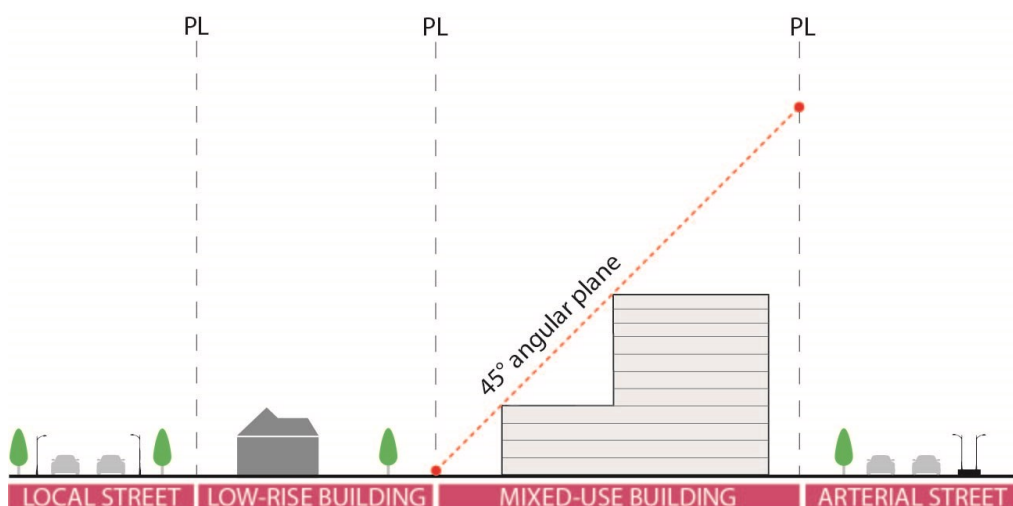
Standard requirements for an Angular Plane Study include:

- Existing surrounding buildings and roads
- Clearly shown angular plane, highlighting if portions of the development fall outside the angular plane
- Accurate reflection of grading changes
- A key plan, showing location of where angular plane was measured from
- Title for drawing, including view
- Labels for all surrounding uses and abutting roads
- Location of all property lines
- Dimensions (including heights and number of storeys, lots depths, and right-of-way widths)
- The 45-degree angular plane should be drawn from the ground plane

Where there are different grade levels, the angular plane is to be taken at a point where there is the greatest grade changes (i.e. lowest grade elevation) at the property line. This will ensure that neighbouring properties are not subject to additional shadow impacts from changes in grade, thus creating potentially taller buildings adjacent to these shared property lines.

Building and Architectural Design

- Corner, landmark and/or gateway building treatment;
- Location of main entrances;
- Location of garage and driveways;
- Location of utilities;
- Street wall and facade treatment at grade;
- Architectural style;
- Materials and colours;
- Lighting (e.g. night-time illumination); and,
- Signage.



Age Friendly Design

The City of Markham's Age-Friendly Guidelines were endorsed by City Council on November 8, 2022 as the "*Age-Friendly Design Standards*" and intends to direct how new development in Markham can respond to the needs of all residents, from young children and families to older adults and those requiring increased support as they age. The goal is to provide design direction for the built environment, particularly related to housing and outdoor spaces, in both ground-oriented and vertical communities, to ensure that new and redeveloping communities in the City of Markham are accessible, inclusive, functional, safe, and adaptable for all households.

The brief should briefly describe and list how the development addresses age-friendly design at the neighbourhood, building, and / or unit scales, as identified in the City's Age-Friendly Design Guidelines.

